

# **CITY OF MURFREESBORO PLANNING COMMISSION AGENDA**

**City Hall, 111 W. Vine Street, Council Chambers**

**OCTOBER 7, 2020  
6:00 PM**

**Kathy Jones  
Chair**

- 1. Call to order**
- 2. Determination of a quorum.**
- 3. Approve minutes of the September 2, 2020 and September 16, 2020 Planning Commission meetings.**
- 4. Public Hearings:**
  - a. Zoning Application [2020-415] to amend the PS (Planned Signage) Overlay District zoning for Saint Thomas Rutherford Hospital for approximately 70.7 acres along North Thompson Lane, Medical Center Parkway, and Gateway Boulevard, Ascension Saint Thomas applicant. (Project Planner: Teresa Stevens)
  - b. Zoning application [2020-417] for approximately 1.23 acres located along the east side of Gresham Lane to be rezoned from RS-15 to CH, Tony Emmanuel applicant. (Project Planner: Amelia Kerr)
  - c. Zoning application [2020-413] for approximately 12.56 acres located along Christie Knob Way to be rezoned from CH to PRD (Tiger Hill Townhomes PRD), Celebration Homes applicant. (Project Planner: Marina Rush)
  - d. Zoning application [2020-414] for approximately 1.0 acre located along Gresham Lane to be rezoned from CL to PCD (Secure Lawn PCD), Mark Lovinski applicant. (Project Planner: Marina Rush)
  - e. Zoning application [2020-416] for approximately 12.8 acres located along Veterans Parkway to be rezoned from CH to PRD (Sullivan's Retreat PRD), Cornerstone Development applicant. (Project Planner: Marina Rush)

# **MURFREESBORO PLANNING COMMISSION AGENDA**

**PAGE 2**

**October 7, 2020**

## **5. Staff Reports and Other Business:**

- a.** Stephenson Subdivision, Resub Lots 3 & 4 [2013-2057] final plat for 2 lots on 43.5 acres zoned H-I located along General Mills Way, General Mills developer.
- b.** Consideration of 2021 Planning Commission Calendar.

## **6. Adjourn.**

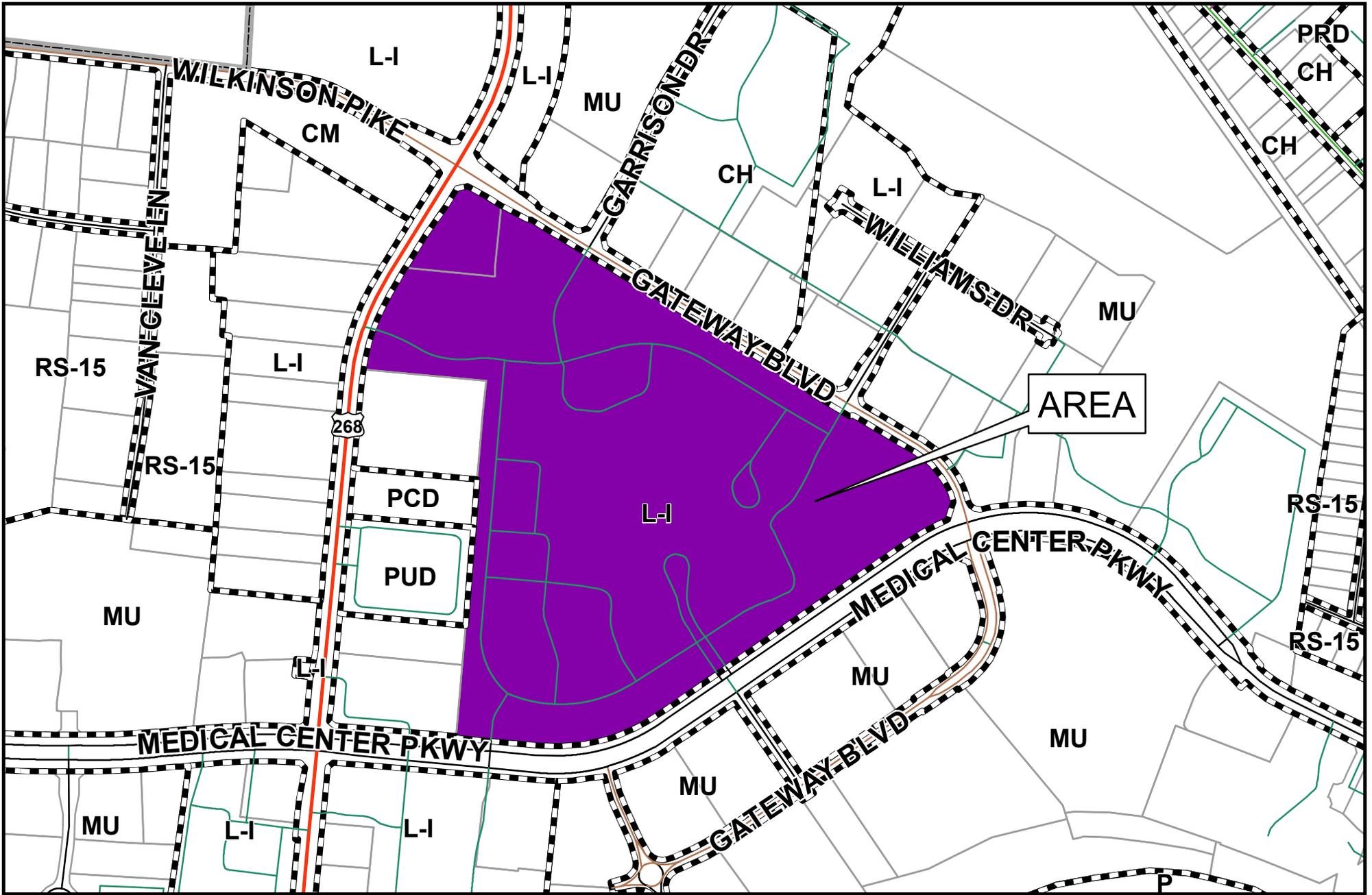
**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
OCTOBER 7, 2020  
PROJECT PLANNER: TERESA STEVENS**

- 4.a. Zoning Application [2020-415] to amend the PS (Planned Signage) Overlay District zoning for Saint Thomas Rutherford Hospital for approximately 70.7 acres along North Thompson Lane, Medical Center Parkway, and Gateway Boulevard, Ascension Saint Thomas applicant.**

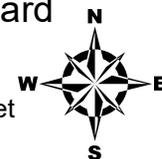
The Saint Thomas Rutherford campus, located at 1700 Medical Center Parkway, consists of a hospital, Ascension Saint Thomas, and two medical office buildings, DePaul Building-HTA and Seton Building-MBRE Healthcare. In 2008 the owner applied for and received approval for a Planned Signage Overlay District (PSOD) zoning. The last amendment to this PSO was for rebranding very similar to this application. Saint Thomas Rutherford is requesting an amendment to the Exterior Sign Plan book for the rebranding of the hospital to Ascension Saint Thomas. The changes consist of face changes to the existing exterior attached building signs, monument signs, and wayfinding signs. Some of these changes will increase the square feet of signs while other changes are simply face changes. There is one additional freestanding sign at the main hospital entrance as well as new pillars located near the entrance. This project has been presented to the DRC as required.

**Action Required:**

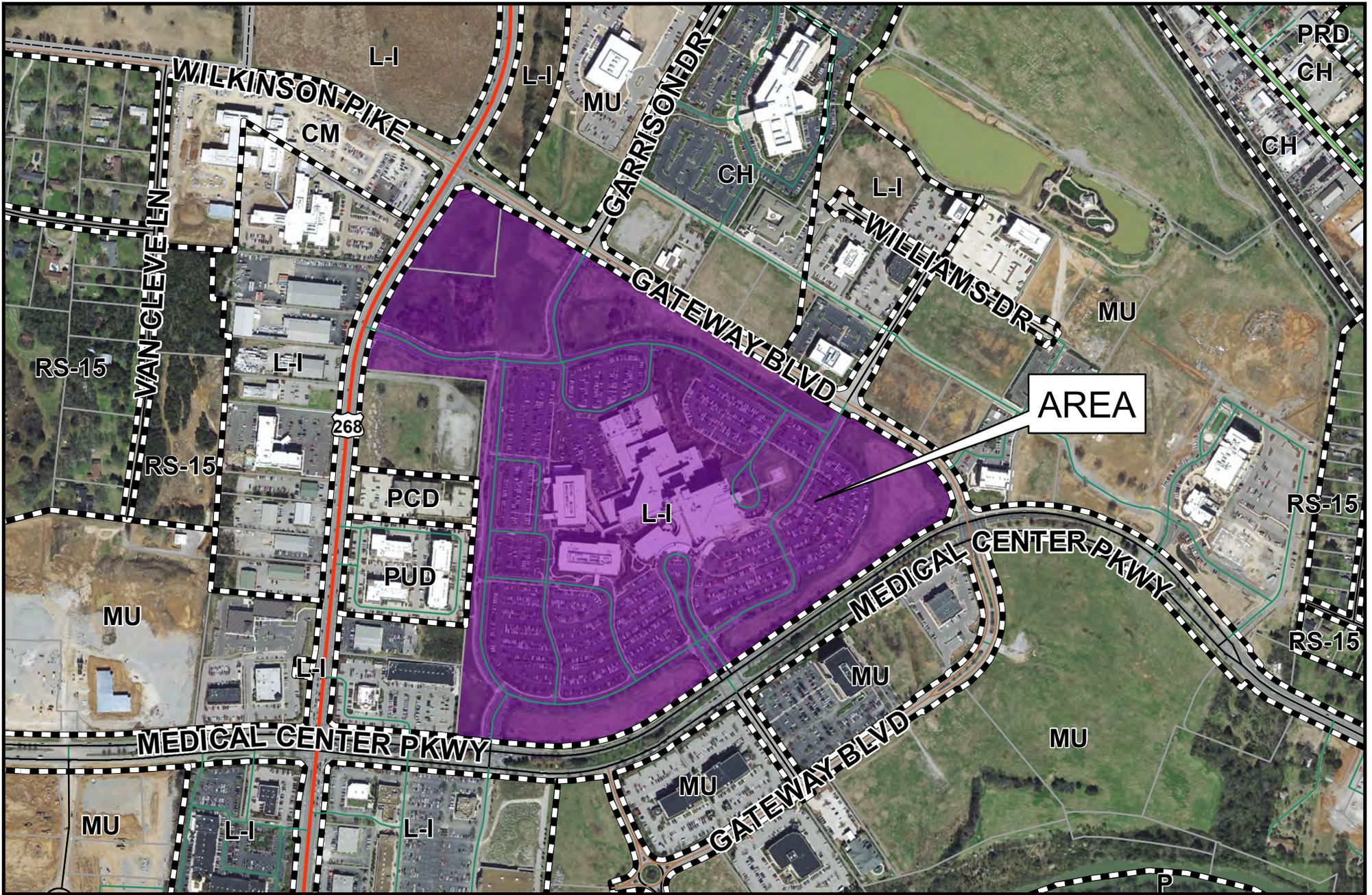
The applicant will be available at the Planning Commission meeting to answer questions regarding the proposed amendment. The Planning Commission needs to conduct a public hearing and then formulate a recommendation to City Council.



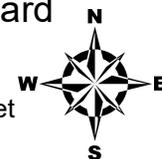
Zoning Request Along Medical Center Parkway and Gateway Boulevard  
PSO Amendment (Ascension Saint Thomas PSO)



Planning Department  
City of Murfreesboro  
11 W Vine St  
Murfreesboro, TN 37130  
www.murfreesborotn.gov



Zoning Request Along Medical Center Parkway and Gateway Boulevard  
 PSO Amendment (Ascension Saint Thomas PSO)



Planning Department  
 City of Murfreesboro  
 11 W Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



**City of Murfreesboro**  
**Planning and Engineering Department**  
 111 W. Vine Street, P.O. Box 1139  
 Murfreesboro, TN 37133-1139  
 (615) 893-6441 Fax (615) 849-2606  
 www.murfreesborotn.gov

*Creating a better quality of life*

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

**Procedure for applicant:**

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

**To be completed by applicant:**

APPLICANT:

Address:  City/State/Zip:

Phone:  E-mail address:

PROPERTY OWNER:

Street Address or property description:

and/or Tax map #:  Group: \_\_\_\_\_ Parcel (s): \_\_\_\_\_

Existing zoning classification:

Proposed zoning classification:  Acreage:

Contact name & phone number for publication and notifications to the public (if different from the applicant): \_\_\_\_\_

E-mail: \_\_\_\_\_

APPLICANT'S SIGNATURE (required): \_\_\_\_\_

DATE:

\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: \_\_\_\_\_ MPC YR.: \_\_\_\_\_ MPC #: \_\_\_\_\_

Amount paid: \_\_\_\_\_ Receipt #: \_\_\_\_\_



T 757.427-1900

2655 International Parkway  
Virginia Beach, VA 23452  
[www.AGI.net](http://www.AGI.net)

PSO Committee:

Attached you will find the documents for the Revised MSP for the Sign Conversion Program for Ascension Saint Thomas- Rutherford located at 1700 Medical Center Parkway, Murfreesboro, TN.

**Master Sign Plan (MSP) Exterior Signage Plan Revision Dated July 17, 2020** - This will serve as your summary for what we are proposing for this Sign Conversion Program for Ascension Saint Thomas - Rutherford. It provides the mapping of each of the signs, materials used and placement on the buildings.

**Brandbook for Sign Conversion** - This will serve as your detail for individual signs and should be used as a reference guide for the MSP. This package provides information for each of the exterior signs located on the property of 1700 Medical Center Parkway and how each sign will be branded for this new sign Conversion.

I look forward to meeting with you on Wednesday, September 16, 2020.

Regards,

**Denise Simmons**  
Project Manager II

**Signage Solutions**



412 N. Cedar Bluff Road, Suite 306  
Knoxville, TN 37923  
O 800.877.7868 ext.3213

C 865-250-8846

[DSimmons@AGI.net](mailto:DSimmons@AGI.net)

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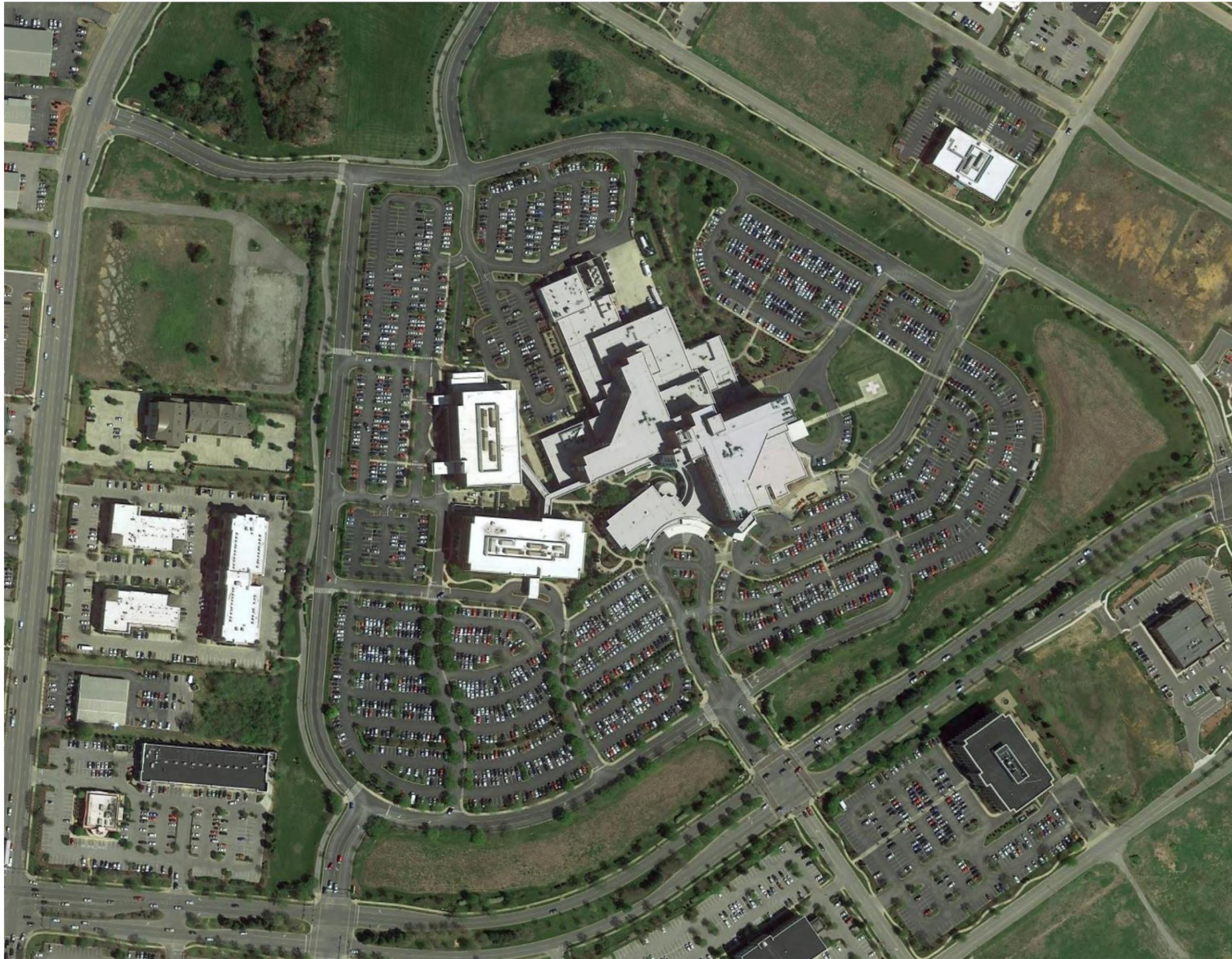


# Ascension Saint Thomas Rutherford

**EXTERIOR SIGNAGE PLAN  
REVISION**

**July 17, 2020**

**Planning Commission Hearing  
October 7, 2020 6:00 PM - 9:00PM**



## **MASTER SIGN PLAN REVISION PURPOSE:**

**THE SIGN PLAN OVERLAY IS TO UPDATE THE CURRENT  
SIGN STANDARDS AND GUIDELINES FOR THE  
ASCENSION SAINT THOMAS RUTHERFORD HOSPITAL  
CAMPUS**

**THIS APPLICATION DIFFERS FROM SIGNAGE  
PERMISSABLE BY OTHERWISE APPLICABLE SIGN  
ORDINANCES DUE TO THE QUANTITY OF SIGNAGE,  
SIZE OF SIGNAGE, MATERIALS, AND LIGHTING. THIS  
APPLICATION IS DRIVEN BY THE NEEDS OF PATIENTS  
AND THEIR VISITORS**

**ACREAGE: 70.71**

**TAX MAP ID#: 092-01700**

**PROPERTY OWNER:  
ASCENSION SAINT THOMAS  
DePaul BUILDING  
HTA (Healthcare Trust of America)  
SETON BUILDING  
MBRE Health Care**

**CONTACT:  
ASCENSION SAINT THOMAS  
Steve Spratt  
DePaul BUILDING - April Boyd  
SETON BUILDING - Shannon Smith**

<b>1</b> STONE - 1 To Match Architecture	<b>2</b> STONE - 2 To Match Architecture	<b>3</b> PRE-CAST	<b>5</b> TENNESSEE LIMESTONE	<b>7</b> ALUMINUM Painted White MP White	<b>8</b> ALUMINUM Painted Bronze 3130 Duranodic Bronze	<b>9</b> ALUMINUM Brushed	<b>10</b> TRANSLUCENT WHITE ACRYLIC Plexiglas 7328 White	<b>11</b> VINYL Reflective 3M Scotchlite White 5000	<b>12</b> VINYL Translucent 3M Duranodic Bronze 3630-69	<b>13</b> VINYL Translucent 3M Cardinal Red 3630-53	<b>14</b> ALUMINUM Painted Drk. Red MP 23966 Crimson Red	<b>15</b> TRANSLUCENT Red Acrylic Plexiglas 2793 Red	<b>16</b> LED LIGHTING SYSTEM (white LED)	<b>17</b> LIGHTING EXTERNAL RECESS LIGHT	<b>18</b> INTERNAL LIGHTING RETROFIT LED	<b>19</b> FONT WHITNEY SEMIBOLD	<b>20</b> DIGITAL PRINT	<b>21</b> CHRONICLE DECK BOLD	<b>22</b> 3/16" THICK CLEAR ACRYLIC	<b>23</b> FLOOD LIGHT	<b>24</b> MP to match STONE - 1 To Match Architecture	<b>25</b> MP to match STONE - 2 To Match Architecture	<b>26</b> FROSTED GLASS	<b>27</b> DAY/NIGHT ACRYLIC	<b>28</b> VINYL Translucent	<b>29</b> 1/2" CLEAR ACRYLIC
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**ASCENSION SAINT THOMAS  
RUTHERFORD**  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

SIGN NUMBER	MATERIALS	PAGE/S
<b>B-14,15</b> B-14,15 CORNER FEATURE (Campus Identity)	1 2 3 5 8 19 23 21	G-01,07,08,16
<b>B-10,12</b> B-10,12 GATEWAY ENTRY SIGNS (Flanking monument signs with lantern elements)	1 2 3 5 8 9 14 16 17 19 22 26 21	G-01,06,15
<b>B-08,09,11,13</b> B-08,09,11,12 SECONDARY ENTRY SIGN (Monument sign with entrance ID)	1 2 3 5 8 14 16 19 22 23 21	G-01,03,09,15
<b>WF-24,25</b> WF-24,25 MOB ID SIGN (Monument signs with MOB)	1 2 3 7 9 12 17 19 22 21	G-01,03,10,17,18
<b>B01</b> B01 BUILDING ID (Letters)	8 16 21	G-01,02,11,12
<b>B02</b> B01 TRINITY LOGO TOWER	9 16 22	G-01,02,11,12
<b>B03</b> B03 TRINITY LOGO TOWER	9 16 22	G-01,02,11,12
<b>B04</b> B04 BUILDING ID MOB DePaul (Letters)	8 16 19 22	G-01,02,11,12,17
<b>B05</b> B05 BUILDING ID MOB Seton (Letters)	8 16 19 22	G-01,02,11,12,18
<b>B06</b> B06 Building ID MOB (Letters) (White face-lit internally illuminated) "Ascension Saint Thomas Heart"	7 10 16 21	G-01
<b>B07</b> B07 Building ID MOB (Letters) (White face-lit internally illuminated) "Ascension Saint Thomas Heart"	7 10 16 21	G-01
<b>WF</b> VEHICULAR DIRECTIONAL WF-03,04,05,06,07,08,09,10,11,12,13,14,15,16,17,18 Monument internally illuminated retro-fit light source to be LED. Note: 27W electrical service.	7 9 10 12 13 14 18 19 22 24 25 21	G-01
<b>N01</b> N01 Ground Mounted Externally lit Architectural Feature	1 2 3 5 8 16	G-01
<b>N02</b> N02 Ground Mounted Internally lit Architectural Feature	10 16 19 20 29	G-01
<b>N03</b> N03 TRINITY LOGO MOB	8 16 21	G-01
<b>N04</b> N04 TRINITY LOGO TOWER	9 16 27	G-01
<b>V-E</b> V-E 1-15 ENTRY DOOR VINYL	19 21 28	G-01
<b>R</b> REGULATORY	8 11 19 21	G-01,16,19
<b>M</b> MISCELLANEOUS SIGN POLE MOUNTED SITE SIGN WALL MOUNTED SITE SIGN	8 11 19 21	G-01,19
<b>C2</b> C2 - PEDESTRIAN DIRECTIONAL (post mounted with directional flags)	8 11 12 14 19 21	G-01,19
<b>C3</b> C3 - PHYSICIAN PARKING (post and panel)	7 8 12 19 21	G-01,19
<b>S</b> SCULPTURE TO BE ADDED	[FUTURE SIGN IF REQUIRED]	G-01

# MATERIALS & FINISHES

Project Name  
**ASCENSION SAINT THOMAS**

Project Number  
**TN-153**

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

Description  
**Materials & Finishes**

Sheet Number <b>G-01</b>	Sign Type <b>Materials &amp; Finishes</b>
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# LED LETTER SPECIFICATION

## SloanLED Prism

Premium 12V LED channel letter lighting solution

### Specifications

Dimensions L x W x H ..... Whites, HO ..... 2.75 in x 0.75 in x 0.44 in  
(70 mm x 19 mm x 11 mm)  
Colors ..... 2.75 in x 0.75 in x 0.50 in  
(70 mm x 19 mm x 13 mm)

LEDs per module ..... 3

Operating temperature ..... SloanLED Prism ..... -40° C to +70° C  
HO ..... -40° C to +60° C

Protection class ..... IP66 & IP68\*

Binning ..... MacAdam Step 3

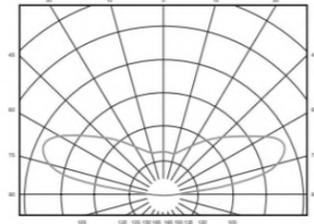
Life rating ..... SloanLED Prism, ..... >60,000 hours  
HO 24 VDC ..... >50,000 hours  
HO 12 VDC ..... >50,000 hours

Fastening ..... Peel-n-stick and mechanical

### PERFORMANCE SERIES



Luminous Intensity Distribution



### Whites

Model	Modules per foot/meter	Color temperature	Part number	Optimal can depth	Power per module	Lumens per module (nominal)	Efficacy	Power capacity per SloanLED 60 W 12 VDC power supply	Packaging of 5 trays per carton
SloanLED Prism	1.5/ft (4.9/m)	6500 K	701269-6WSJ2-MB	3-8" (75-200 mm)	1.12 W	124	111 lm/W	48 modules (48.0 ft / 14.6 m)	48.0 ft / 14.6 m (48 modules) per tray
		7100 K	701269-7WSJ1-MB						
		6500 K	701269-6WSJ1-MB						
		5700 K	701269-57SJ1-MB						
		5000 K	701269-5WSJ1-MB						
		4000 K	701269-4WSJ1-MB						
HO 12 VDC	0.8/ft (2.6/m)	6500 K	701269-6WHJ1-MB	5-12" (127-305 mm)	1.68 W	180	107 lm/W	32 modules (40.0 ft / 12.2 m)	40.0 ft / 12.2 m (32 modules) per tray
		5000 K	701269-5WHJ1-MB						
		5000 K	701269-5WHJ1-MB						

### Colors

Part number	Color	Nominal wavelength	Modules per foot/meter	Optimal can depth	Power per module	Lumens per module (nominal)	Efficacy	Power capacity per SloanLED 60 W 12 VDC power supply	Packaging of 5 trays per carton
701269-RDSJ3-MB	Red	628	2/ft (6.6/m)	3-8" (75-200 mm)	0.72 W	24	33.5 lm/W	75 modules (37.5 ft / 11.4 m)	24 ft / 7.3 m (48 modules) per tray
701269-RDSJ1-MB	Orange	606	1.5/ft (4.9/m)						
701269-ORSJ1-MB	Yellow	589							
701269-YLSJ1-MB	Green	527							
701269-GRSJ1-MB	Blue	471							
701269-BLSJ1-MB									
701269-RDSJ1-MB	Red	628		1.5/ft (4.9/m)	3-8" (75-200 mm)	0.72 W	11	15 lm/W	75 modules (50 ft / 15.2 m)
701269-ORSJ1-MB	Orange	606							
701269-YLSJ1-MB	Yellow	589							
701269-GRSJ1-MB	Green	527							
701269-BLSJ1-MB	Blue	471							
701269-BLSJ1-MB	Blue	471							

### High Output, 24 VDC

Model	Modules per foot/meter	Color temperature	Part number	Optimal can depth	Power per module	Lumens per module (nominal)	Efficacy	Power capacity per SloanLED 100 W 24 VDC power supply	Packaging of 4 bags per carton
HO 24 VDC	0.8/ft (2.6/m)	6500 K	701269-6W24HJ1-MB	5-12" (127-305 mm)	1.56 W	180	115 lm/W	58 modules (72.5 ft / 22.1 m)	75 ft / 22.9 m (60 modules) per bag
	1.5/ft (4.9/m)		701269-6W24HJ2-MB						



SloanLED channel letter products are covered by US and foreign patents pending and covered by one or more of the following US patents issued: 6,932,495, 7,360,140, 7,241,031, 7,520,771, 7,951,386 and European Patent No. 1756471.



\* Prism IP68 test parameters are 1.3 m submersion for 30 minutes. Do not mount in submerged application or where module will be directly exposed to prolonged flowing or dripping water.  
† Configured for Class 2 Output.

## SloanLED Prism

Premium 12V LED channel letter lighting solution

### Power Supply Capacity

12 VDC Power supply†	SloanLED Prism 6500 K	SloanLED Prism, 7100 K, 6500 K, 5700 K, 5000 K, 4000 K, 3000 K	SloanLED Prism HO 6500 K, 5000 K	Red, Orange, Yellow, Green, Blue	Red
Modules per foot/meter	1/3.3	1.5/4.9	0.8/2.6	1.5/4.9	2/6.6
20 W Power supply	16 ft / 16 mods	10.7 ft / 16 mods	12.5 ft / 10 mods	16.7 ft / 25 mods	12.5 ft / 25 mods
60 W Power supply	48 ft / 48 mods	32 ft / 48 mods	40.0 ft / 32 mods	50 ft / 75 mods	37.5 ft / 75 mods
120 W Power supply	2 x 96 ft / 48 mods	2 x 64 ft / 48 mods	2 x 80 ft / 32 mods	2 x 100 ft / 75 mods	2 x 75 ft / 75 mods
Watts per module	1.12	1.12	1.68	0.72	0.72

24 VDC Power supply†	SloanLED Prism HO 24 VDC, 0.8/ft (2.6/m)	SloanLED Prism HO 24 VDC, 1.5/ft (4.9/m)
Modules per foot/meter	0.8/2.6	1.5/4.9
100 W Power supply	72.5 ft (22.1 m)/58 mods	38.7 ft (11.8 m)/58 mods
Watts per module	1.56	1.56

### Density Guidelines

Model	Module color	Can Depth	Modules per foot	Max. stroke coverage per row		Inches on center dark vinyl	Inches on center perforated vinyl	
				Single row	Multiple rows			
SloanLED Prism	White - 7100 K, 6500 K, 5700 K, 5000 K, 4000 K, 3000 K	3"	1.5	10"	7" on center	6	5	
				14"	10" on center	9	8	
				16"	15" on center	14	13	
		Red	2"	1.5	4"	2" on center	1	1
					10"	8" on center	7	6
					12"	10" on center	9	8
	Orange	3"	1.5	10"	7" on center	6	5	
				12"	10" on center	9	8	
				15"	12" on center	11	10	
	Yellow	4"	2	10"	7" on center	6	5	
				12"	10" on center	9	8	
				15"	12" on center	11	10	
	Green	3"	1.5	7"	7" on center	6	5	
				12"	10" on center	9	8	
				15"	12" on center	11	10	
	Blue	4"	2	8"	6" on center	5	4	
				11"	8" on center	7	6	
				14"	11" on center	10	9	
HO, 12 VDC & 24 VDC	6500 K	5-10"	0.8	16"	16" on center	15	14	
	5000 K							

- Notes:  
1) It is recommended that you first test LED density in sample letter/cabinet to evaluate brightness, uniformity and color.  
2) Should you have questions or require assistance in testing, please contact your SloanLED customer service representative.  
3) Products can be used in can depths deeper or shallower than listed above, but testing is recommended.  
4) The acrylic material used for all testing was 3/16" thickness sign grade 2447 acrylic.

These guidelines are intended to provide only an approximation of SloanLED Prism product required for your sign, assuming an optimal balance of performance and cost. SloanLED is not responsible for the actual results based on the use of these guidelines.

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SloanLED.com

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Use the online SloanLED Layout Estimator to get a quick design and material estimate for your sign. Visit product page for details.



Visit product page for details.



ASCENSION SAINT THOMAS RUTHERFORD  
1700 Medical Center Parkway  
Murfreesboro, TN 37129

Project Name

ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
https://studio.bluebeam.com/share/j24zzz

Description  
LED Specification

Sheet Number  
G-02

Sign Type  
Letters



## LED specification on exterior sign types

Job:

Approval:

Type:

# Vision3 lighting®

## PAR30/PAR38 Metal Halide Flood MODEL FL10

70 Watt Max., PAR30 Metal Halide  
150 Watt Max., PAR38 Metal Halide

### Specifications:

**Body:** Cast C84400 bronze or cast 356 aluminum. 18-8 stainless steel hardware.

**Knuckle:** Cast C84400 bronze or cast 356 aluminum Rotate and Lock Knuckle includes a 304 stainless steel nipple with 1/2" NPS male threads for use with industry standard mounts. Double taper (U.S. Patent #6,966,679) allows fixture to hold vertical position during aiming and ensures a solid lock. Tapered clamp (Patent Pending) allows fixture to hold position during horizontal aiming, ensures a solid lock, and prevents the knuckle from coming apart when locking screw is loosened or removed. Two 18-8 stainless steel rotational stop pins allow a full 360° of rotation. High temperature silicone O-rings and a molded high temperature silicone wire pass-thru prevents water from entering fixture at knuckle.

**Cap:** Cast C84400 bronze or cast 356 aluminum cap mounts with five 18-8 stainless steel fasteners, and seals by compressing a molded high temperature

black silicone gasket around the lens and against the housing. Up to two lens accessories can be used, and are held in the molded silicone lens gasket.

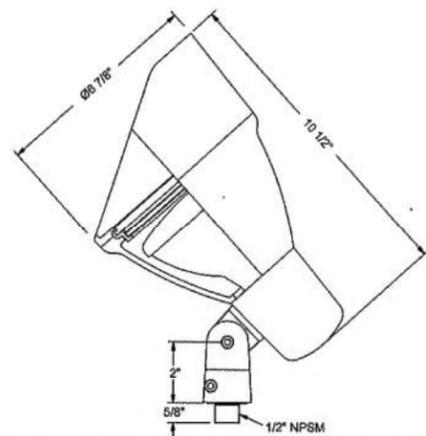
**Finish:** TGIC thermo set polyester powder coat paint available in 14 standard colors. On aluminum model, finish is applied over a corrosion resistant chromate conversion coating. Bronze model available in two additional finishes: Natural and Aged.

**Socket:** Medium Base Porcelain Lamp holder with copper alloy, nickel-plated screw shell and center contact, and 600V, 250° C, PTFE coated 18 ga leads.

**Lamp:** Medium base PAR30 Metal Halide up to 70 watts and medium base PAR38 Metal Halide up to 150 watts (ballast required).

**Lens:** Tempered, 1/4" thick, stepped lens allows for flush mounting.

**Certification:** CSA tested & certified to US and Canadian safety standards per UL1598 for wet location use in: landscape and wall mount applications.



### Ordering Information:

Model	Finish	Lamp	Lens Accy <sup>1,2</sup>	Filter <sup>1,2</sup>	Louver <sup>1,2</sup>	Ballast Catalog String
FL10A - Aluminum	BL - Black	0 - None	0 - None	0 - None	0 - None	Fixture must be specified with one of the following ballasts:
FL10B - Bronze	BLT - Textured Black	PAR30 Metal Halide:	L1 - Spread Lens	F1 - Red	H1 - Honeycomb Louver	BM1 - Stake Mount Ballast
	BN - Bronze	48 - 39W, 10° Spot	L2 - Linear Lens	F2 - Blue		BM2 - In-Ground Ballast
	BNT - Textured Bronze	48 - 39W, 30° Flood	L3 - Softening Lens	F3 - Light Blue		BM3 - In-Ground Remote Ballast
	BAT - Textured Bark	80 - 70W, 10° Spot		F4 - Green		BM4 - Wall Mount Remote Ballast
	W - White	51 - 70W, 40° Flood		F5 - Amber		BM5 - Wall Mount Canopy Ballast
	GRT - Textured Green	PAR38 Metal Halide:		F6 - Pink		BM6 - Wall Mount Canopy Ballast
	SI - Silver	52 - 70W, 15° Spot				
	GY - Grey	33 - 70W, 25° Flood				
	BE - Beige	54 - 70W, 65° Wide Flood				
	GNT - Textured Granite	55 - 100W, 15° Spot				
	SAT - Textured Sand	56 - 100W, 25° Flood				
	PAT - Textured Palina	57 - 100W, 65° Wide Flood				
	EAT - Textured Earth	58 - 150W, 20° Spot <sup>3</sup>				
	NAT - Natural (FL10B only)	59 - 150W, 35° Flood <sup>3</sup>				
	AGE - Aged (FL10B only)	60 - 150W, 65° Wide Flood <sup>3</sup>				

Example: FL10B - BL - 0 - 0 - F2 - 0 - Ballast Catalog String

©2006 Vision3 Lighting® P.O. Box 607, Fowler, CA 93625 (559) 834-5749 (559) 834-4779 fax www.vision3lighting.com revision 01/26/2006

- B08 B09 B10 B11
- B12 B13 N01

## Flood light specification

### Drive over luminaires with high output fluorescent sources

Enclosure: Outer housing: Constructed of high tensile strength, copper free die cast aluminum alloy. Inner housing: One piece copper free die cast aluminum housing. Trim/faceplate is heavy gauge, machined stainless steel secured to the inner housing by stainless steel threaded weld studs. Relamping requires removal of inner housing/trim/faceplate assembly from outer housing by means of two flush, socket head stainless steel screws. 1/2" thick tempered glass machined flush to faceplate. Reflector of pure anodized aluminum with built in louvers to suppress lateral glare from lamp. One piece molded U-channel, high temperature silicone gasket.

Electrical: Lampholders: Fluorescent T5HO, rated 660W, 600V. Ballasts are electronic, universal voltage 120V through 277V. Inner housing pre-wired with three (3) feet of 18/3 waterproof cable, cable clamp, and waterproof cable gland entry into housing. A separate weatherproof single gang wiring box for power supply must be provided (by contractor).

Finish: Machined stainless steel. Custom colors are not available. U.L. Listed, suitable for wet locations and vehicle drive over. Protection class: IP 67.

Luminaires are designed to withstand loads of 11,000 lbs at speeds of 30 MPH of vehicles with pneumatic tires when installed on a proper foundation. The luminaire may not be used for traffic lanes where they are subjected to horizontal pressure from vehicle braking. Proper drainage must be provided.

Caution: The column "T" in this chart indicates the temperature in degrees C which is reached on the center of the glass.



Symmetrical	Lamp	Lumen	A	B	C	T
8602P	1 24W FL T5HO	2000	25	4 1/2	4 15/16	45°
8603P	1 54W FL T5HO	5000	48%	4 1/2	4 15/16	50°
8604P	1 80W FL T5HO	7000	60 7/16	4 1/2	4 15/16	55°

Flush uplights utilizing efficient fluorescent light sources. White glass symmetrical light distribution. Flush tempered glass 1/2" thick. Finish: Machined stainless steel. U.L. listed, suitable for wet locations. IP 67.

Asymmetrical	Lamp	Lumen	A	B	C	T
8642P	1 24W FL T5HO	2000	25	4 1/2	4 15/16	45°
8643P	1 54W FL T5HO	5000	48%	4 1/2	4 15/16	50°
8644P	1 80W FL T5HO	7000	60 7/16	4 1/2	4 15/16	55°

Flush uplights utilizing efficient fluorescent light sources. Asymmetrical light distribution from a fully specular reflector. Flush tempered glass 1/2" thick. Finish: Machined stainless steel. U.L. listed, suitable for wet locations. IP 67.

BEGA/US 1000 BEGA Way, Carpinteria, CA 93013 (805)684-0533 FAX(805)566-9474

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- B14 B15
- WF24 WF25

## Recessed light specification

NOTE: LIGHTS TO BE ASYMMETRICAL, 4'-0" IN LENGTH



ASCENSION SAINT THOMAS RUTHERFORD  
1700 Medical Center Parkway  
Murfreesboro, TN 37129

Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
https://studio.bluebeam.com/share/j24zzz

Description  
LED Specification

Sheet Number G-03	Sign Type Ground Signs
----------------------	---------------------------

# LED RETRO-FIT SPECIFICATION

## SloanLED PrismBEAM 24V

LED solution for retrofitting sign cabinets

### Specifications

**Dimensions W x H**..... **Single-sided**..... 0.75 in x 0.81 in  
(19 mm x 21 mm)  
**Double-sided**..... 0.75 in x 1.27 in  
(19 mm x 32 mm)

**Efficacy** ..... 115 lm/W

**Color temperature (nominal)** .... 6500 K, 5000 K

**Optimum cabinet depth**..... **Single-sided**..... 5-8" (127-203 mm)  
**Double-sided**..... 10-16" (254-406 mm)

**Operating temperature**..... -40° C to +60° C

**Protection class**..... IP66 & IP68<sup>1</sup>

**Binning**..... MacAdam Step 3

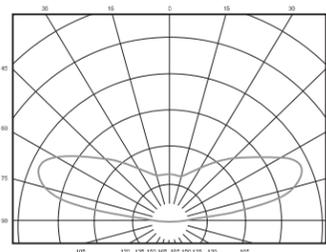
**Life rating**..... >60,000 hours

**Fastening**..... Fluorescent lampholders



Lengths		Part number		Modules per assembly		Lumens per assembly		Packaging Lamps per carton
Nominal	Actual	Single-sided	Double-sided	Single-sided	Double-sided	Single-sided	Double-sided	
18 in (0.46 m)	15.72 in (0.40 m)	701972-6WPS183	701972-6WPD183	2	4	360	720	8
24 in (0.61 m)	21.72 in (0.55 m)	701972-6WPS243	701972-(X)WPD243	3	6	540	1080	8
30 in (0.76 m)	27.72 in (0.70 m)	701972-6WPS303	701972-(X)WPD303	3	6	540	1080	8
36 in (0.91 m)	33.72 in (0.86 m)	701972-6WPS363	701972-(X)WPD363	4	8	720	1440	8
42 in (1.07 m)	39.72 in (1.01 m)	701972-6WPS423	701972-(X)WPD423	5	10	900	1800	8
48 in (1.22 m)	45.72 in (1.16 m)	701972-6WPS483	701972-(X)WPD483	6	12	1080	2160	16
60 in (1.52 m)	57.72 in (1.47 m)	701972-6WPS603	701972-(X)WPD603	7	14	1260	2520	16
64 in (1.63 m)	61.72 in (1.57 m)	701972-6WPS643	701972-(X)WPD643	8	16	1440	2880	8
72 in (1.83 m)	69.72 in (1.77 m)	701972-6WPS723	701972-(X)WPD723	9	18	1620	3240	16
84 in (2.13 m)	81.72 in (2.08 m)	701972-6WPS843	701972-(X)WPD843	10	20	1800	3600	8
96 in (2.44 m)	93.72 in (2.38 m)	701972-6WPS963	701972-(X)WPD963	12	24	2160	4320	16
108 in (2.74 m)	105.72 in (2.69 m)	701972-6WPS1083	701972-(X)WPD1083	13	26	2340	4680	8
117 in (2.97 m)	114.72 in (2.91 m)	701972-6WPS1173	701972-(X)WPD1173	14	28	2520	5040	8
120 in (3.05 m)	117.72 in (2.99 m)	701972-6WPS1203	701972-(X)WPD1203	14	28	2520	5040	8

### Luminous Intensity Distribution



- 1 Prism IP68 test parameters are 1.3 m submersion for 30 minutes. Do not mount in submerged application or where module will be directly exposed to prolonged flowing or dripping water.
- 2 Configured for Class 2 Output.
- 3 If length of part is unknown, it can be found in product part number:  
X= CCT, YYY = Length in inches (701972-(X)WPS, D][YYY]3)



### Accessories



**Bracket**  
402297-10  
Optional – Sold in bags of 10.



## SloanLED PrismBEAM 24V

LED solution for retrofitting sign cabinets

### Power Supply Capacity

24 VDC Power supply	Maximum lamps per power supply (single-sided/double-sided)													
	18 in (0.46 m)	24 in (0.61 m)	30 in (0.76 m)	36 in (0.91 m)	42 in (1.07 m)	48 in (1.22 m)	60 in (1.52 m)	64 in (1.63 m)	72 in (1.83 m)	84 in (2.13 m)	96 in (2.44 m)	108 in (2.74 m)	117 in (2.97 m)	120 in (3.05 m)
100 W Power Supply	28/14	19/9	19/9	14/7	11/5	9/4	8/4	7/3	6/3	5/2	4/2	4/2	4/2	4/2
Watts per assembly	3.1/6.2	4.7/9.4	4.7/9.4	6.2/12.5	7.8/15.6	9.4/18.7	10.9/21.8	12.5/25.0	14.0/28.1	15.6/31.2	18.7/37.4	20.3/40.6	21.8/43.7	21.8/43.7

### Density Guidelines

Model	Module color	Can Depth	Inches on center
SloanLED PrismBEAM 24V Single-sided	6500 K, 5000 K	5-8"	12"
		>10-12"	18"
SloanLED PrismBEAM 24V Double-sided	6500 K, 5000 K	10-16"	12"
		>20-24"	18"

These guidelines are intended to provide only an approximation of SloanLED PrismBEAM product required for your cabinet, assuming an optimal balance of performance and cost. SloanLED is not responsible for the actual results based on the use of these guidelines.

#### Notes:

- 1) To minimize the potential for shadows/hot spots in applications when using frame support tubes/poles; mount modules or frame support tubes such that the tubes are centered in between modules and at a depth that will not directly interfere with the beam angle of the LEDs. Use SignComp Adjustable Frame Brace (P/N: 5357) or equivalent.
- 2) It is recommended that you first test the LED density in a sample cabinet to evaluate brightness, uniformity, and color.
- 3) Should you have questions or require assistance in testing, please contact your SloanLED customer service representative.
- 4) Products can be used in can depths deeper or shallower than listed above, but testing is recommended.
- 5) The acrylic material used for all testing was 3/16" thickness sign grade 7328 acrylic.



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SloanLED.com

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**ASCENSION SAINT THOMAS  
RUTHERFORD**  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

**Project Name**  
ASCENSION SAINT THOMAS

**Project Number**  
TN-153

**File Name/Location**  
https://studio.bluebeam.com/share/j24zzz

**Description**  
LED Retro-fit Specification

<b>Sheet Number</b> G-04	<b>Sign Type</b> Vehicular Directionals
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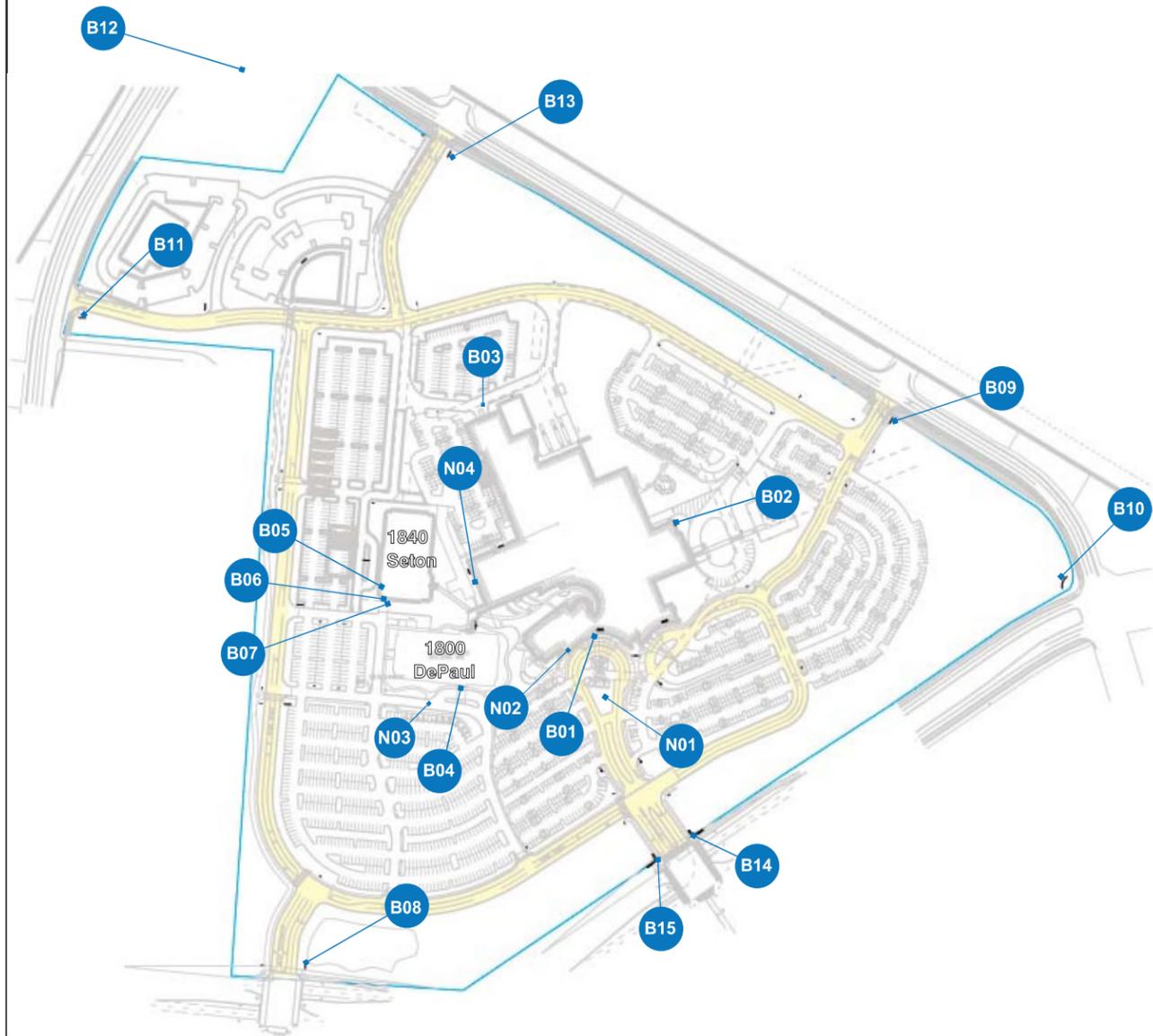
**WF**

### VEHICULAR DIRECTIONAL

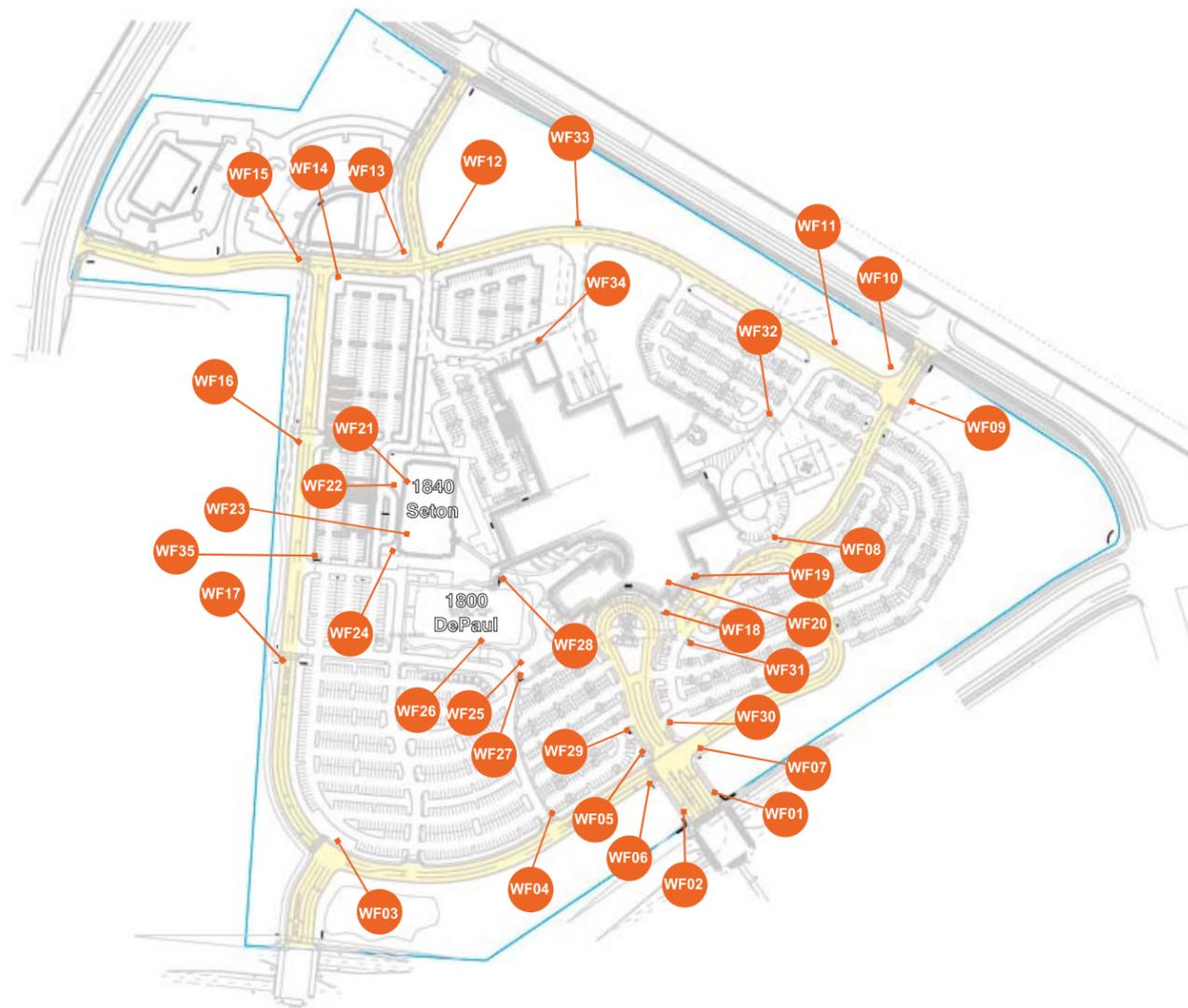
**WF-03,04,05,06,07,08,09,10,11,12,13,14,15,16,17,18**

Monument Internally illuminated retro-fit lightsource to be LED. Note: 277v electrical service.

# BRAND SIGNAGE LOCATIONS



# WAYFINDING SIGNAGE LOCATIONS



## COMPREHENSIVE CAMPUS SIGN PLAN



**ASCENSION SAINT THOMAS RUTHERFORD**  
 1700 Medical Center Parkway  
 Murfreesboro, TN 37129

**Project Name**  
 ASCENSION SAINT THOMAS

**Project Number**  
 TN-153

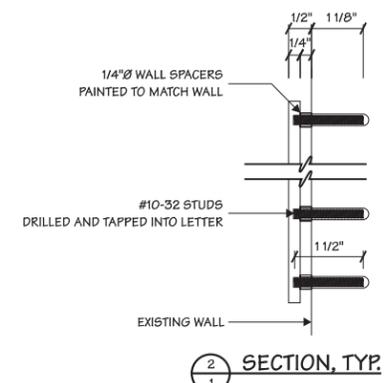
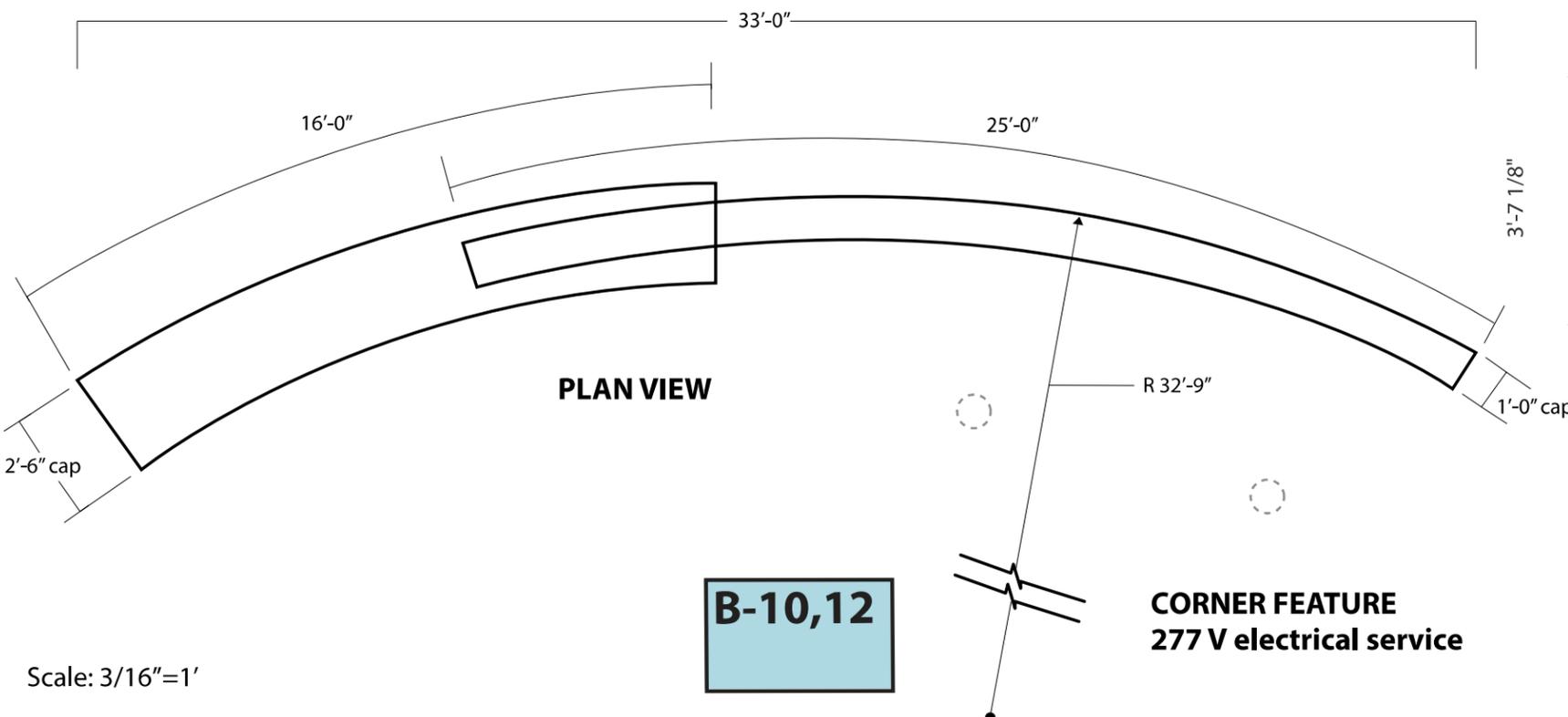
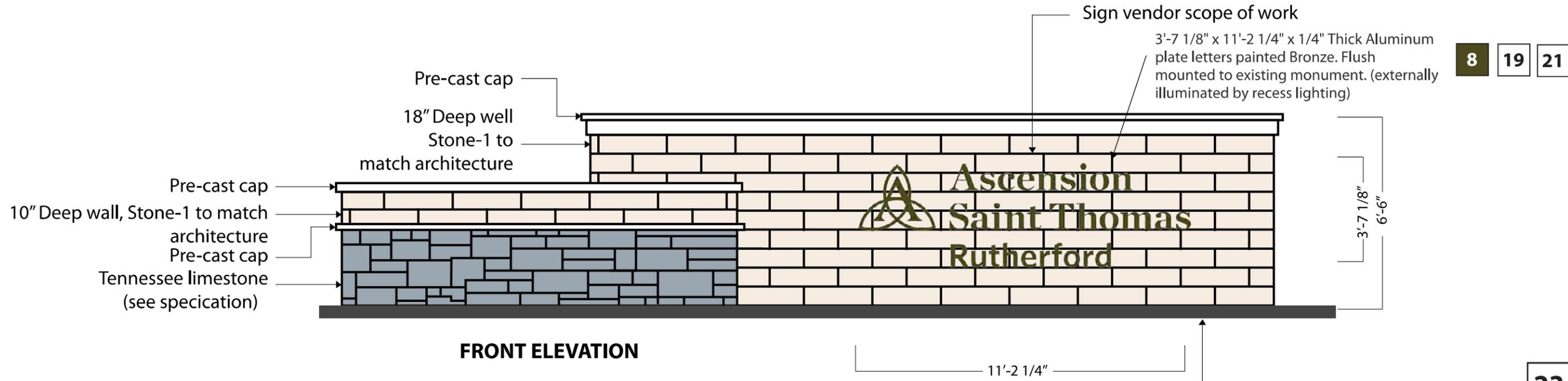
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**Description**  
 Map

<b>Sheet Number</b> G-05	<b>Sign Type</b> TN-153
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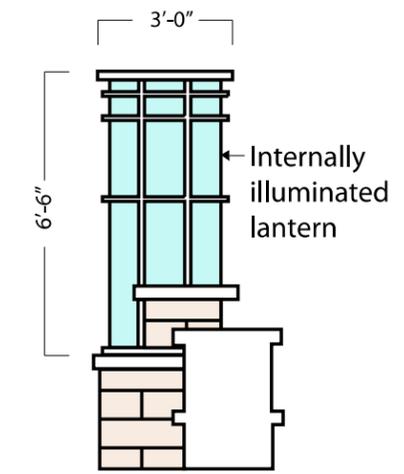
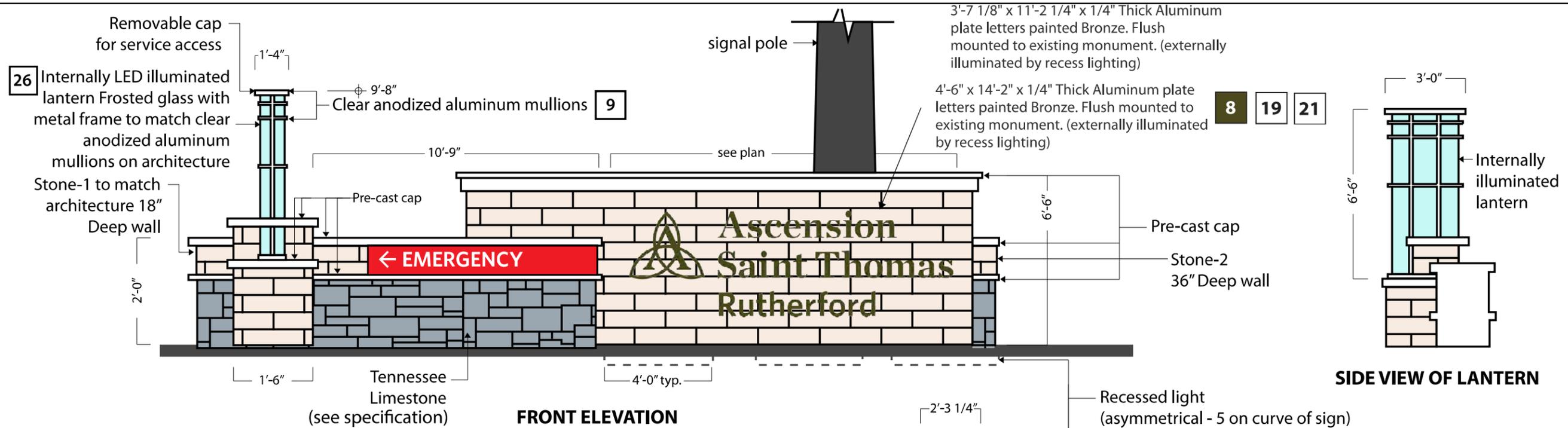
Tennessee Limestone (specification)

- Tennessee Limestone Veneer (Thin Farm Stone - Jones Stone Company or equal)
- Atypical random dry-stack pattern (no jumpers)
- 6-inch maximum veneer depth
- 3/8" inch maximum joint, no grout to show
- Install stone/brick ties every other course
- (4-inch by 5-inch by 4-inch minimum stone size)
- (8-inch by 6-inch by 18-inch maximum stone size)



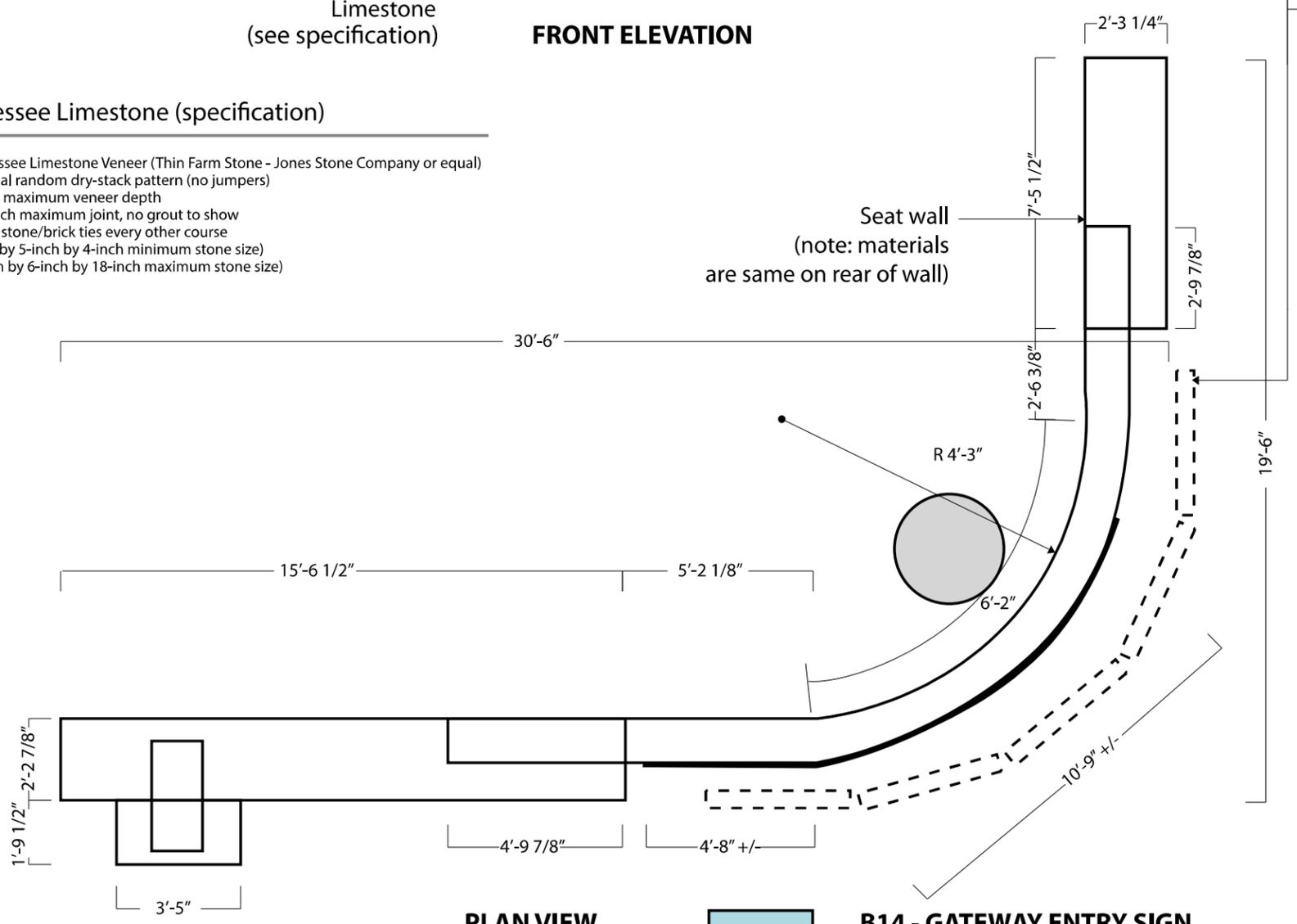
ASCENSION SAINT THOMAS RUTHERFORD  
1700 Medical Center Parkway  
Murfreesboro, TN 37129

Project Name <b>ASCENSION SAINT THOMAS</b>	
Project Number <b>TN-153</b>	
File Name/Location <a href="https://studio.bluebeam.com/share/j24zzz">https://studio.bluebeam.com/share/j24zzz</a>	
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Sheet Number <b>G-06</b>	Sign Type <b>B10,B12</b>

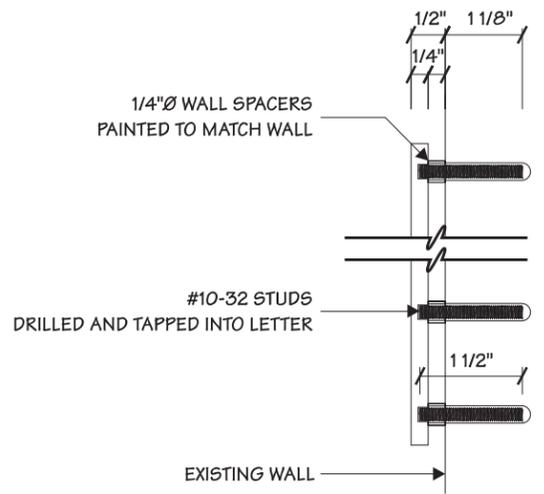
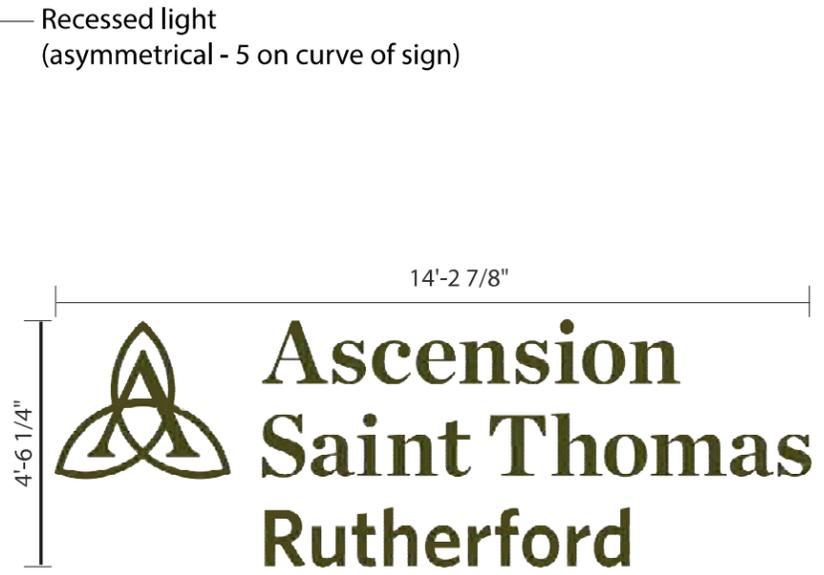


**SIDE VIEW OF LANTERN**

- Tennessee Limestone (specification)**
- Tennessee Limestone Veneer (Thin Farm Stone - Jones Stone Company or equal)
  - Atypical random dry-stack pattern (no jumpers)
  - 6-inch maximum veneer depth
  - 3/8" inch maximum joint, no grout to show
  - Install stone/brick ties every other course
  - (4-inch by 5-inch by 4-inch minimum stone size)
  - (8-inch by 6-inch by 18-inch maximum stone size)



**PLAN VIEW**



**SECTION, TYP.**

**B14**  
**B14 - GATEWAY ENTRY SIGN (east elevation)**  
**277 V electrical service**

Scale: 3/16"=1'

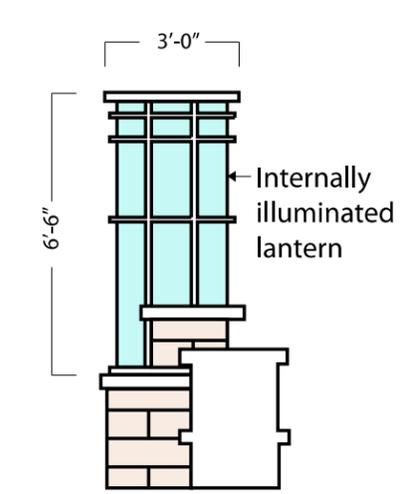
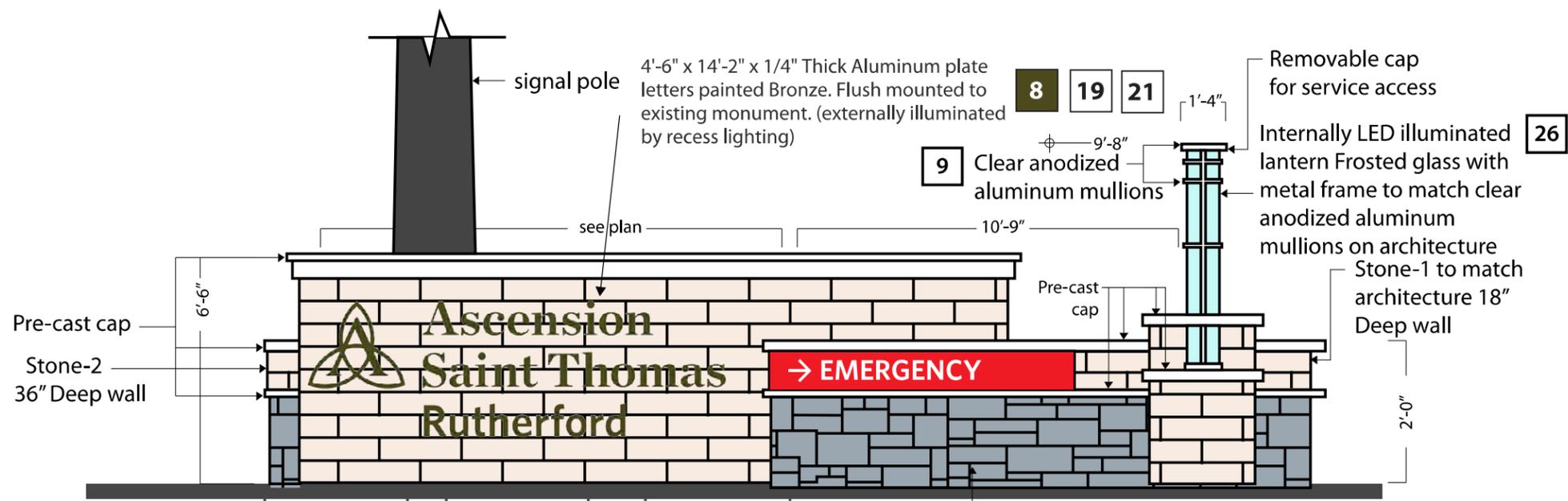


**ASCENSION SAINT THOMAS RUTHERFORD**  
**1700 Medical Center Parkway**  
**Murfreesboro, TN 37129**

<b>ASCENSION SAINT THOMAS</b>	
Project Name	
Project Number TN-153	
File Name/Location <a href="https://studio.bluebeam.com/share/j24zzz">https://studio.bluebeam.com/share/j24zzz</a>	
Description Signage Description	
Sheet Number G-07	Sign Type B14



**ASCENSION SAINT THOMAS RUTHERFORD**  
 1700 Medical Center Parkway  
 Murfreesboro, TN 37129

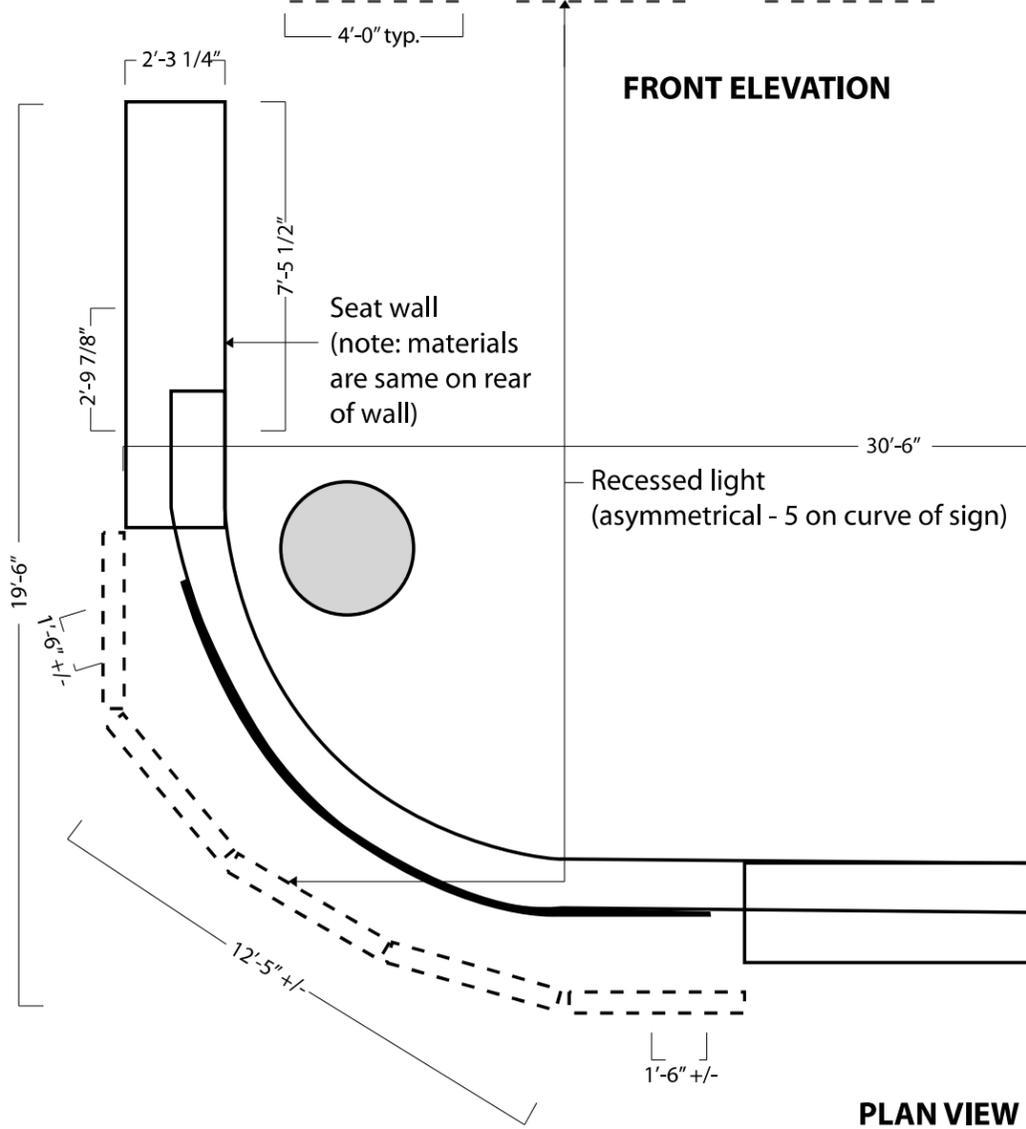


**SIDE VIEW OF LANTERN**

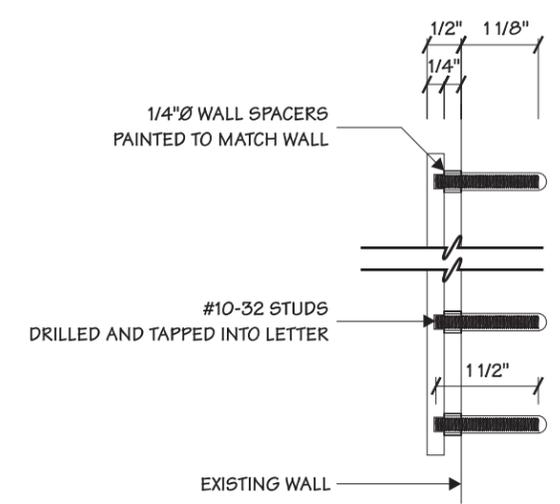
**FRONT ELEVATION**

Tennessee Limestone  
 (see specification)  
 Tennessee Limestone (specification)

- Tennessee Limestone Veneer (Thin Farm Stone - Jones Stone Company or equal)
- Atypical random dry-stack pattern (no jumpers)
- 6-inch maximum veneer depth
- 3/8" inch maximum joint, no grout to show
- Install stone/brick ties every other course
- (4-inch by 5-inch by 4-inch minimum stone size)
- (8-inch by 6-inch by 18-inch maximum stone size)



**PLAN VIEW**



**SECTION, TYP.**

**B15**  
**B15 - GATEWAY ENTRY SIGN (west elevation)**  
**277 V electrical service**

Scale: 3/16"=1'

<b>Project Name</b> ASCENSION SAINT THOMAS	
<b>Project Number</b> TN-153	
<b>File Name/Location</b> <a href="https://studio.bluebeam.com/share/j24zzz">https://studio.bluebeam.com/share/j24zzz</a>	
<b>Description</b> Signage Description	
<b>Sheet Number</b> G-08	<b>Sign Type</b> B15

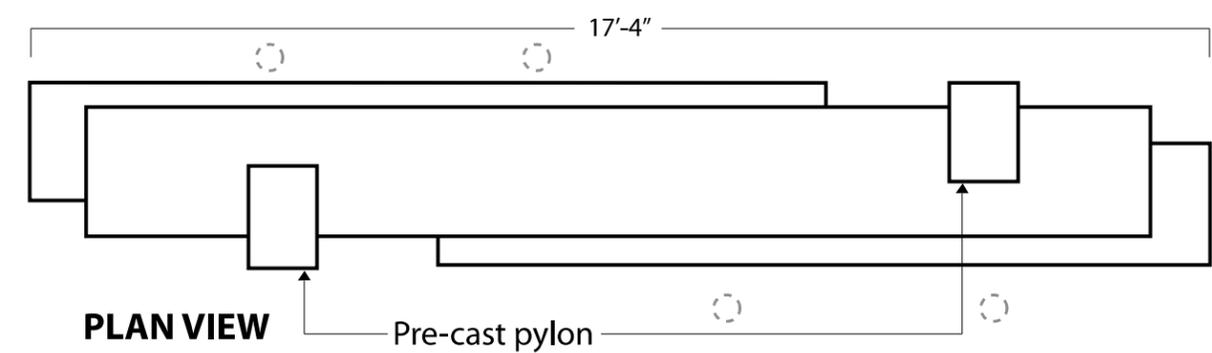


Ascension  
Saint Thomas  
Rutherford

ASCENSION SAINT THOMAS  
RUTHERFORD  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

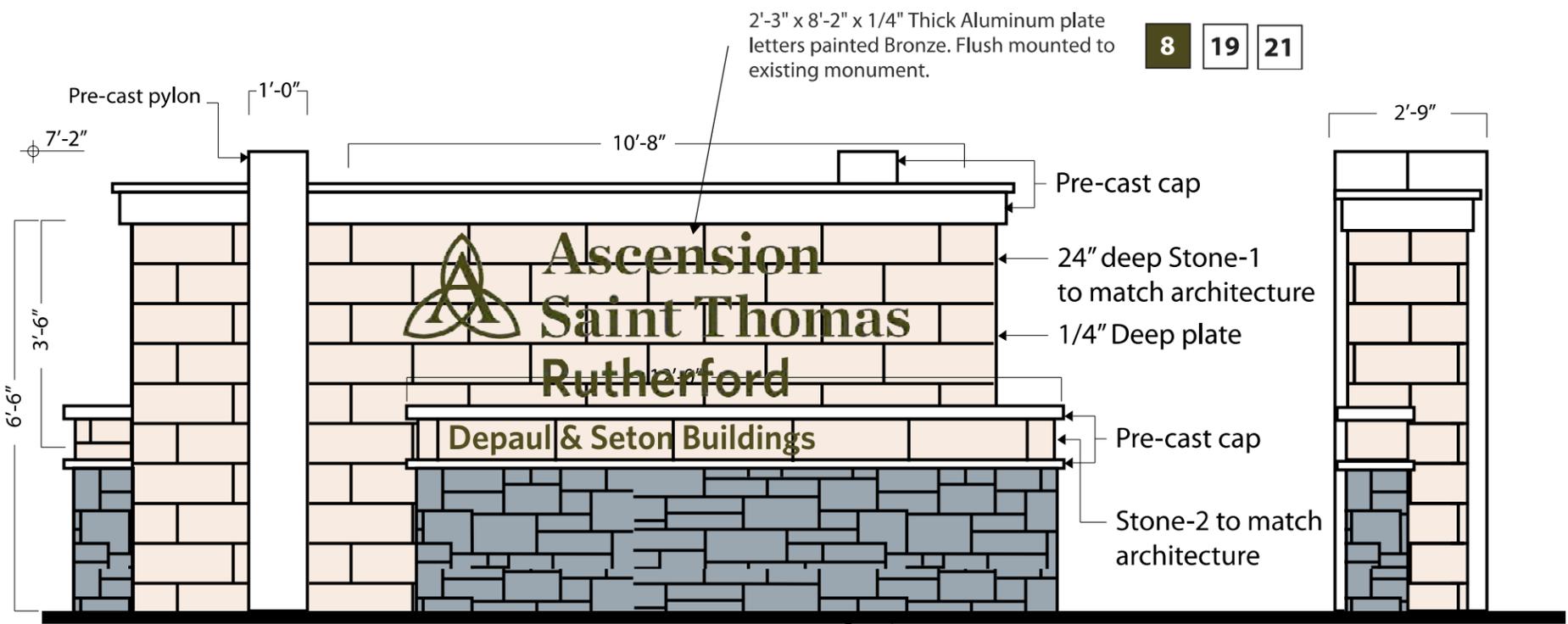


**B09** B09- LAYOUT AT GATEWAY BLVD.  
EAST - NTS



PLAN VIEW

Pre-cast pylon



FRONT ELEVATION

Tennessee Limestone (specification)

- Tennessee Limestone Veneer (Thin Farm Stone - Jones Stone Company or equal)
- Atypical random dry-stack pattern (no jumpers)
- 6-inch maximum veneer depth
- 3/8" inch maximum joint, no grout to show
- Install stone/brick ties every other course
- (4-inch by 5-inch by 4-inch minimum stone size)
- (8-inch by 6-inch by 18-inch maximum stone size)

2'-3" x 8'-2" x 1/4" Thick Aluminum plate  
letters painted Bronze. Flush mounted to  
existing monument. **8 19 21**

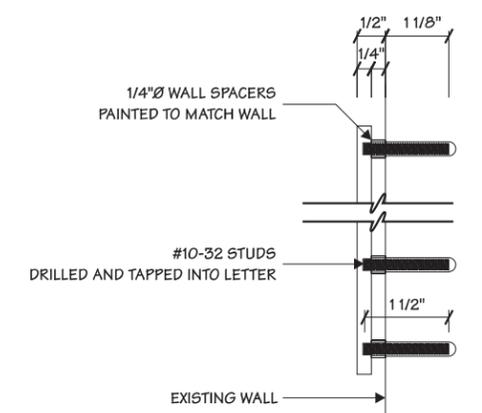
- Pre-cast cap
- 24" deep Stone-1 to match architecture
- 1/4" Deep plate
- Pre-cast cap
- Stone-2 to match architecture

SIDE ELEVATION

- Tennessee Limestone (see specification)
- Above ground flood light (externally illuminated by flood lighting) **23**

**B-08,11,13** B08,B11,B13- SECONDARY ENTRY SIGN  
2-sided  
277 V electrical service

Scale: 1/4"=1'

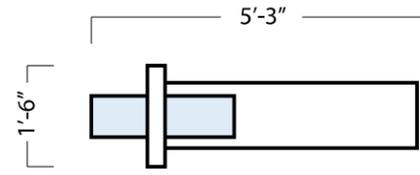


SECTION, TYP.

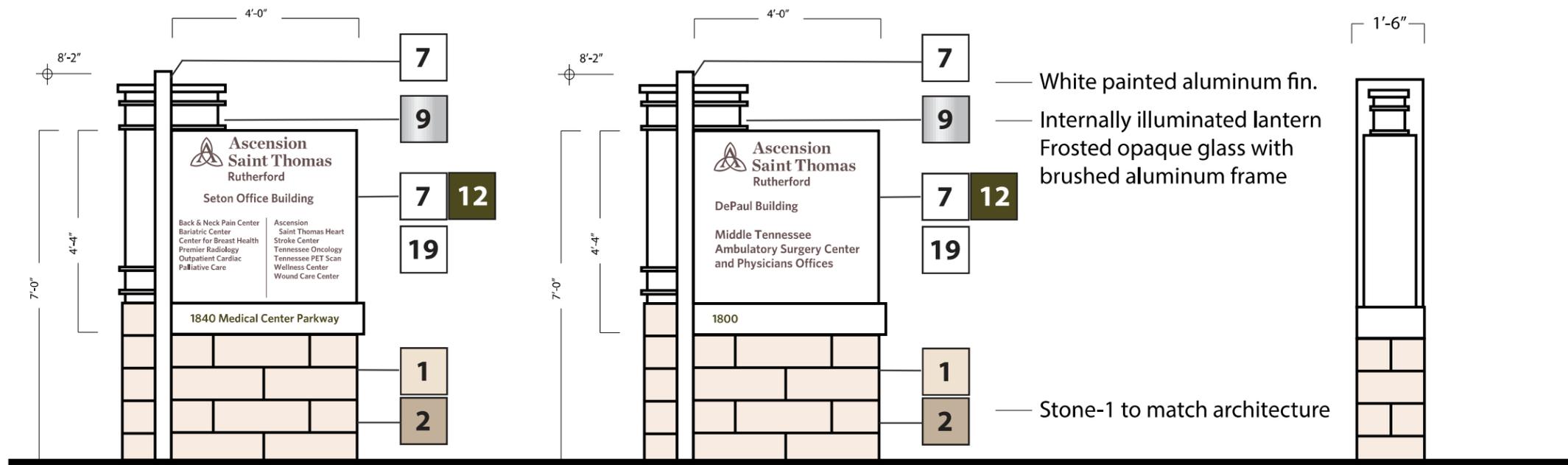
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Project Number <b>TN-153</b>	
File Name/Location <a href="https://studio.bluebeam.com/share/j24zzz">https://studio.bluebeam.com/share/j24zzz</a>	
Description <b>Signage Description</b>	
Sheet Number <b>G-09</b>	Sign Type <b>B-08,11,13</b>



**ASCENSION SAINT THOMAS  
RUTHERFORD**  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129



**PLAN VIEW**



**FRONT ELEVATION**

**SIDE ELEVATION**

Recessed light  
(asymmetrical - 1 per side)

**WF24**

**WF25**

**Project Name**  
ASCENSION SAINT THOMAS

**Project Number**  
TN-153

**File Name/Location**  
<https://studio.bluebeam.com/share/j24zzz>

**Description**  
Signage Description

<b>Sheet Number</b> G-10	<b>Sign Type</b> WF24,WF25
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**N04**

**N04- TRINITY LOGO  
(WEST TOWER)**

**B03**

**B3 - TRINITY LOGO  
(NORTH TOWER)**

**B02**

**B2- TRINITY LOGO  
(EAST TOWER)**



**B03**

**N04**

**B01**

**B1- BUILDING ID**



exterior north elevation:

exterior west tower elevation:

exterior east tower elevation:

**B02**



**WF19**

**WF19- Ascension Saint Thomas**



**WF20**

**WF20- EMERGENCY**



ASCENSION SAINT THOMAS  
RUTHERFORD  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

Description  
Signage Description

Sheet Number G-11	Sign Type B-01,02,03,N04 WF19,WF20
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71'-2"

# Ascension Saint Thomas



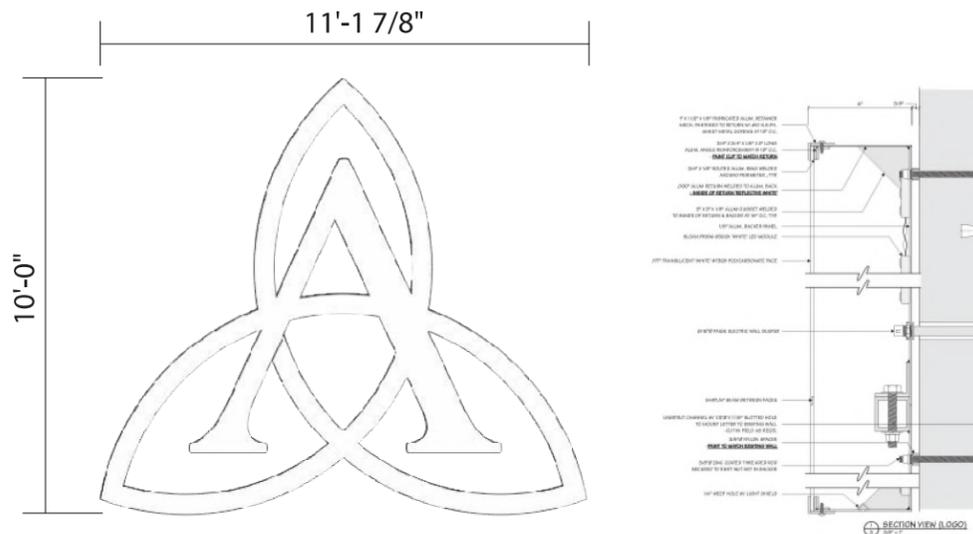
**B01**

## B1- BUILDING ID (LETTERS)

8

16

4'-4 1/2" x 71'-2" x 3" Aluminum Channel Letter, painted Bronze. Aluminum face Halo-lit. (LED) Note: 277V electrical service.



ASCENSION SAINT THOMAS  
RUTHERFORD  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

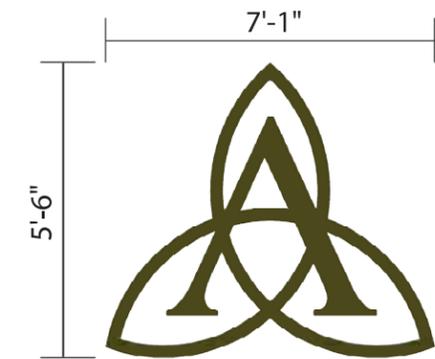
**B02-B03  
N04**

## B02-B03-N04 TRINITY LOGO (TOWERS)

9

16

10'x11'-1 7/8"-6" aluminum Channel Letter, trim painted silver. Internally face-lit with polycarbonate face. (LED) Note: 277v electrical service.



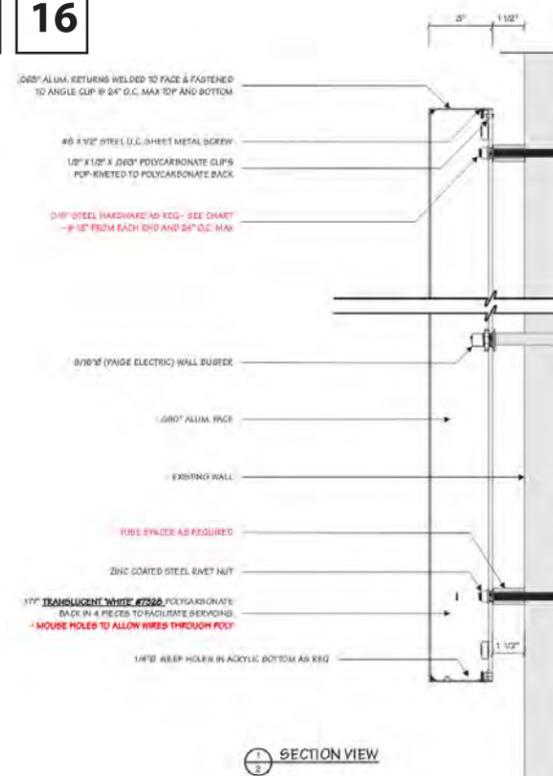
**B04**

## B04- BUILDING ID (LETTERS)

8

16

4'-2" x 17'-11" x 3" Aluminum Channel Letter, painted Bronze. Aluminum face Halo-lit. (LED) Note: 277V electrical service.



**N03**

## N03-TRINITY LOGO

8

16

5'-6" x 7'-1" x 3" Aluminum Channel Letter, painted Bronze. Aluminum face Halo-lit. (LED) Note: 277V electrical service.

**B05**

## B05- BUILDING ID (LETTERS)

8

16

4'-2" x 13'-10" x 3" Aluminum Channel Letter, painted Bronze. Aluminum face Halo-lit. (LED) Note: 277V electrical service.

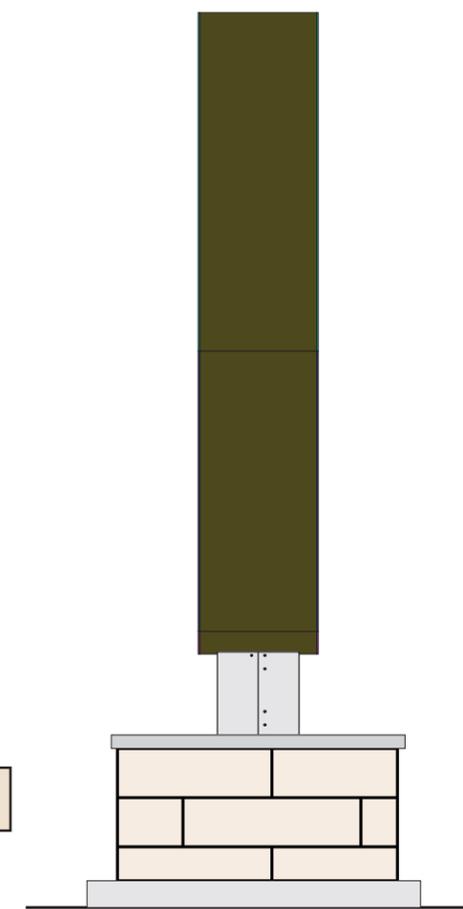
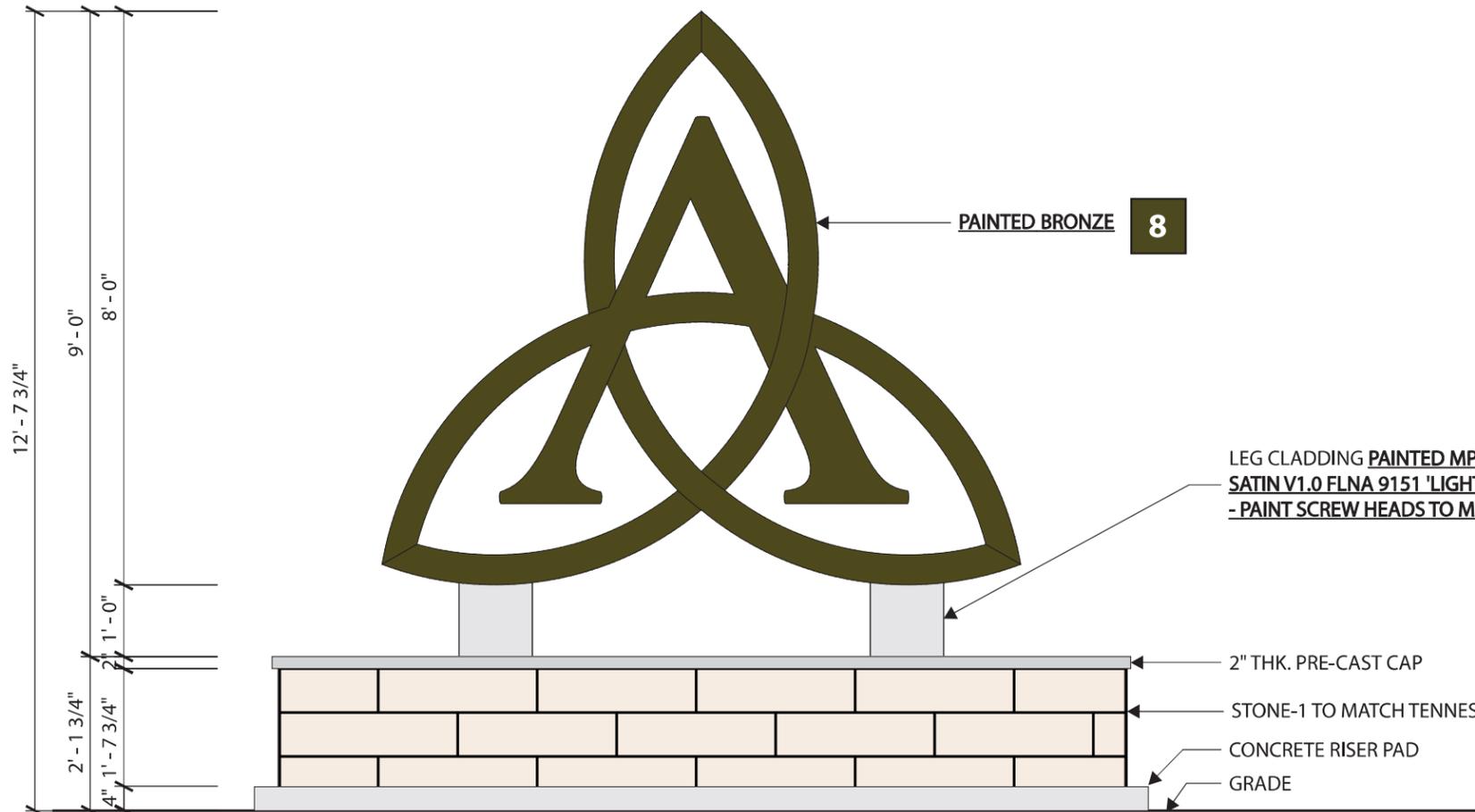
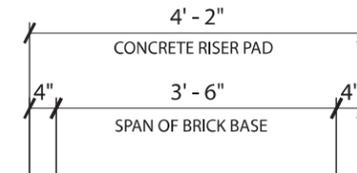
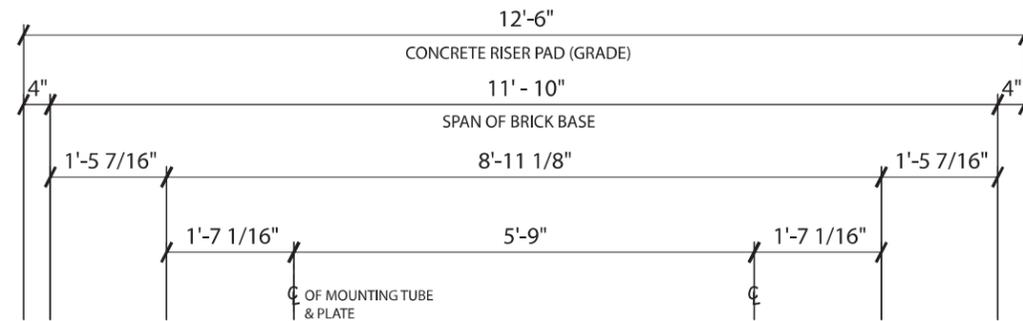
Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

Description  
Signage Description

Sheet Number G-12	Sign Type B-01,02,03,04 05 N-03,04
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2 FRONT ELEVATION  
1 3/8" = 1' - 0"

3 SIDE VIEW  
1 3/8" = 1' - 0"

**N01** Illuminated Architectural Feature.

Tennessee Limestone (specification)

- Tennessee Limestone Veneer (Thin Farm Stone - Jones Stone Company or equal)
- Atypical random dry-stack pattern (no jumpers)
- 6-inch maximum veneer depth
- 3/8" inch maximum joint, no grout to show
- Install stone/brick ties every other course
- (4-inch by 5-inch by 4-inch minimum stone size)
- (8-inch by 6-inch by 18-inch maximum stone size)

Project Name  
**ASCENSION SAINT THOMAS**

Project Number  
**TN-153**

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

Description  
**Signage Description**

Sheet Number <b>G-13</b>	Sign Type <b>N01</b>
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Ascension  
Saint Thomas  
Rutherford

ASCENSION SAINT THOMAS  
RUTHERFORD  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

Issue/Rev	Date/Description
00	07.15.2020

Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

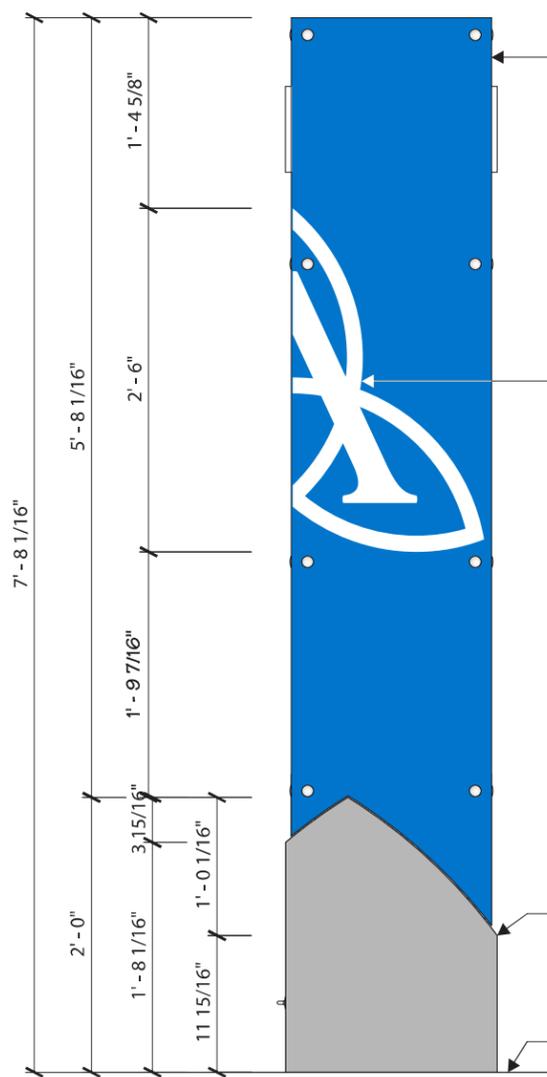
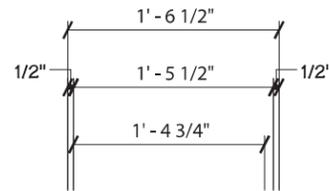
Description  
Signage Description

Sheet Number	Sign Type
G-14	N02



PAINT (2) SCREW HEAD TO MATCH SIGN BODY

1 PLAN VIEW  
1 3/4" = 1'-0"



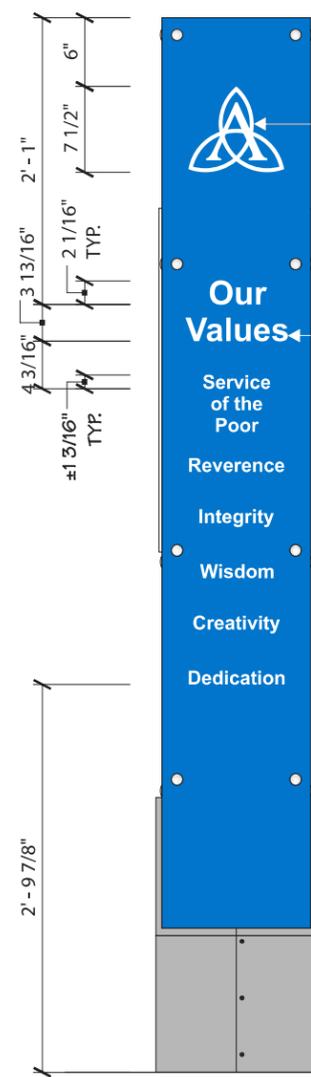
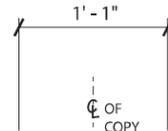
FABRICATED ACRYLIC CABINET  
W/ SECOND SURFACE APPLIED  
3630-20 CLEAR VINYL DIGITALLY PRINTED  
TO MATCH COLOR DETAIL  
& 3M #3635-70 'WHITE' DIFFUSER (60%)

1/4" CUT PLATE ALUM. ASCENSION  
PARTIAL TRINITY  
PAINTED MP59581 R163470  
SV SATIN V1.0 'OPAQUE WHITE'  
W/ SATIN FINISH ON FACE & EDGES

ARCH BASE COVER IS PAINTED  
MP91279 R163470  
SV SATIN V1.0 FLNA 9151 'LIGHT GRAY'  
W/ SATIN FINISH  
ON ALL EXPOSED SURFACES  
(INCLUDES REVEAL)

2 FRONT ELEVATION  
1 3/4" = 1'-0"

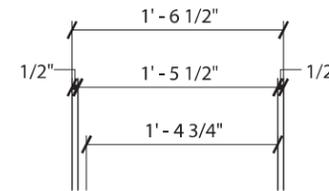
**N02** Illuminated Architectural Feature.



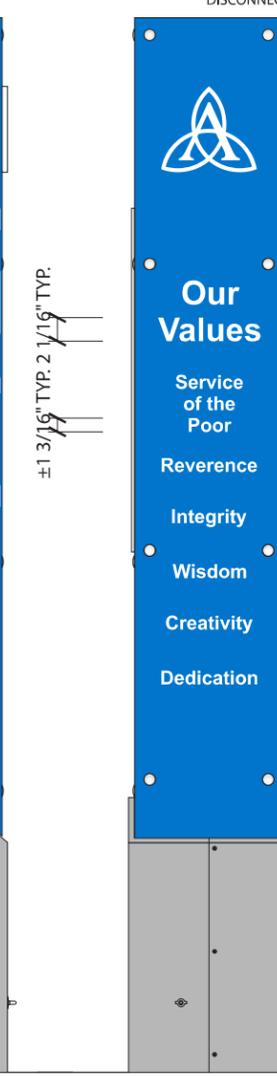
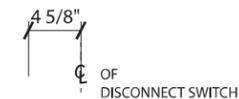
1/2" CUT PLATE ALUM.  
ASCENSION TRINITY  
PAINTED MP59581 R163470  
SV SATIN V1.0 'OPAQUE WHITE'  
W/ SATIN FINISH ON FACE & EDGES

LEFT ELEVATION  
COPY IS SECOND SURFACE  
ENGRAVED & INFILLED 'WHITE LETTERS'  
-COPY STYLE IS WHITNEY BOOK

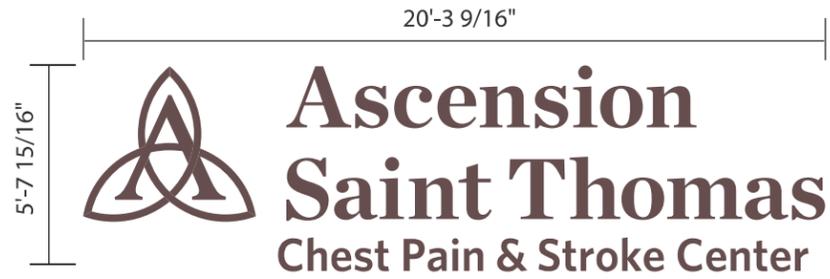
3 RIGHT SIDE ELEVATION  
1 3/4" = 1'-0"



4 REAR ELEVATION  
1 3/4" = 1'-0"



5 LEFT SIDE ELEVATION  
1 3/4" = 1'-0"



**WF19** **WF19- Saint Thomas** **8**  
 1/4" Thick aluminum Non-Illuminated plate letters  
 Letters and logo returns painted bronze



**B-08,09,11,13** **B-08,09,11,13- MONUMENTS** **8**  
 2'-2 7/8" x 8'-1 1/2" x 1/4" Aluminum plate  
 letters and Logo painted Bronze.



**WF20** **WF20- EMERGENCY**  
 1'-6" internally face-lit Emergency letters.  
 Letters and logo lightsource to be red LED. **14 15 16 19**  
 Letters and logo returns painted to match face. Note: 120v electrical  
 service.



**B-10,12** **B10,B12 MONUMENTS** **8**  
 3'-7 1/8" x 11'-2 1/4" x 1/4" Aluminum plate  
 letters and Logo painted Bronze.



Ascension  
 Saint Thomas  
 Rutherford

ASCENSION SAINT THOMAS  
 RUTHERFORD  
 1700 Medical Center  
 Parkway  
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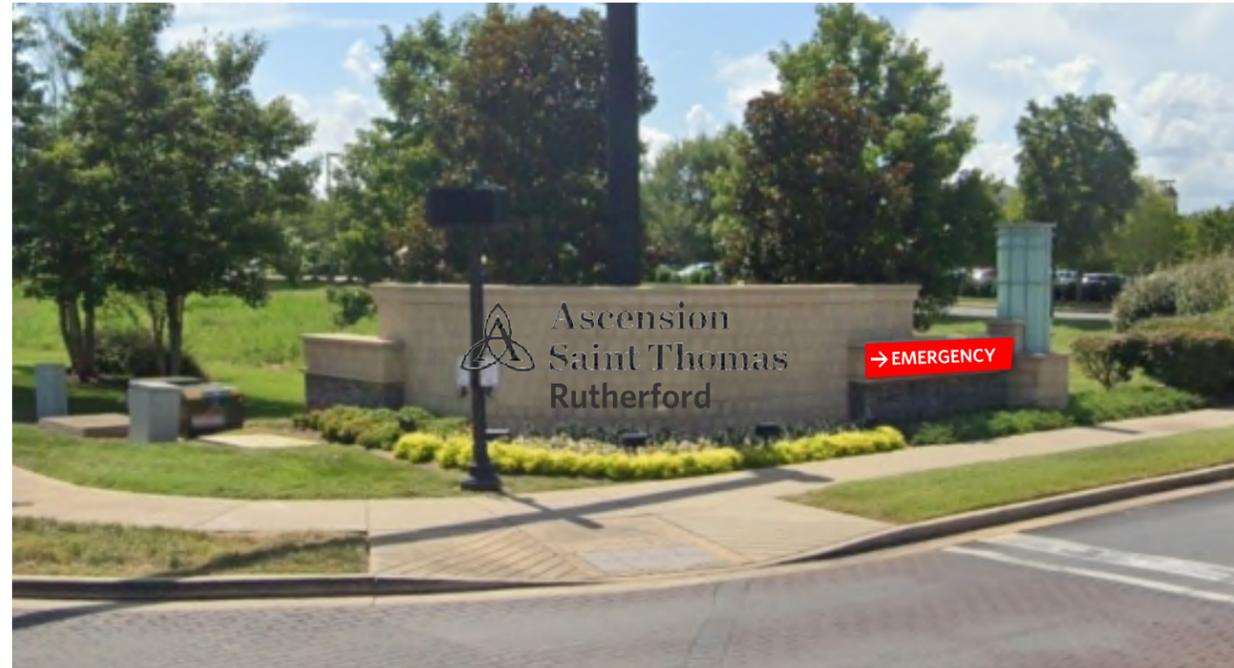
Project Name  
 ASCENSION SAINT THOMAS

Project Number  
 TN-153

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

Description  
 Signage Overview

Sheet Number G-15	Sign Type TN-153
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Ascension  
Saint Thomas  
Rutherford

ASCENSION SAINT THOMAS  
RUTHERFORD  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

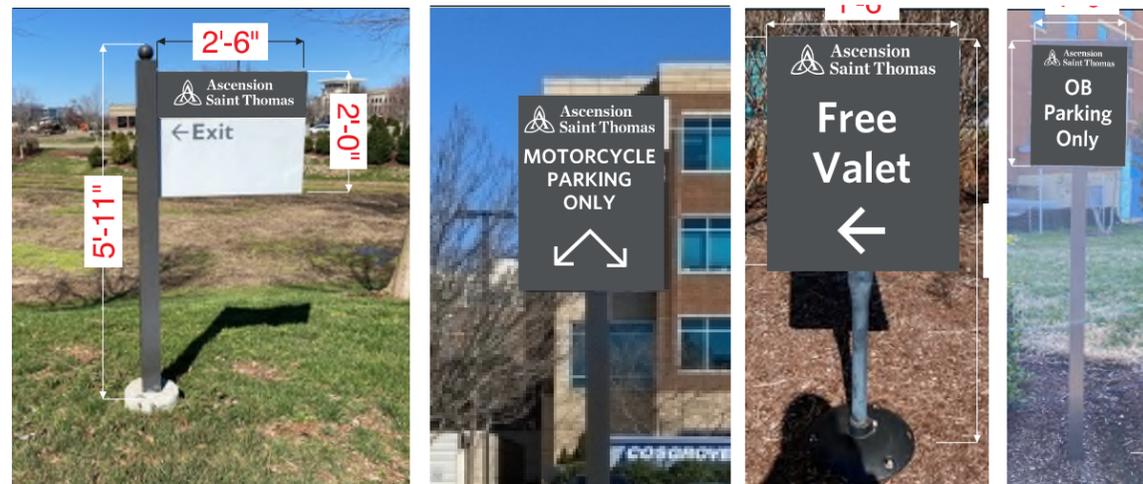


**B-14,15**

**B14,B15- MONUMENTS**

4'-6 1/4" x 14'-2 7/8" x 1/4" Aluminum plate letters and Logo painted Bronze.

**8**



**M R**

REGULATORY & MISCELANOUS  
SIGNAGE EXAMPLES

**8 11**

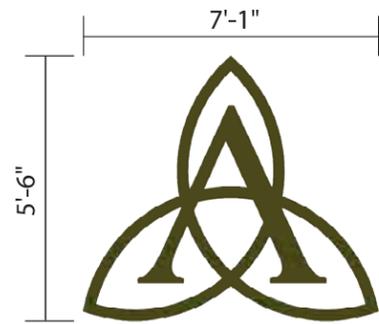
Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

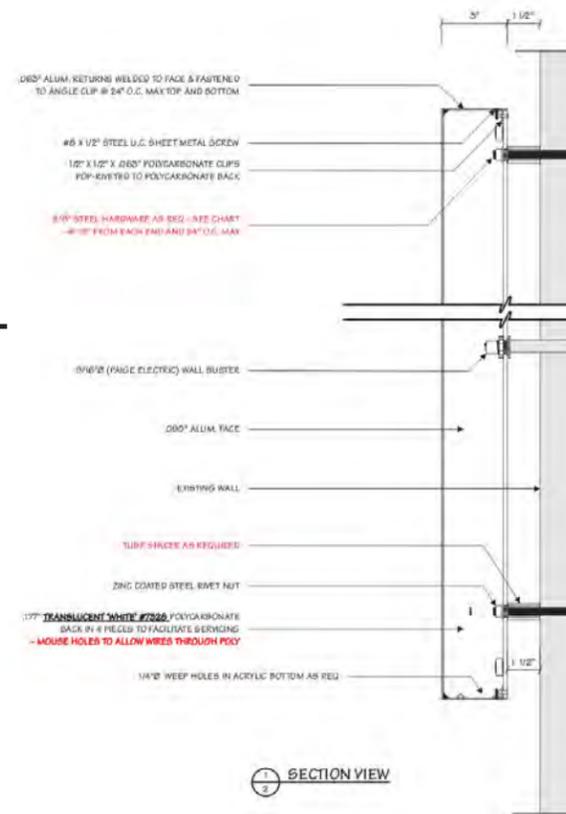
File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

Description  
Signage Overview

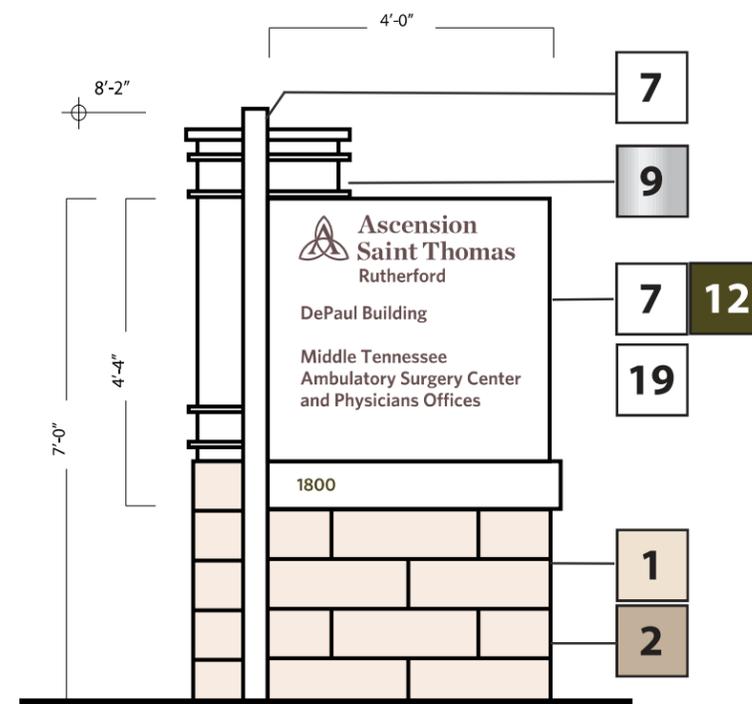
Sheet Number G-16	Sign Type B14,B15,R
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**N03 N03-TRINITY LOGO** 8 16  
 5'-6" x 7'-1" x 3" Aluminum Channel Letter, painted Bronze. Aluminum face Halo-lit. (LED) Note: 277V electrical service.



**B04 B04- BUILDING ID (LETTERS)** 8 16  
 4'-2" x 17'-11" x 3" Aluminum Channel Letter, painted Bronze. Aluminum face Halo-lit. (LED) Note: 277V electrical service.



**WF25** FRONT ELEVATION



Ascension Saint Thomas Rutherford

ASCENSION SAINT THOMAS RUTHERFORD  
 1700 Medical Center Parkway  
 Murfreesboro, TN 37129



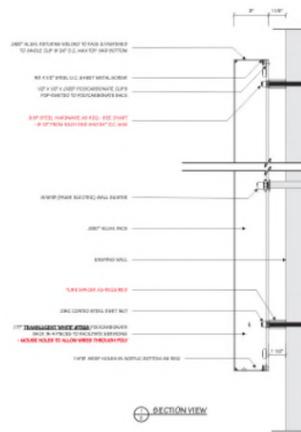
DePaul Building

<b>Project Name</b> ASCENSION SAINT THOMAS	
<b>Project Number</b> TN-153	
<b>File Name/Location</b> <a href="https://studio.bluebeam.com/share/j24zzz">https://studio.bluebeam.com/share/j24zzz</a>	
<b>Description</b> DePaul Building	
<b>Sheet Number</b> G-17	<b>Sign Type</b> B-04,N03 WF 25

13'-10"

4'-2"

# Seton



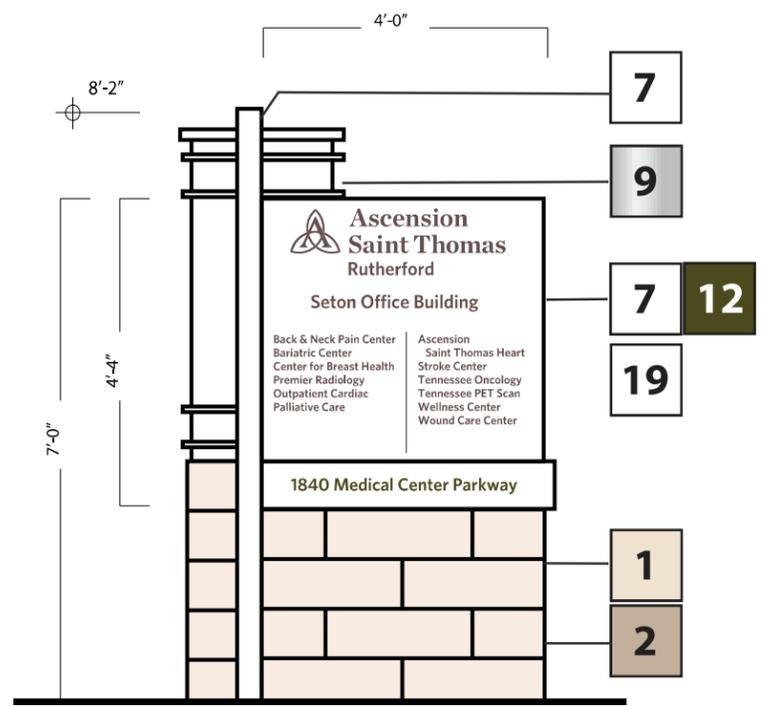
**B05** **B05- BUILDING ID (LETTERS)** 8 16

4'-2" x 13'-10" x 3" Aluminum Channel Letter, painted Bronze. Aluminum face Halo-lit. (LED) Note: 277V electrical service.



**B-06,07** **B-06,07- Building ID** 7 10 16 19

4'-2 7/8" x 27'-1 3/4" x 3" White face channel letter, internally illuminated. "Ascension Saint Thomas Heart" (LED) Note: 277V electrical service.



**WF24** FRONT ELEVATION

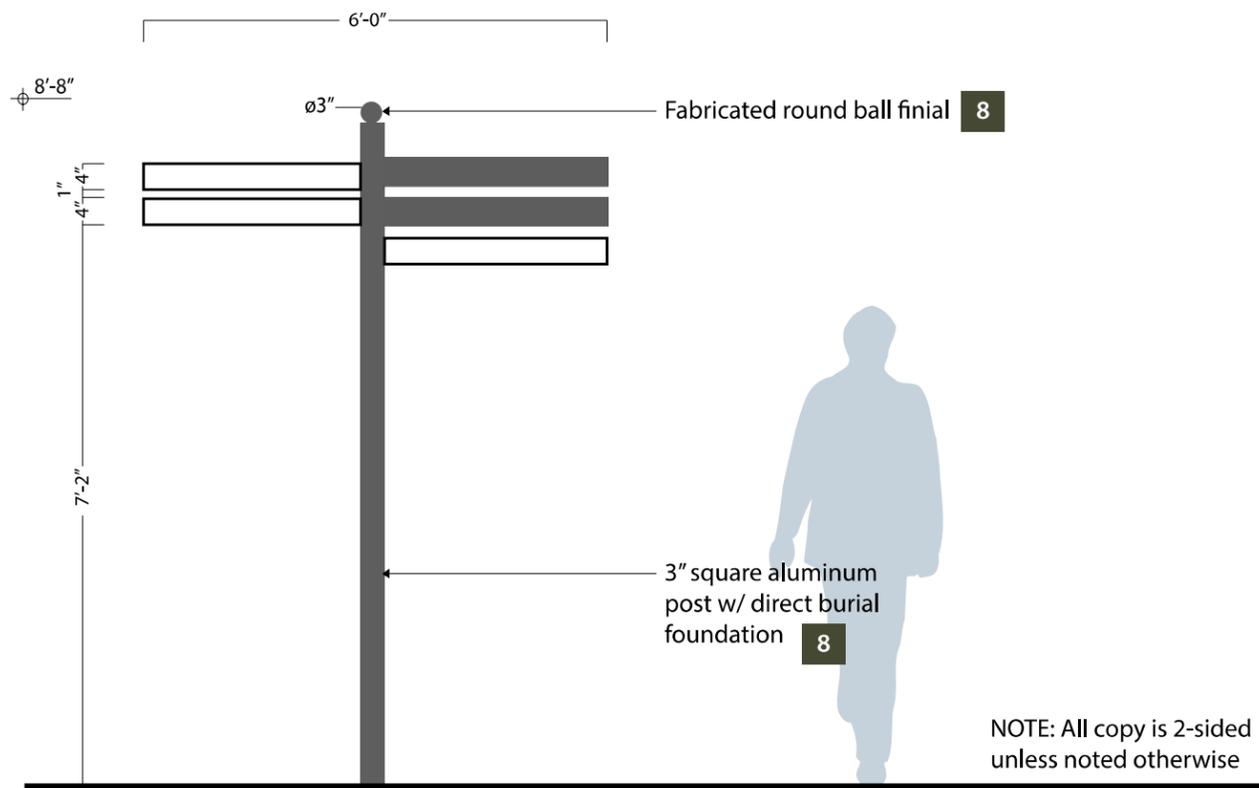


ASCENSION SAINT THOMAS RUTHERFORD  
1700 Medical Center Parkway  
Murfreesboro, TN 37129



Seton Building

Project Name <b>ASCENSION SAINT THOMAS</b>	
Project Number <b>TN-153</b>	
File Name/Location <a href="https://studio.bluebeam.com/share/j24zzz">https://studio.bluebeam.com/share/j24zzz</a>	
Description <b>Seton Building</b>	
Sheet Number <b>G-18</b>	Sign Type <b>B-05,06,07 WF 24</b>

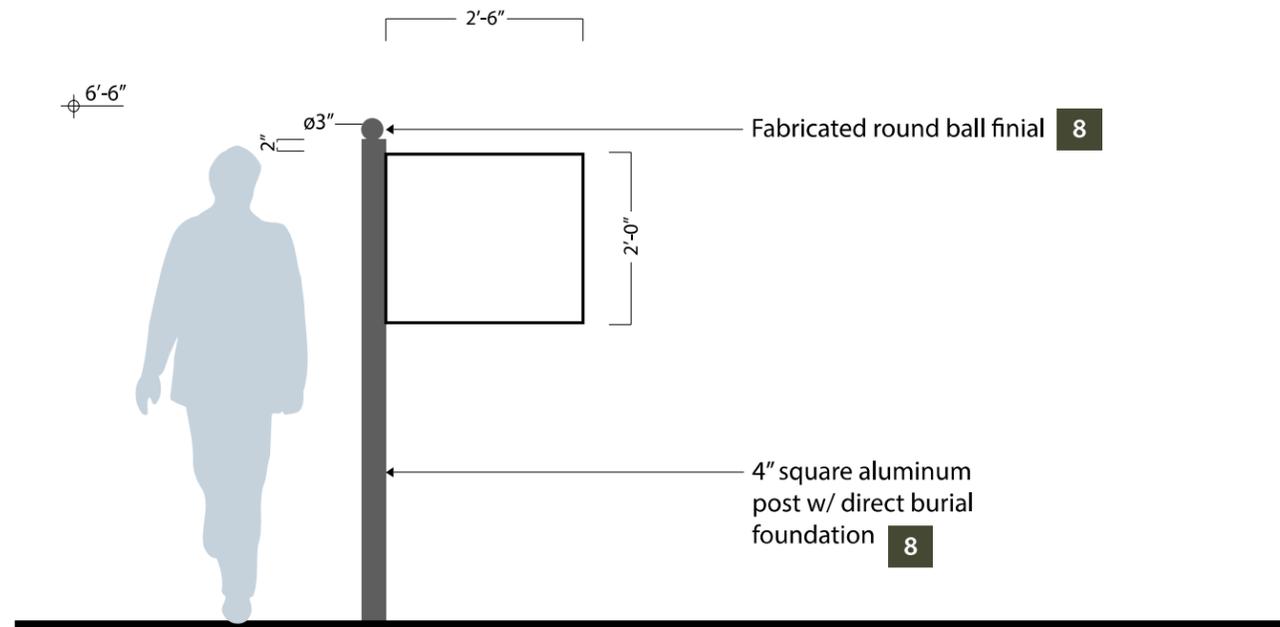


Scale: 3/8"=1'

FRONT ELEVATION

M

MISCELLANEOUS SIGNS

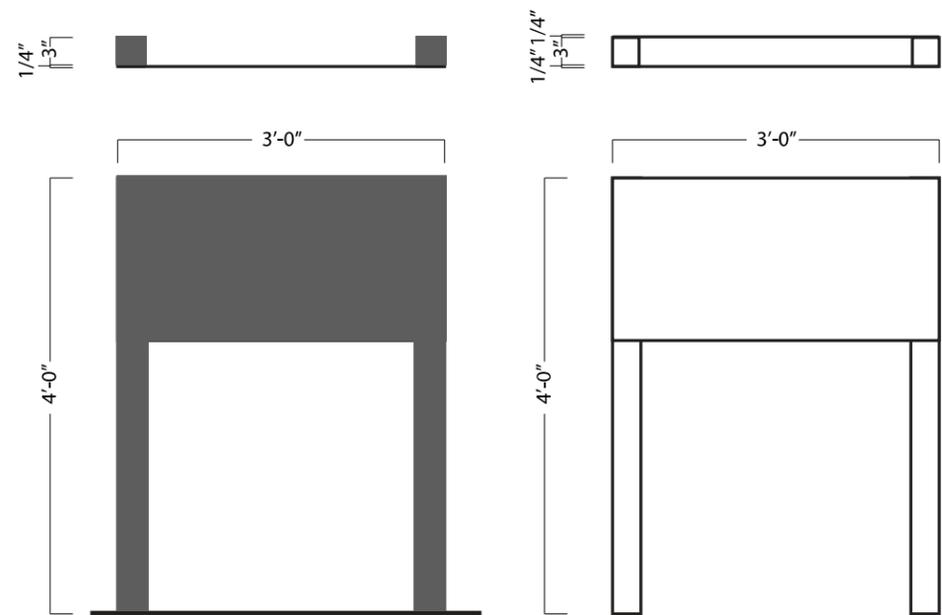


Scale: 3/8"=1'

FRONT ELEVATION

M

MISCELLANEOUS SIGNS



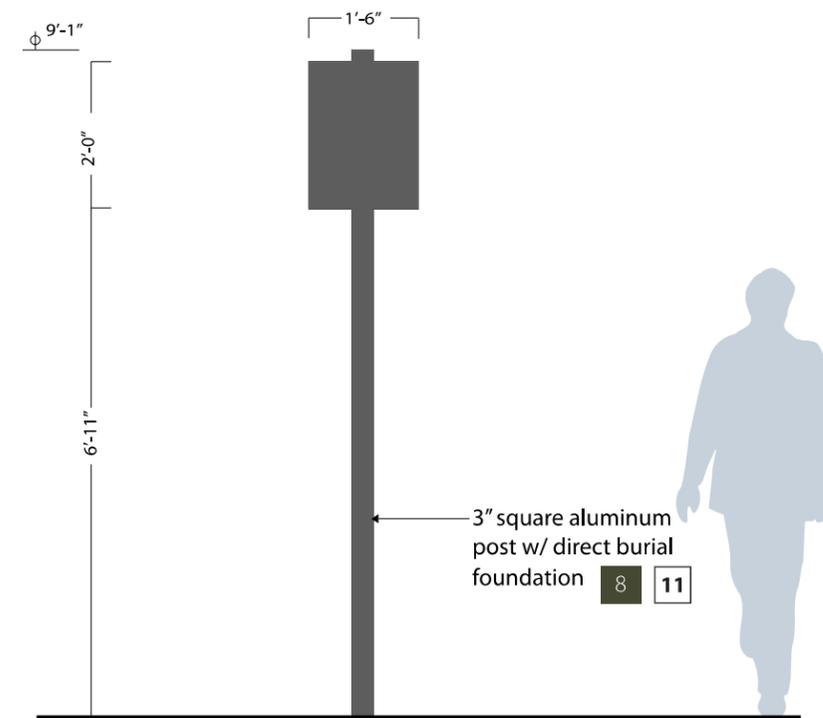
3" ALUMINUM SQUARE POST MOUNTED OPTION 8 11

Scale: 1/2"=1'

3" ALUMINUM SQUARE POST MOUNTED OPTION (2-SIDED ALTERNATE LAYOUT) 7 12

M

MISCELLANEOUS SIGNS



R

FRONT ELEVATION



ASCENSION SAINT THOMAS RUTHERFORD  
1700 Medical Center Parkway  
Murfreesboro, TN 37129

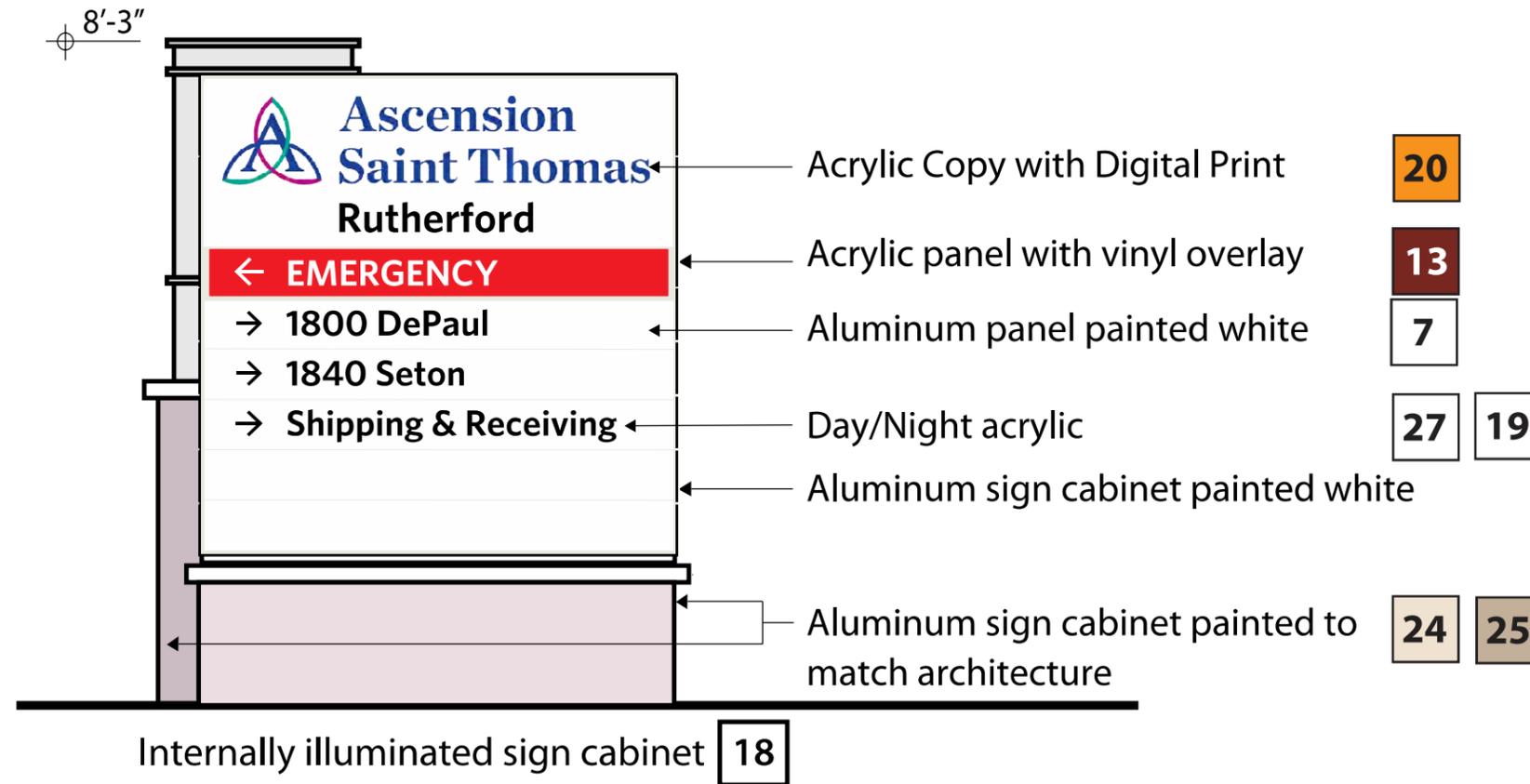
Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

Description  
Misc Signage

Sheet Number G-19	Sign Type TN-153
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**WF**

**VEHICULAR DIRECTIONAL**  
**WF-03,04,05,06,07,08,09,10,11,12,13,14,15,16,17,18**  
 Monument Internally illuminated retro-fit lightsource to be LED. Note: 277v electrical service.

**ASCENSION SAINT THOMAS RUTHERFORD**  
 1700 Medical Center Parkway  
 Murfreesboro, TN 37129

**Project Name**  
 ASCENSION SAINT THOMAS

**Project Number**  
 TN-153

**File Name/Location**  
<https://studio.bluebeam.com/share/j24zzz>

**Description**  
 Page description

<b>Sheet Number</b>	<b>Sign Type</b>
G-20	TN-153

# ENTRY SIGNAGE LOCATIONS



ASCENSION SAINT THOMAS  
RUTHERFORD  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

Description  
Entry Door Map

Sheet Number	Sign Type
G-21	Entry Doors

1' - 11"      1' - 11"      1' - 11"      1' - 11"

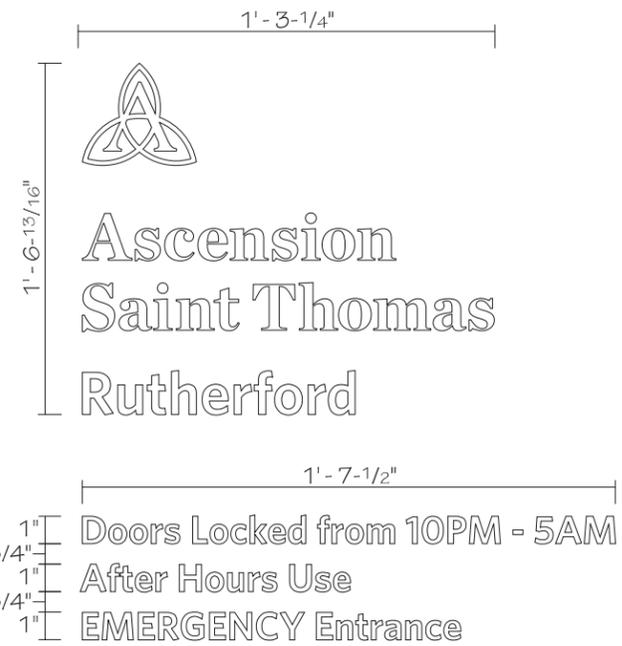
2' - 8-1/2"

2' - 6-1/4"



Front View  
Scale: 3/4" = 1' - 0"

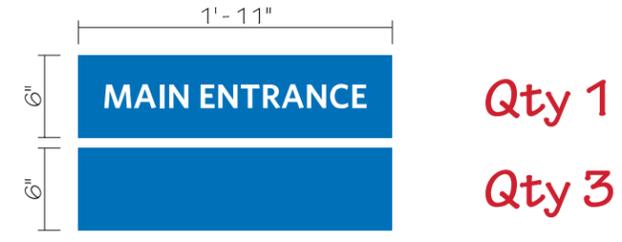
**Total Square Feet of Glass: 40**  
**Total Square Feet of Graphics: 9**



1"  
3/4"  
1"  
3/4"  
1"



Front View - V1c, V2e, V3  
Scale: 1-1/2" = 1' - 0"



Front View - V2b **PMS 285**  
Scale: 3/4" = 1' - 0"



**ASCENSION SAINT THOMAS  
RUTHERFORD**  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

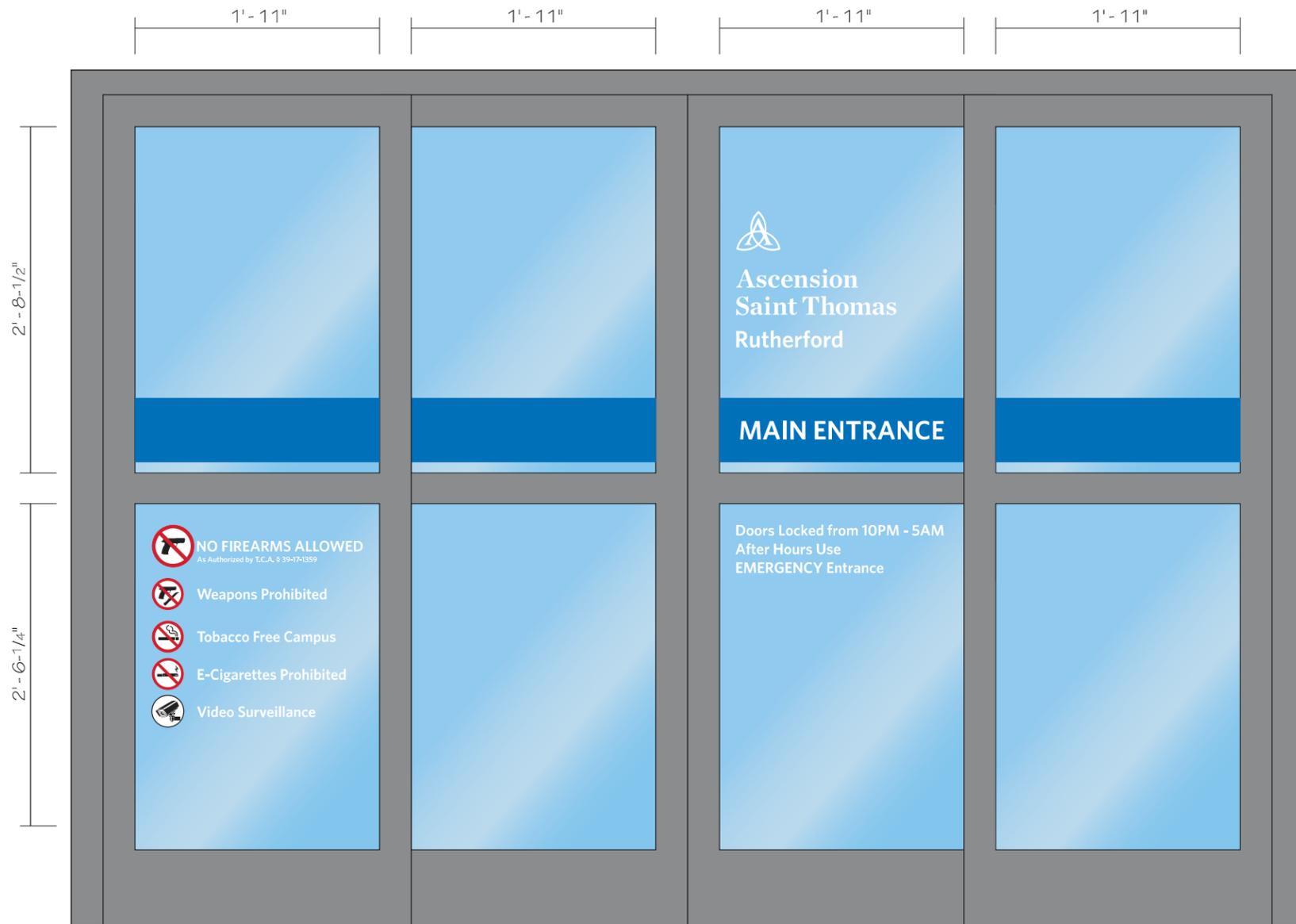
**Project Name**  
ASCENSION SAINT THOMAS

**Project Number**  
TN-153

**File Name/Location**  
<https://studio.bluebeam.com/share/j24zzz>

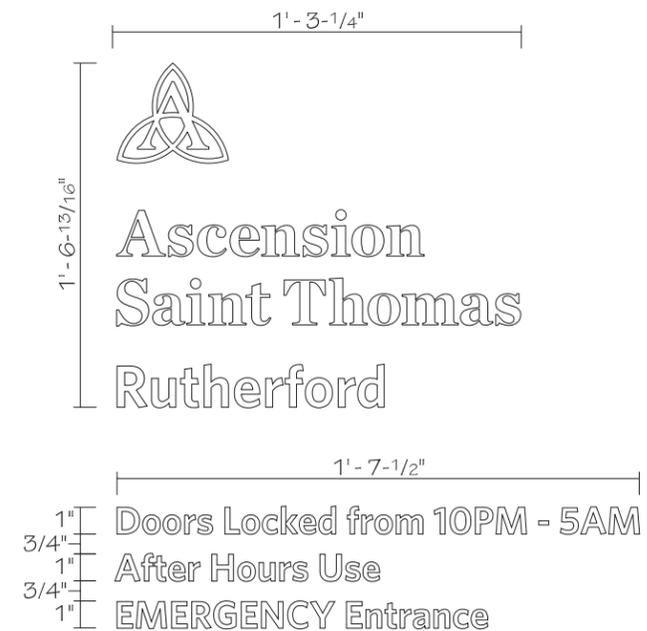
**Description**  
Door Vinyls

<b>Sheet Number</b> G-22	<b>Sign Type</b> V-E-01
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Front View  
Scale: 3/4" = 1' - 0"

**Total Square Feet of Glass: 40**  
**Total Square Feet of Graphics: 9**



Front View - V1c, V2e, V3  
Scale: 1-1/2" = 1' - 0"



Front View - V2b **PMS 285**  
Scale: 3/4" = 1' - 0"



**ASCENSION SAINT THOMAS  
RUTHERFORD**  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

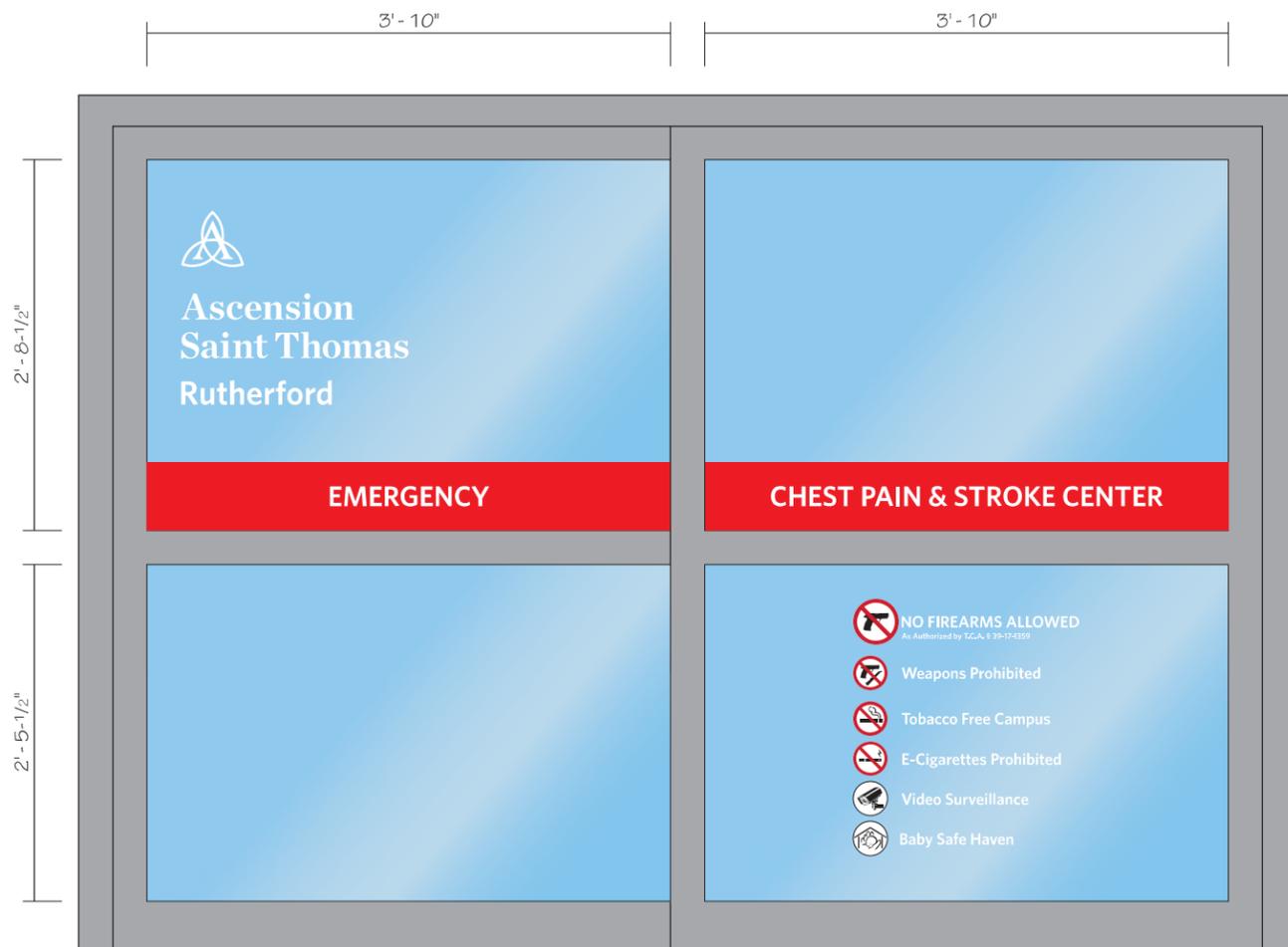
**Project Name**  
ASCENSION SAINT THOMAS

**Project Number**  
TN-153

**File Name/Location**  
<https://studio.bluebeam.com/share/j24zzz>

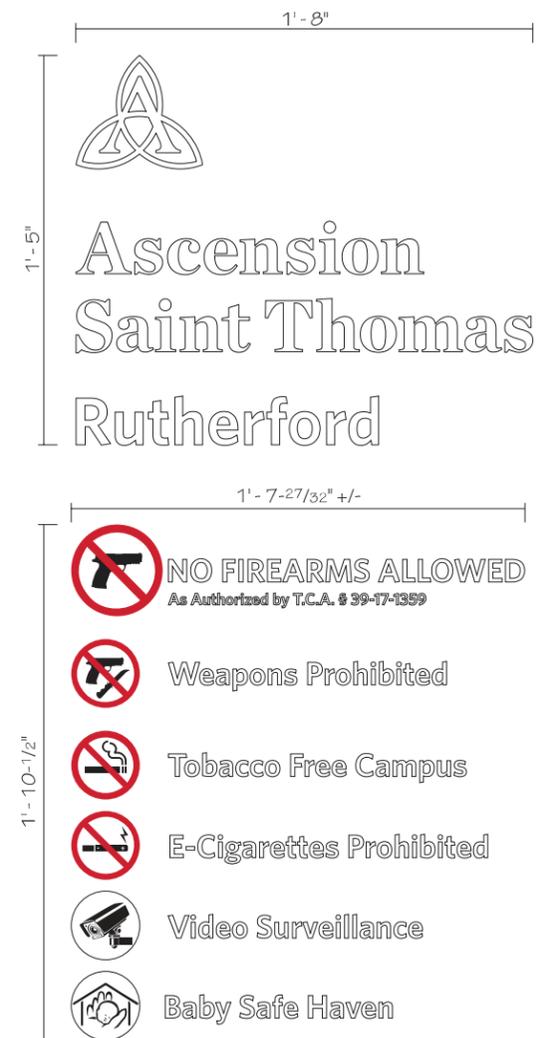
**Description**  
Door Vinyls

<b>Sheet Number</b> G-23	<b>Sign Type</b> V-E-02
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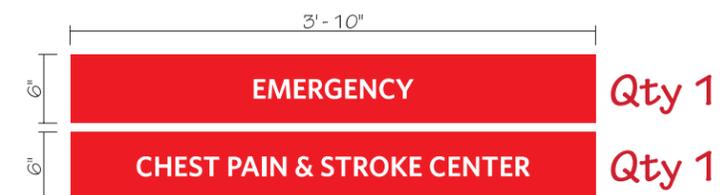


Front View  
Scale: 3/4" = 1' - 0"

Total Square Feet of Glass: 39.6  
Total Square Feet of Graphics: 9.2



Front View - V1c, V3  
Scale: 1-1/2" = 1' - 0"



Front View - V2b  
Scale: 3/4" = 1' - 0"

Qty 1  
Qty 1



ASCENSION SAINT THOMAS  
RUTHERFORD  
1700 Medical Center  
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Murfreesboro, TN 37129

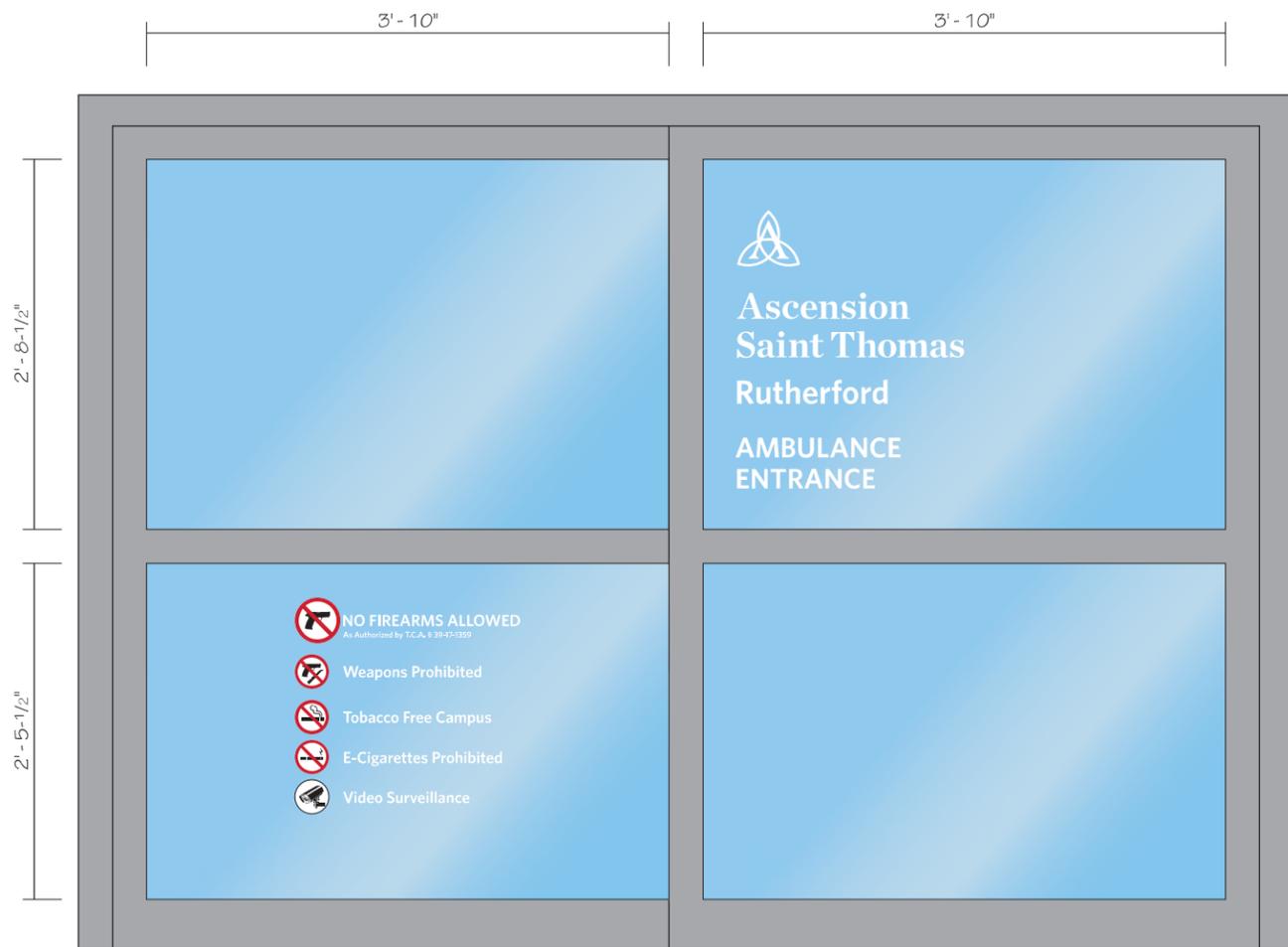
Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

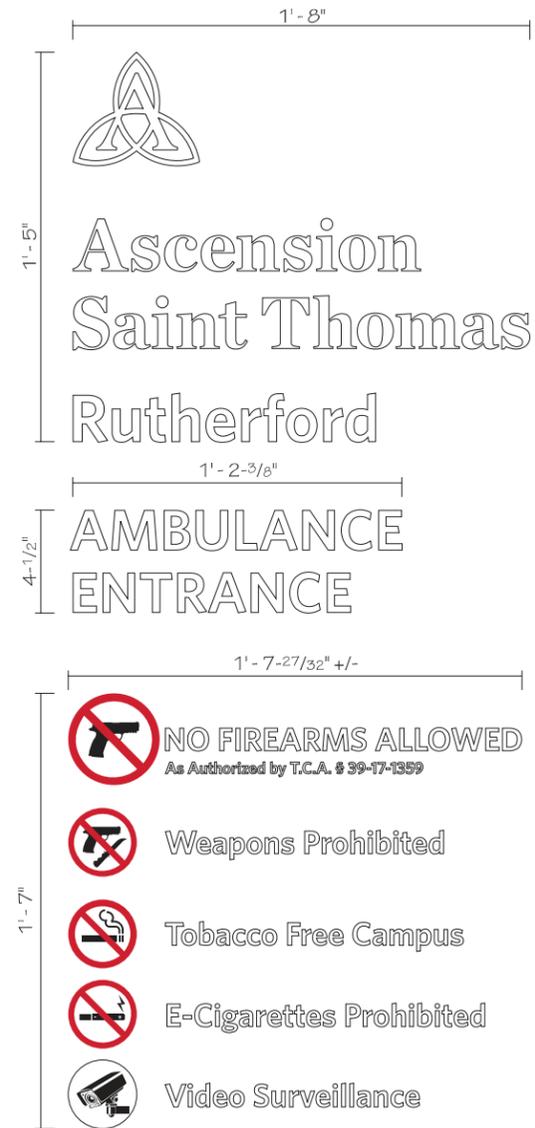
Description  
Door Vinyls

Sheet Number G-24	Sign Type V-E-03
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Front View  
Scale: 3/4" = 1' - 0"

**Total Square Feet of Glass: 39.6**  
**Total Square Feet of Graphics: 5.5**



Front View - V1c, V2c, V3  
Scale: 1-1/2" = 1' - 0"



**ASCENSION SAINT THOMAS  
RUTHERFORD**  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

**Project Name**  
ASCENSION SAINT THOMAS

**Project Number**  
TN-153

**File Name/Location**  
<https://studio.bluebeam.com/share/j24zzz>

**Description**  
Door Vinyls

<b>Sheet Number</b> G-25	<b>Sign Type</b> V-E-04
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Ascension  
Saint Thomas  
Rutherford

ASCENSION SAINT THOMAS  
RUTHERFORD  
1700 Medical Center  
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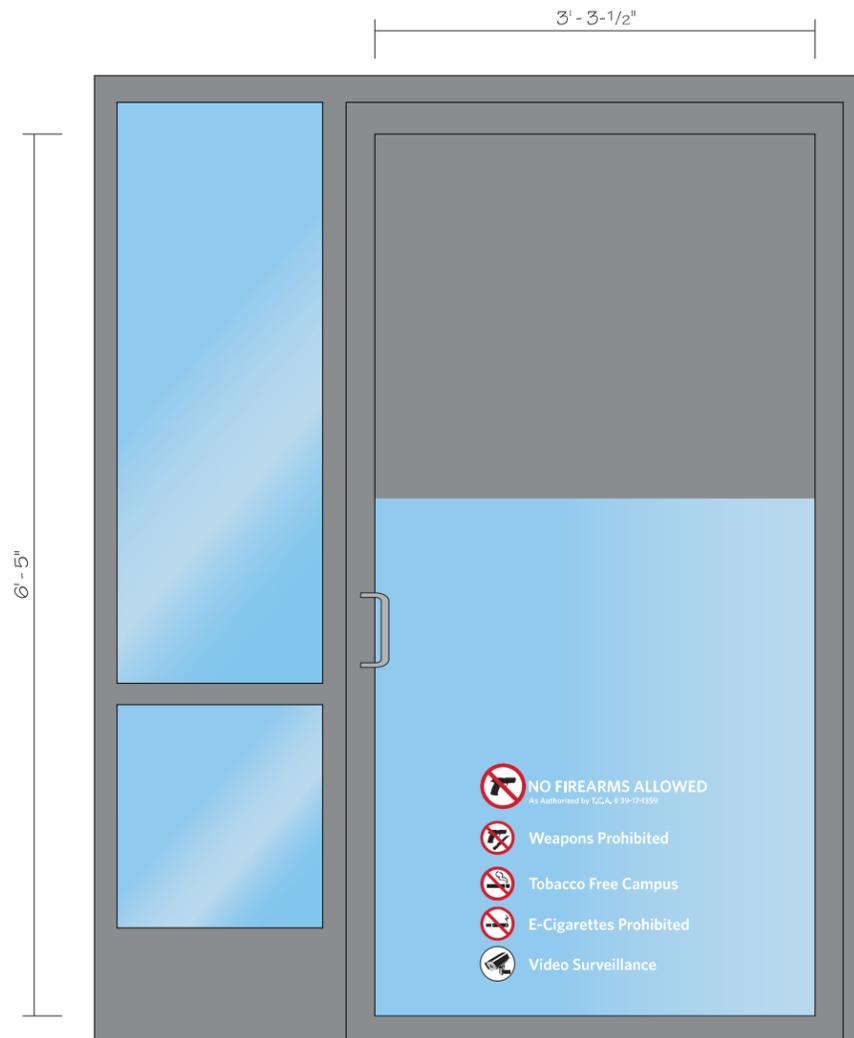
Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

Description  
Door Vinyls

Sheet Number	Sign Type
G-26	V-E-05



Front View  
Scale: 3/4" = 1' - 0"

Total Square Feet of Glass: 21  
Total Square Feet of Graphics: 2.6



Front View - V3  
Scale: 1-1/2" = 1' - 0"



Ascension  
Saint Thomas  
Rutherford

ASCENSION SAINT THOMAS  
RUTHERFORD  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

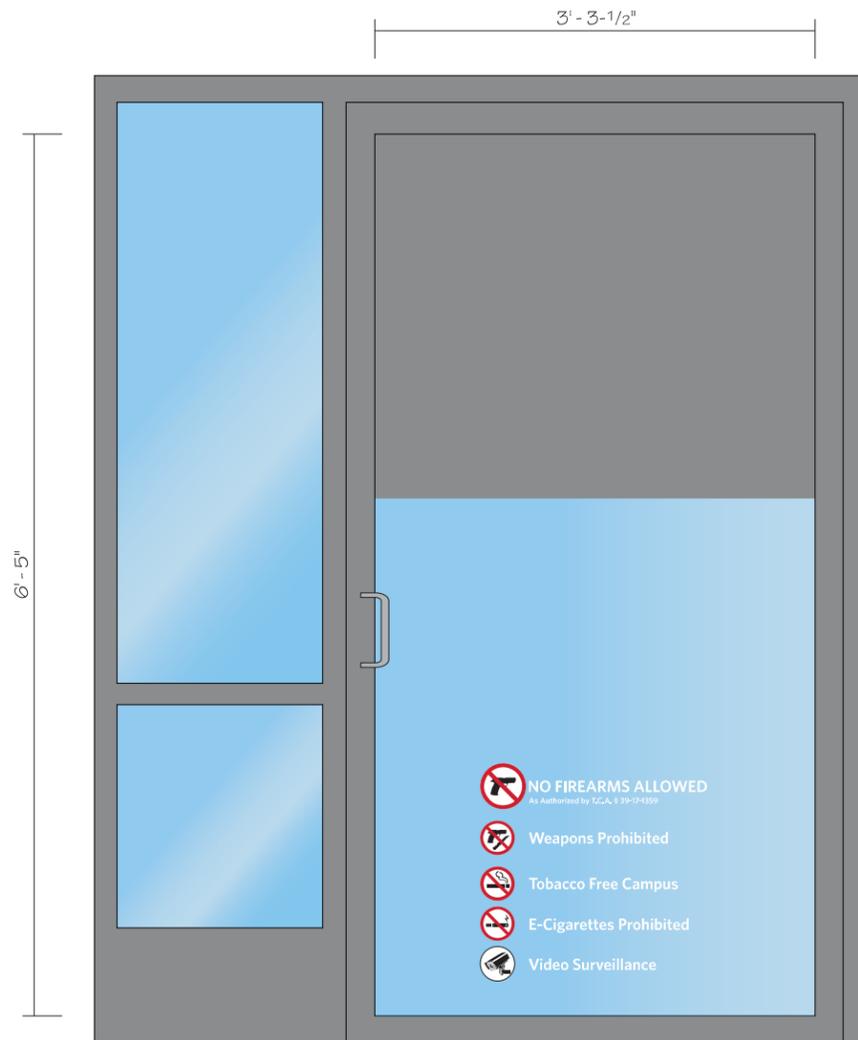
Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

Description  
Door Vinyls

Sheet Number	Sign Type
G-27	V-E-06



Front View  
Scale: 3/4" = 1' - 0"

Total Square Feet of Glass: 21  
Total Square Feet of Graphics: 2.6



Front View - V3  
Scale: 1-1/2" = 1' - 0"



Front View  
Scale: 3/4" = 1' - 0"

**Total Square Feet of Glass: 20.9**  
**Total Square Feet of Graphics: 2.6**



Front View - V1c, V2e, V3  
Scale: 1-1/2" = 1' - 0"



**ASCENSION SAINT THOMAS  
RUTHERFORD**  
1700 Medical Center  
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Murfreesboro, TN 37129

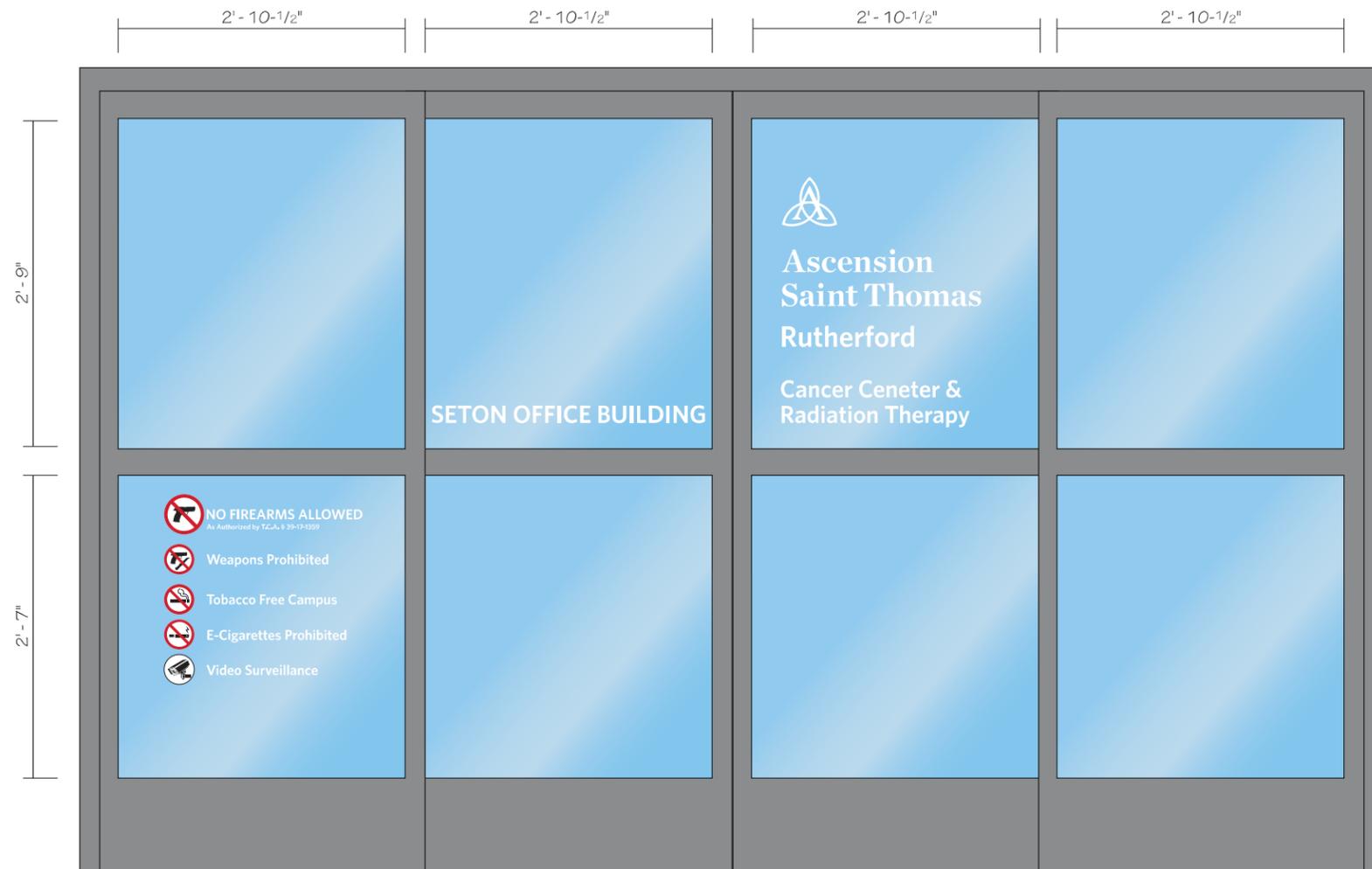
**Project Name**  
ASCENSION SAINT THOMAS

**Project Number**  
TN-153

**File Name/Location**  
<https://studio.bluebeam.com/share/j24zzz>

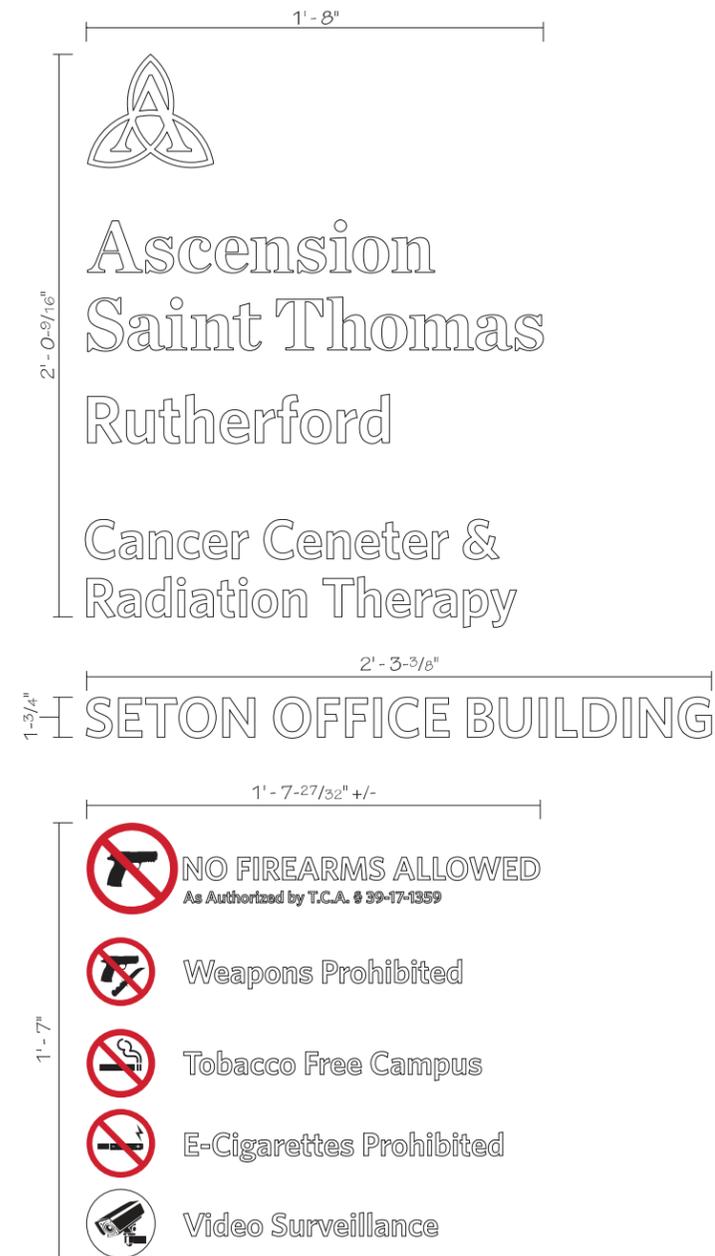
**Description**  
Door Vinyls

<b>Sheet Number</b> G-28	<b>Sign Type</b> V-E-07
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Front View  
Scale: 3/4" = 1' - 0"

Total Square Feet of Glass: 61.2  
Total Square Feet of Graphics: 6.3



Front View - V1c, V2c, V3  
Scale: 1-1/2" = 1' - 0"



ASCENSION SAINT THOMAS  
RUTHERFORD  
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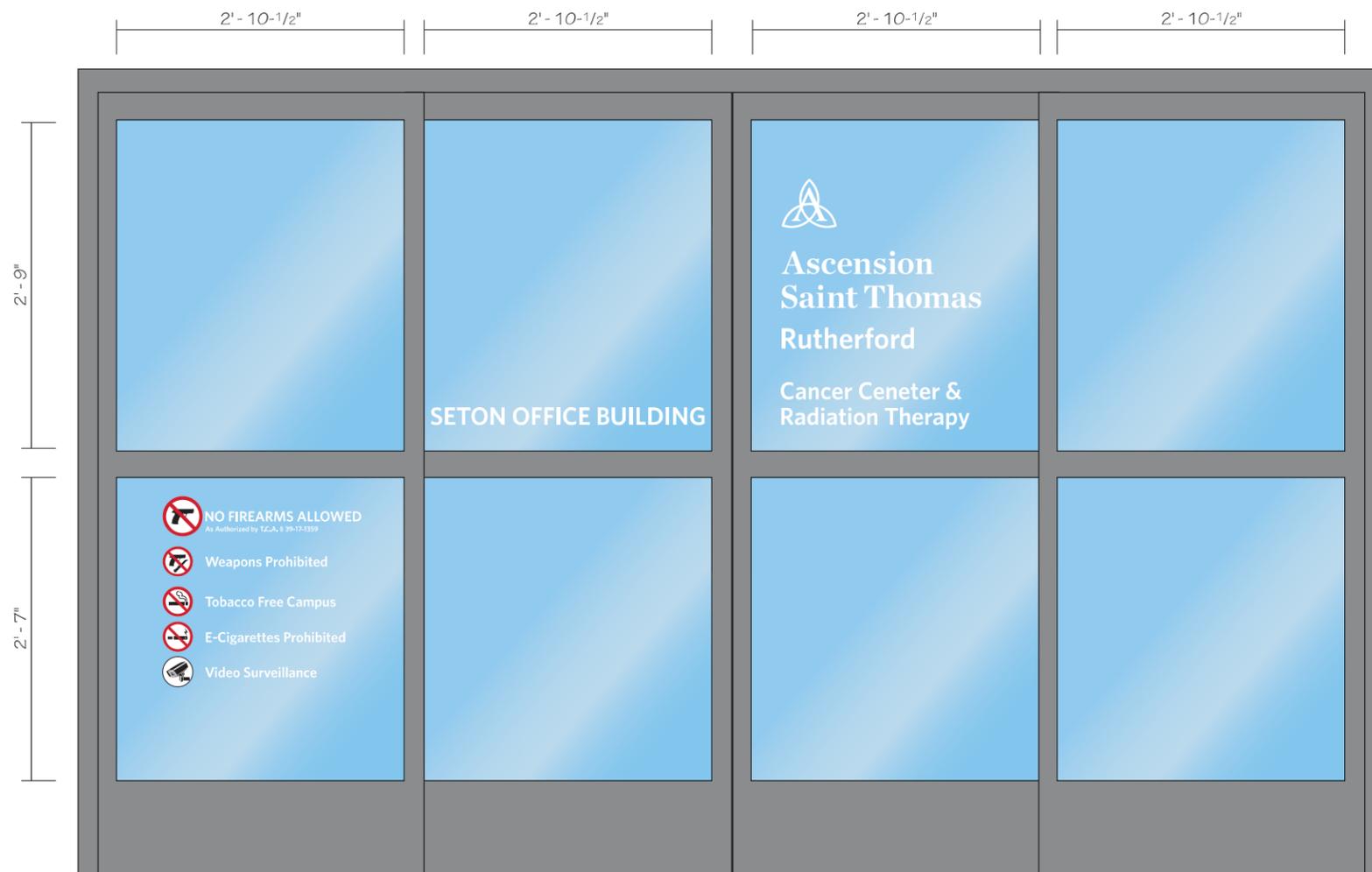
Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

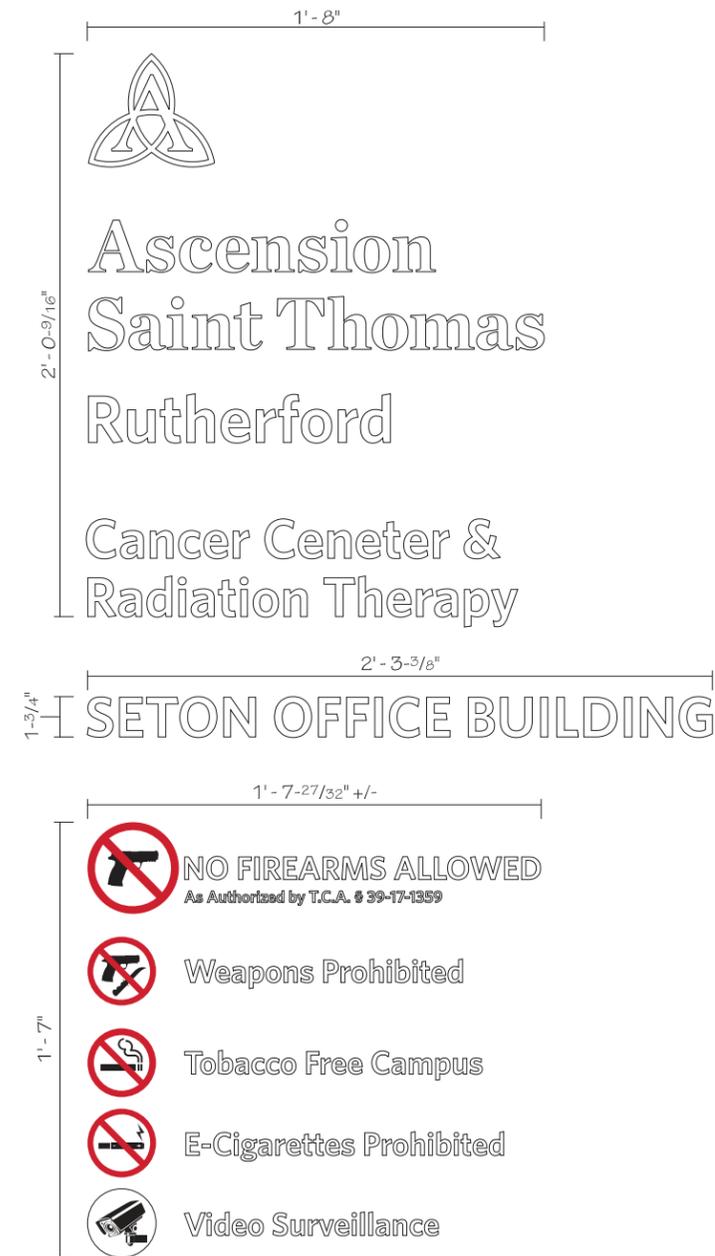
Description  
Door Vinyls

Sheet Number G-29	Sign Type V-E-08
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Front View  
Scale: 3/4" = 1' - 0"

Total Square Feet of Glass: 61.2  
Total Square Feet of Graphics: 6.3



Front View - V1c, V2c, V3  
Scale: 1-1/2" = 1' - 0"



ASCENSION SAINT THOMAS  
RUTHERFORD  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

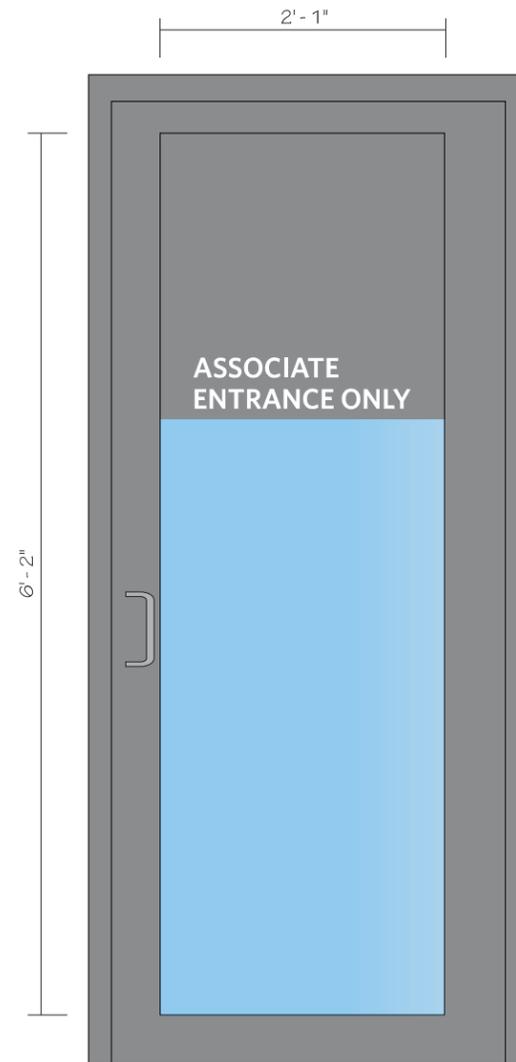
File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

Description  
Door Vinyls

Sheet Number G-30	Sign Type V-E-09
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ASCENSION SAINT THOMAS  
RUTHERFORD  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129



Front View  
Scale: 3/4" = 1' - 0"

**Total Square Feet of Glass: 12.8**  
**Total Square Feet of Graphics: .6**



Front View - V2a  
Scale: 1-1/2" = 1' - 0"

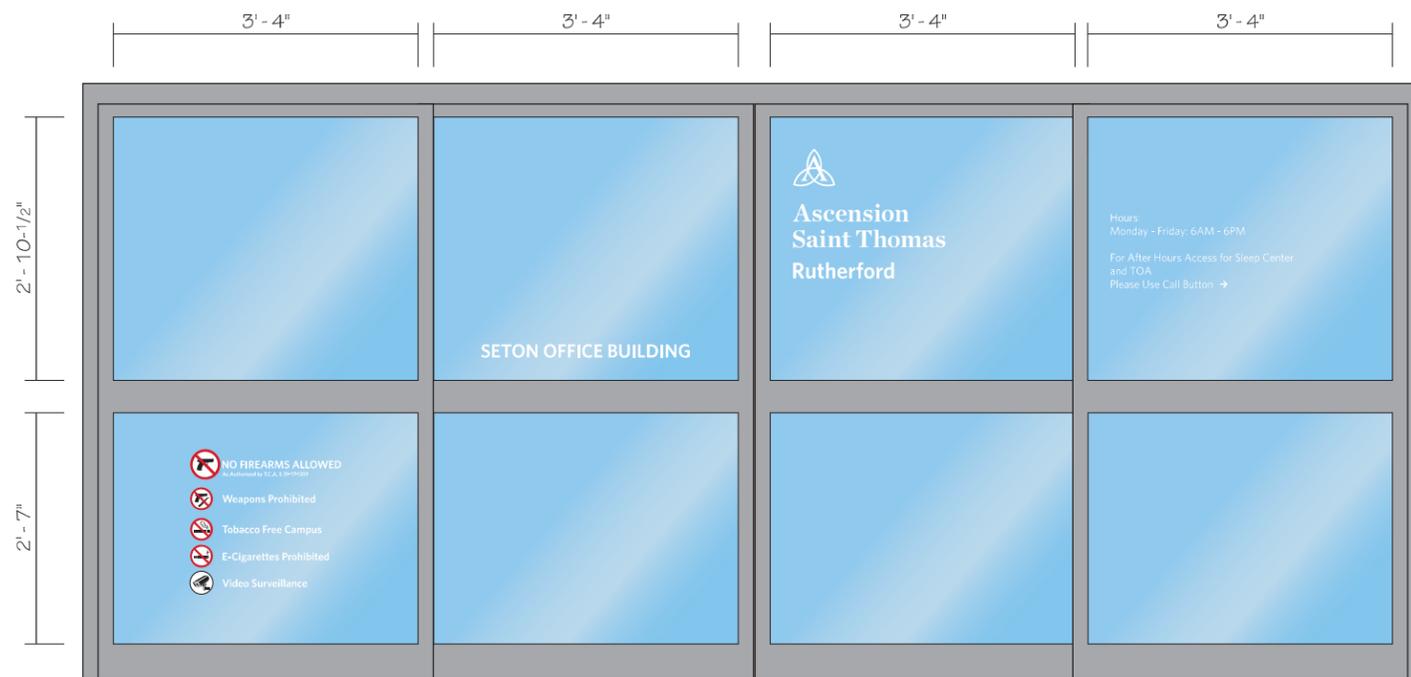
Project Name  
ASCENSION SAINT THOMAS

Project Number  
TN-153

File Name/Location  
<https://studio.bluebeam.com/share/j24zzz>

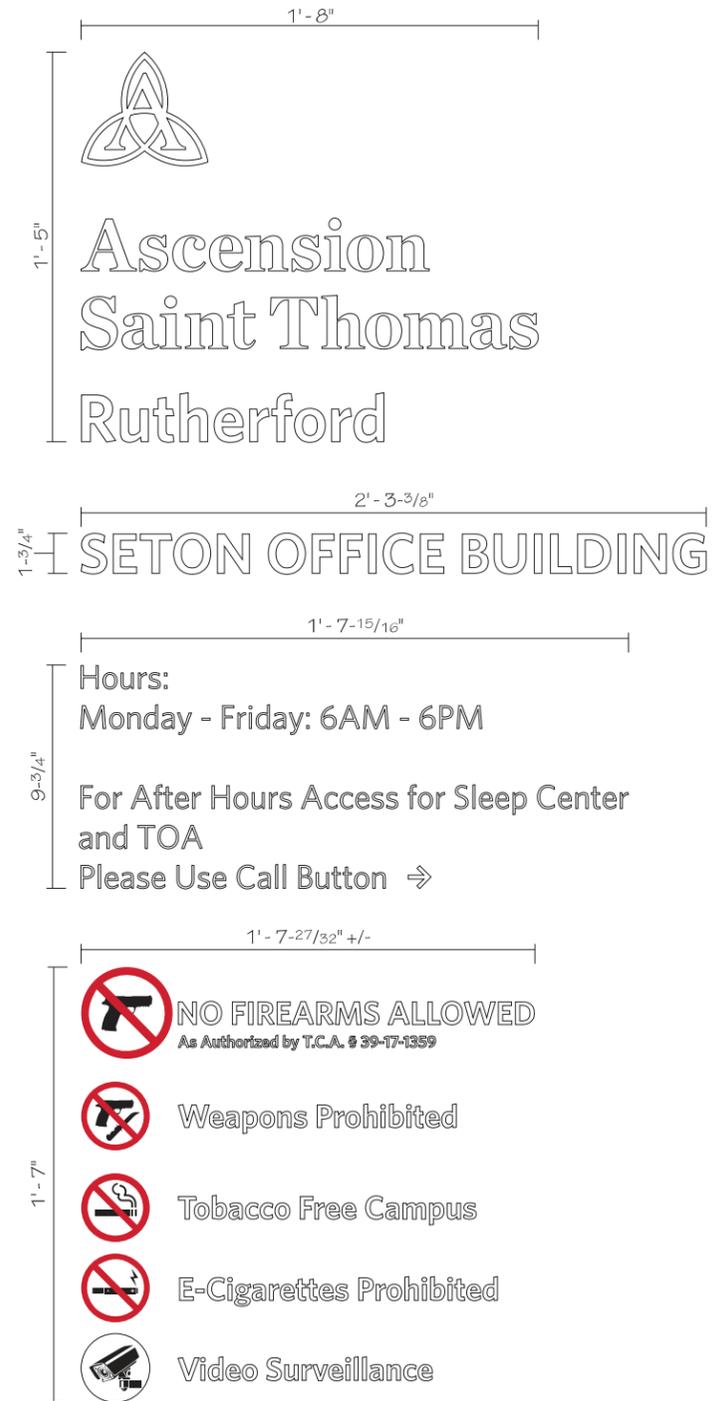
Description  
Door Vinyls

Sheet Number	Sign Type
G-31	V-E-10



**Front View**  
Scale: 1/2" = 1' - 0"

**Total Square Feet of Glass: 72.8**  
**Total Square Feet of Graphics: 6.7**



**Front View - V3**  
Scale: 1-1/2" = 1' - 0"



**ASCENSION SAINT THOMAS  
RUTHERFORD**  
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Murfreesboro, TN 37129

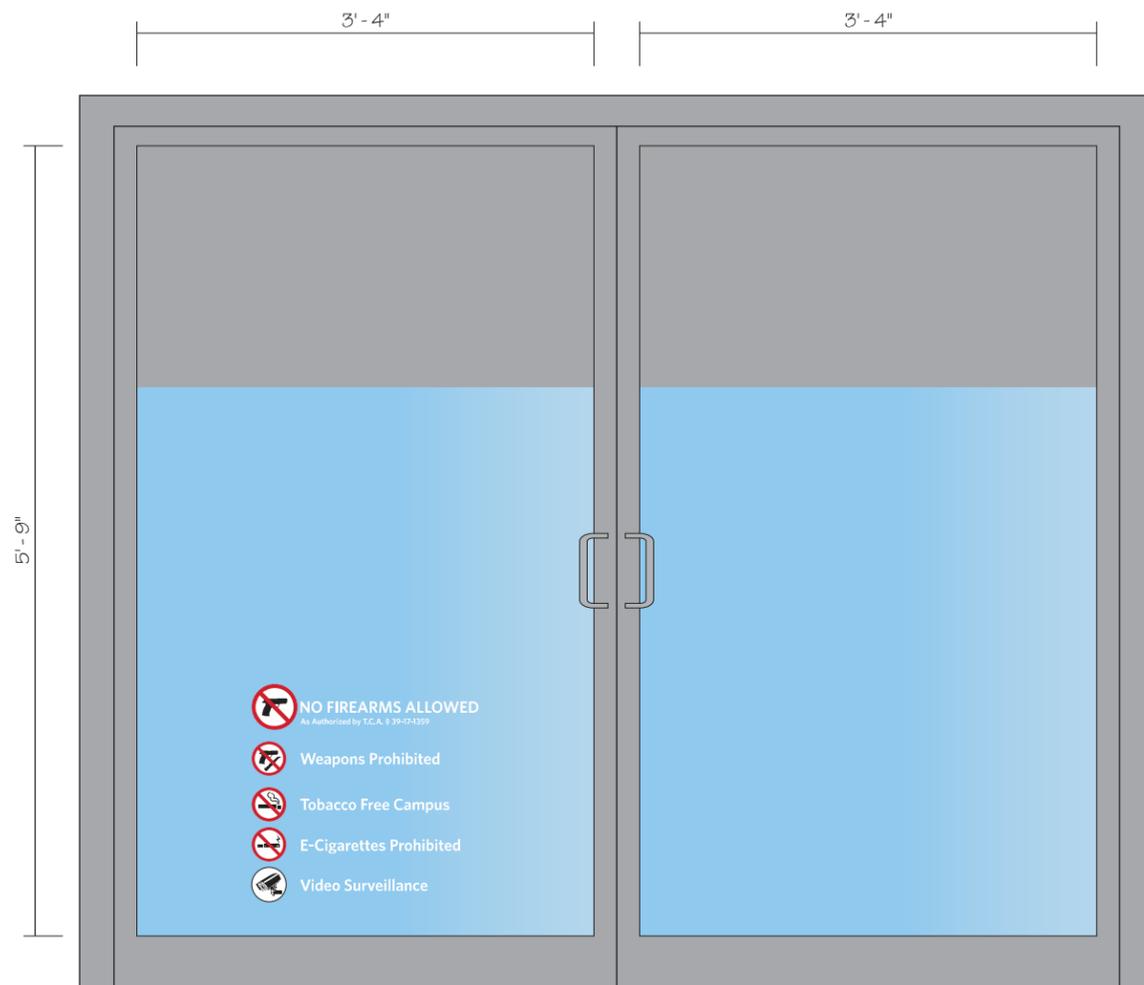
**Project Name**  
ASCENSION SAINT THOMAS

**Project Number**  
TN-153

**File Name/Location**  
<https://studio.bluebeam.com/share/j24zzz>

**Description**  
Door Vinyls

<b>Sheet Number</b> G-32	<b>Sign Type</b> V-E-11
-----------------------------	----------------------------



Front View  
Scale: 3/4" = 1' - 0"

**Total Square Feet of Glass: 38**  
**Total Square Feet of Graphics: 2.6**



Front View - V3  
Scale: 1-1/2" = 1' - 0"



**ASCENSION SAINT THOMAS  
RUTHERFORD**  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

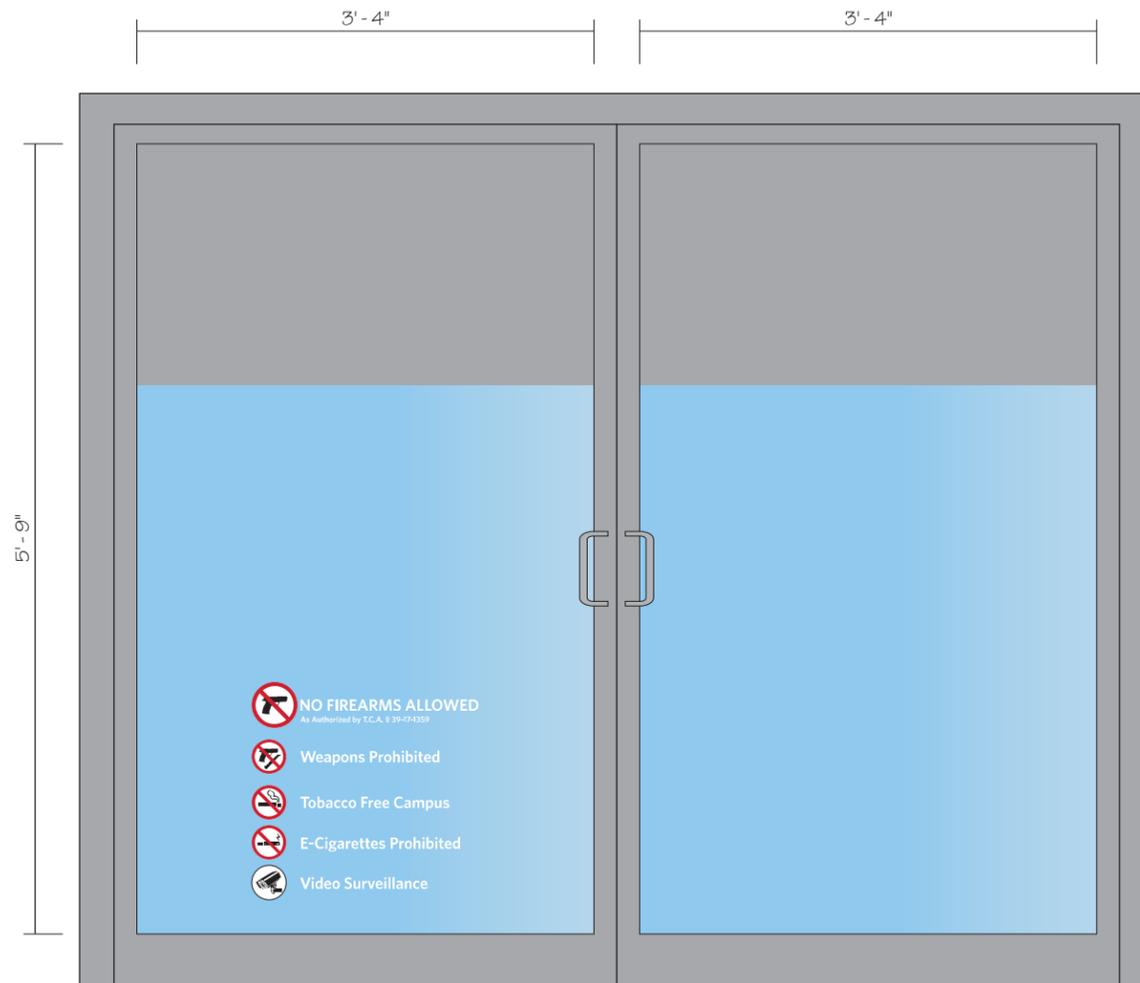
**Project Name**  
ASCENSION SAINT THOMAS

**Project Number**  
TN-153

**File Name/Location**  
<https://studio.bluebeam.com/share/j24zzz>

**Description**  
Door Vinyls

<b>Sheet Number</b> G-33	<b>Sign Type</b> V-E-12
-----------------------------	----------------------------



Front View  
Scale: 3/4" = 1' - 0"

**Total Square Feet of Glass: 38**  
**Total Square Feet of Graphics: 2.6**



Front View - V3  
Scale: 1-1/2" = 1' - 0"



**ASCENSION SAINT THOMAS  
RUTHERFORD**  
1700 Medical Center  
Parkway  
Murfreesboro, TN 37129

**Project Name**  
ASCENSION SAINT THOMAS

**Project Number**  
TN-153

**File Name/Location**  
<https://studio.bluebeam.com/share/j24zzz>

**Description**  
Door Vinyls

<b>Sheet Number</b> G-34	<b>Sign Type</b> V-E-13
-----------------------------	----------------------------



Front View

Scale: 3/4" = 1' - 0"

**Total Square Feet of Glass: 19**  
**Total Square Feet of Graphics: 2.6**



Front View - V3

Scale: 1-1/2" = 1' - 0"



**ASCENSION SAINT THOMAS  
 RUTHERFORD**  
 1700 Medical Center  
 Parkway  
 Murfreesboro, TN 37129

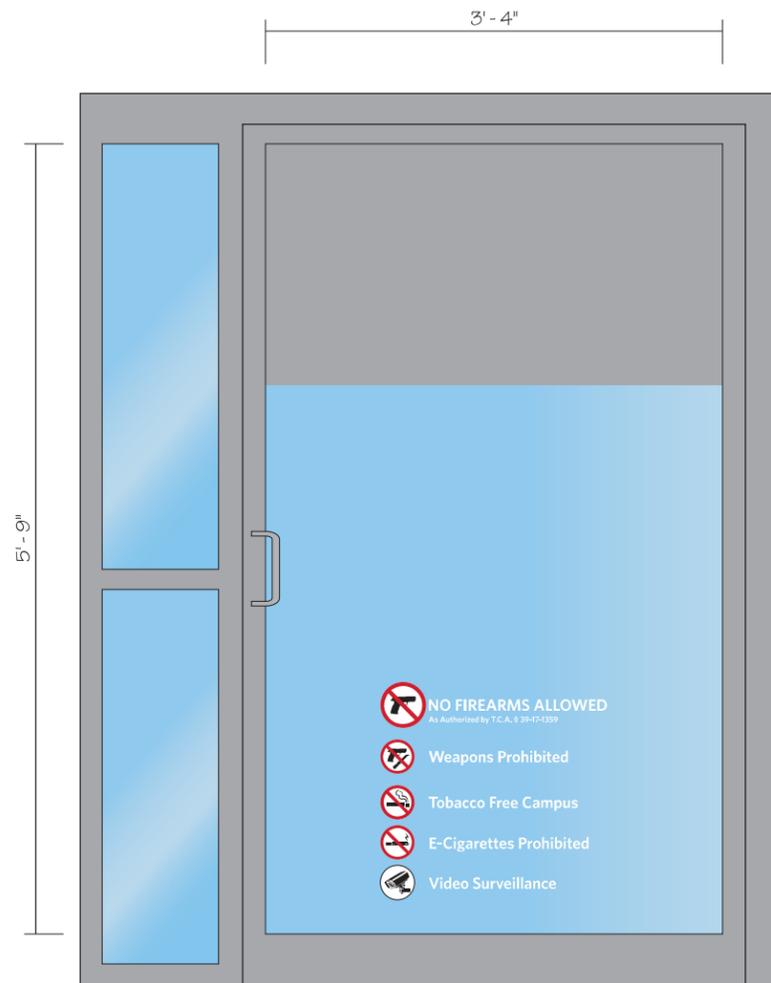
**Project Name**  
 ASCENSION SAINT THOMAS

**Project Number**  
 TN-153

**File Name/Location**  
<https://studio.bluebeam.com/share/j24zzz>

**Description**  
 Door Vinyls

<b>Sheet Number</b> G-35	<b>Sign Type</b> V-E-14
-----------------------------	----------------------------



Front View

Scale: 3/4" = 1' - 0"

**Total Square Feet of Glass: 19**  
**Total Square Feet of Graphics: 2.6**



Front View - V3

Scale: 1-1/2" = 1' - 0"



**ASCENSION SAINT THOMAS  
 RUTHERFORD**  
 1700 Medical Center  
 Parkway  
 Murfreesboro, TN 37129

**Project Name**  
 ASCENSION SAINT THOMAS

**Project Number**  
 TN-153

**File Name/Location**  
<https://studio.bluebeam.com/share/j24zzz>

**Description**  
 Door Vinyls

<b>Sheet Number</b> G-36	<b>Sign Type</b> V-E-15
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**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
OCTOBER 7, 2020  
PROJECT PLANNER: AMELIA KERR**

**4.b. Zoning application [2020-417] for approximately 1.23 acres located along the east side of Gresham Lane to be rezoned from RS-15 to CH, Tony Emmanuel applicant.**

The subject property is located along the east side of Gresham Lane north of Clairmont Drive. The subject parcel is currently undeveloped, although it contained a single-family dwelling at one point, and is currently zoned Single-Family Residential 15 (RS-15). The parcel in question totals 2.02 acres. The applicant has requested the eastern 1.23 acres to be rezoned to Commercial Highway (CH), while the balance of the parcel, 0.79 acres, will remain zoned RS-15. The applicant is proposing to expand his existing business, The Mulch Company, located at 511 Agripark Drive, for additional mulch storage area. The proposed use is permitted by right in the RS-15 zone. The western portion of the subject parcel, which has frontage along Gresham Lane, is of sufficient land area to be a compliant RS-15 lot of record.

**Adjacent Zoning and Land Uses**

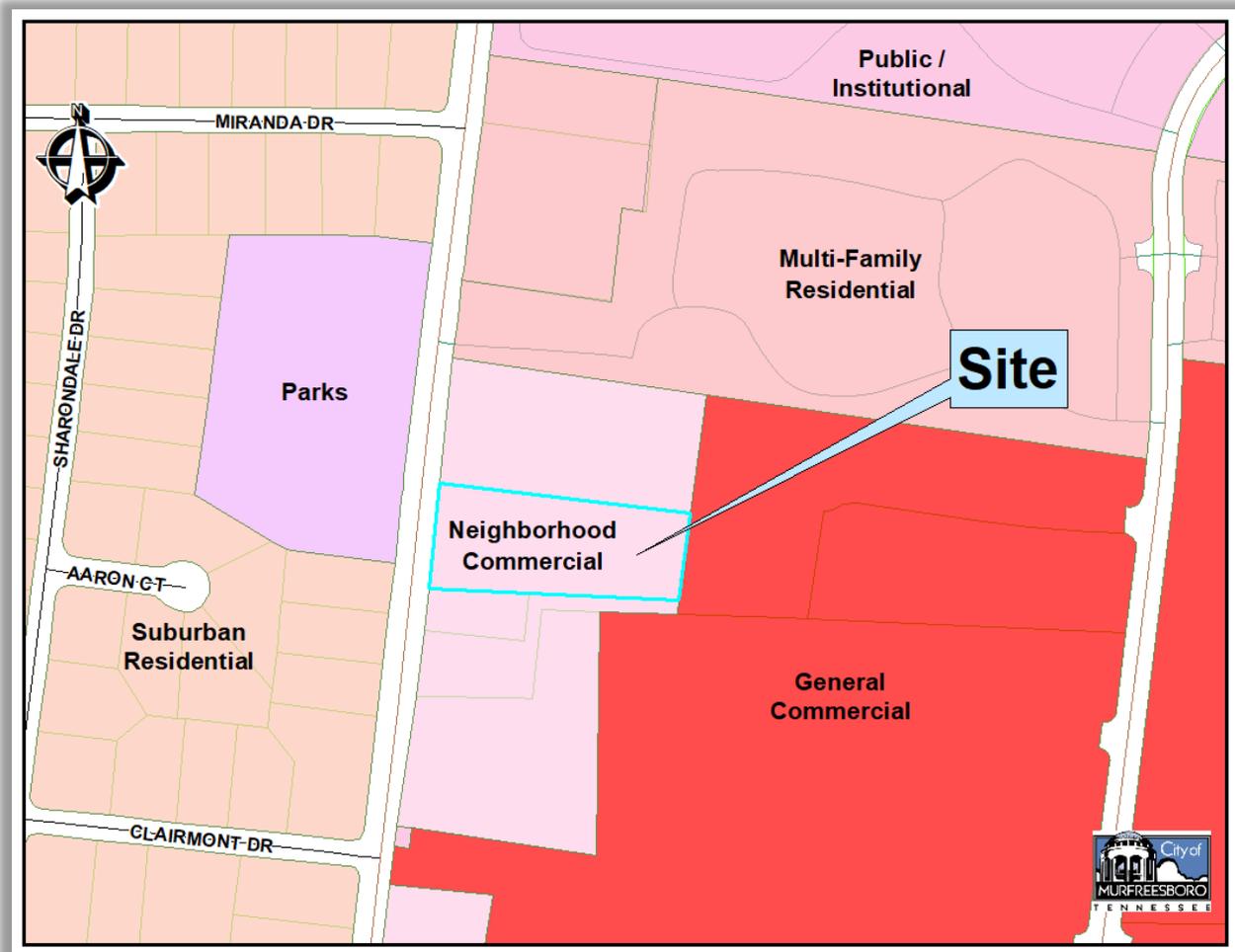
The properties to the north and south of the property are within the City and zoned RS-15 with single-family dwellings. Further to the north is the Vintage at Blackman Apartment Complex and the 555 Gresham Lane Townhomes development, both of which are zoned Multi-Family Residential 16 (RM-16) in the City. The property across Gresham Lane to the west is zoned Residential Medium-Density (RM) in the unincorporated county and is developed with single-family dwellings. The adjacent properties to the east of the property are zoned CH and are primarily undeveloped, although the aforementioned Mulch Company business is located directly to the east.

**Future Land Use Map**

The future land use map of the *Murfreesboro 2035 Comprehensive Plan* which was adopted in July 2017, recommends that “Neighborhood Commercial” is the most appropriate land use character for the subject property, as shown on the map on the following page. The characteristics of “Neighborhood Commercial” include “Low intensity (commercial) land uses, generally about the same scale and intensity level as residential development within the Suburban Residential area, and clustered at intersections of community collector thoroughfares.” Examples of uses in this land use character include “professional offices, convenience stores,

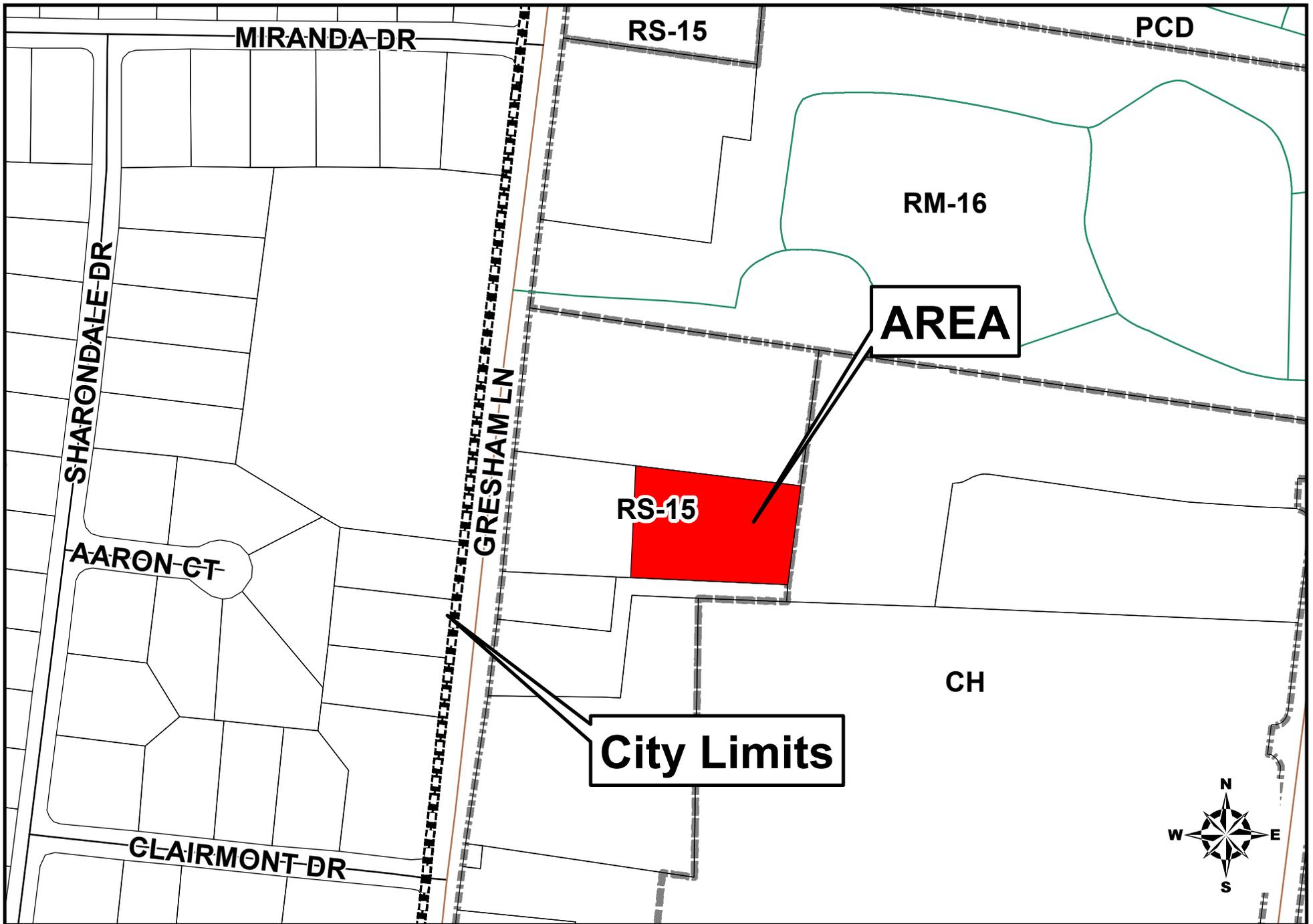
dry cleaners, post offices, coffee shops, and drug stores.” Compatible existing zoning districts are CL, CF, CM-R, CM, and CM-RS-8.

While the CH zoning proposed would allow the uses mentioned above, it would also allow an intensity of development and a larger variety of uses that are not consistent with the “Neighborhood Commercial” land use character. However, because only the rear portion of the subject property is being considered in this request and the front portion will remain as is, the Planning Commission will need to discuss whether this should be viewed as a logical extension of the more intense “General Commercial” designation to the east.



### **Action Needed**

The applicant will be available at the Planning Commission meeting to answer questions regarding the proposed rezoning. The Planning Commission needs to conduct a public hearing and then formulate a recommendation to City Council.



T E N N E S S E E

## Zoning Request for Property Along Gresham Lane RS-15 to CH



Planning Department  
City of Murfreesboro  
111 W. Vine St.  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



T E N N E S S E E

## Zoning Request for Property Along Gresham Lane RS-15 to CH



Planning Department  
City of Murfreesboro  
111 W. Vine St.  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

8.20.2020

Mr. Greg McKnight  
Planning Director  
City of Murfreesboro  
111 W. Vine Street  
Murfreesboro, TN 37130

Re: Rezoning Request

Described as Tax Map 092 and parcels 03700 consisting of 2 +/- acres. The portion of the property 1.23+/- acres to rezoned CH with the remaining 0.79+/- acres to stay RS-15.

Dear Mr. McKnight:

On behalf of our client, Mr. Tony Emmanuel, we hereby request the rezoning of a 1.23 +/- acre portion of land located at 423 Gresham Lane currently zoned RS-15 in the City of Murfreesboro to the requested CH zoning. The remaining balance of the property (0.79 +/-) is to remain RS-15. The property located at Tax Map 092 and parcels 03700. The client plans to use the additional property to expand his company called The Mulch Company. The property will be used to provide more storage of mulch products and expand the scope of the arboretum he has been planting on the property.

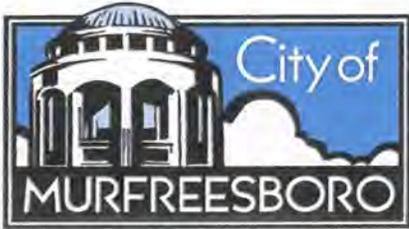
Please let me know if you need any additional information and thank you for your assistance with this request.

Sincerely,

*Clyde Rountree*

Clyde Rountree, RLA

HUDDLESTON-STEELE ENG., INC.



T E N N E S S E E

Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Table with 2 columns: Application Description and Fee. Includes 'Zoning & Rezoning Applications - other than rezoning to planned unit development' for \$700.00 and 'Zoning & Rezoning Applications - Planned Unit Development, initial or amended' for \$950.00.

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

- 1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Huddleston-Steele Engineering, Inc.

Address: 2115 N.W. Broad Street City/State/Zip: Murfreesboro, TN 37129

Phone: 615-893-4084 - Clyde Rountree Email: rountree.associates@yahoo.com

PROPERTY OWNER: Dennis Diets

Street Address: 423 Gresham Lane Murfreesboro, TN
and/or Tax map #: 092 Group: Parcel (s): 037.00

Existing zoning classification: RS-15

Proposed zoning classification: CH Acreage: 1.9

Contact name & phone number for publication and notifications to the public (if different from the applicant): same as above

E-mail:

APPLICANT'S SIGNATURE (required): Clyde Rountree

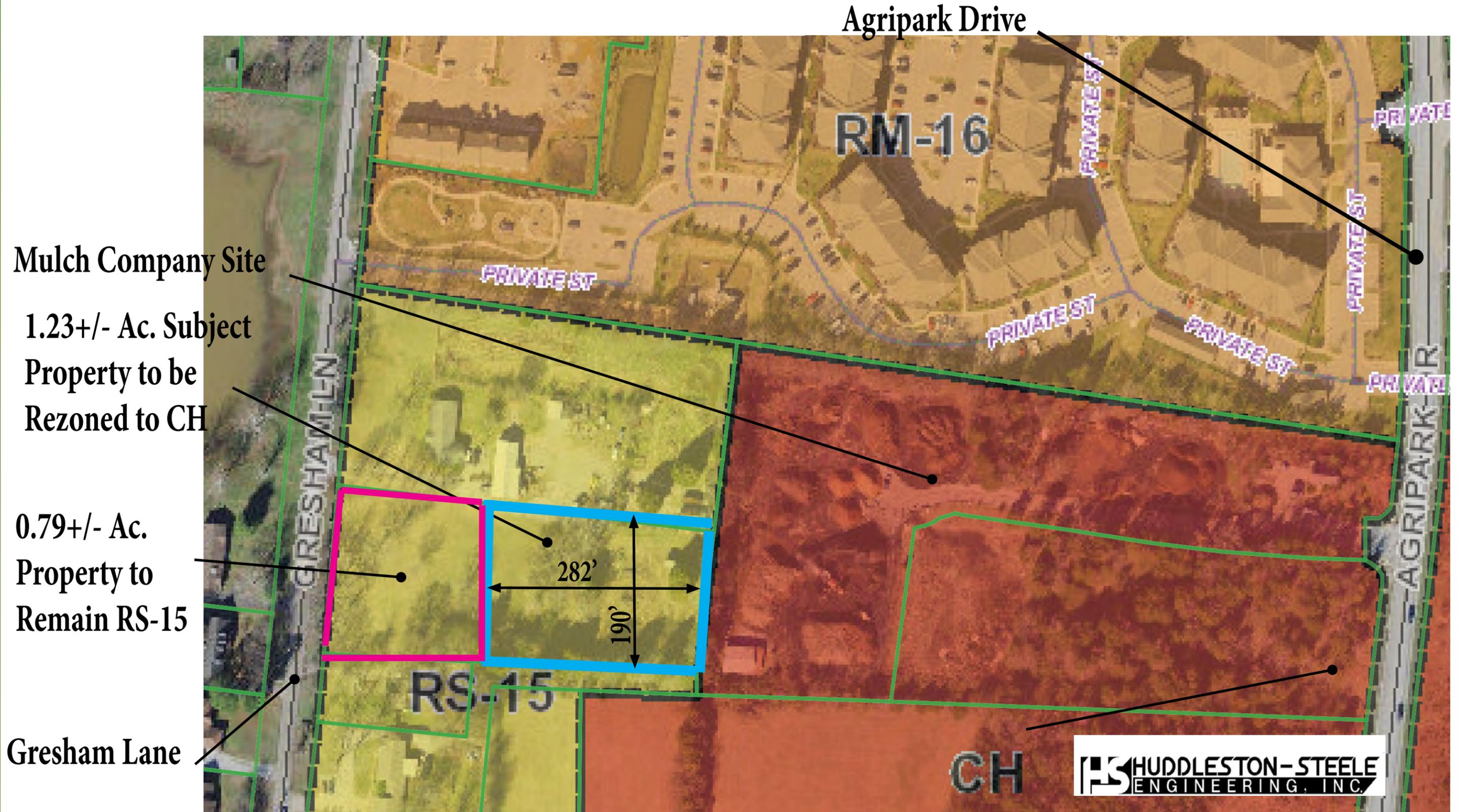
DATE: 8-13-20

\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: MPC YR.: MPC #:

Amount paid: Receipt #:

# The Mulch Company Rezoning Exhibit





019729

STATE OF TENNESSEE  
COUNTY OF RUTHERFORD  
THE ACTUAL CONSIDERATION OR VALUE, WHICHEVER  
IS GREATER, FOR THIS TRANSFER IS \$ 30,000.00

Affiant

SUBSCRIBED AND SWORN TO BEFORE ME, THIS THE  
12th DAY OF July 19 95

Notary Public

MY COMMISSION EXPIRES:  
(AFFIX SEAL) 6-16-97

**THIS INSTRUMENT WAS PREPARED BY  
EDWARD SEDDON, ATTORNEY AT LAW**

1187 Vultee Boulevard, Nashville, TN 37217

111 West College Street, Murfreesboro, TN 37130

245 Dover Road, Clarksville, TN 37040

ADDRESS NEW OWNER(S) AS FOLLOWS:	SEND TAX BILLS TO:	MAP-PARCEL NUMBERS
<u>Dennis D. Deitz</u> (NAME)	<u>cash sale</u> (NAME)	<u>MAP-92</u>
<u>423 Gresham Lane</u> (ADDRESS)	<u></u> (ADDRESS)	<u>PARCEL-37</u>
<u>Murfreesboro, Tennessee 37130</u> (CITY) (STATE) (ZIP)	<u></u> (CITY) (STATE) (ZIP)	<u>13TH CIVIL DIST.</u>

FOR AND CONSIDERATION OF THE SUM OF TEN DOLLARS, CASH IN HAND PAID BY THE HEREINAFTER NAMED GRANTEES, AND OTHER GOOD AND VALUABLE CONSIDERATIONS, THE RECEIPT OF WHICH IS HEREBY ACKNOWLEDGED, WE, Lee Ryck, Executrix and Jean Smith, Executrix

HEREINAFTER CALLED THE GRANTORS, HAVE BARGAINED AND SOLD, AND BY THESE PRESENTS DO TRANSFER AND CONVEY UNTO Dennis D. Deitz, unmarried

HEREINAFTER CALLED THE GRANTEEES, THEIR HEIRS AND ASSIGNS, A CERTAIN TRACT OR PARCEL OF LAND IN Rutherford COUNTY, STATE OF TENNESSEE, DESCRIBED AS FOLLOWS, TO-WIT:

SEE EXHIBIT "A"

Being the same property conveyed to Mary Allen Executrix with full power by deed from Don Harrell of record in Will Book 27, page 119, Register's Office for said County.

This conveyance is subject to any and all existing easements and restrictions of record.

Lee Ryck and Jean Smith appointed Executrix upon the death of Mary Allen, previous Executrix of Estate, filed at Ed Elam, County Clerk of Rutherford County, February 17, 1995.

RECORDING FEE 12.00  
 STATE TAX 111.00  
 REGISTER'S FEE 1.00  
 TOTAL PAID 124.00  
 RECEIPT NO. 30888

unimproved ( )  
This is improved (X) property, known as 423 Gresham Lane, Murfreesboro, Tennessee 37130  
(House Number) (Street) (P.O. Address) (City or Town) (Postal Zip)

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title and interest thereto belonging to the said GRANTEEES, their heirs and assigns forever; and we do covenant with the said GRANTEEES that we are lawfully seized and possessed of said land in fee simple, have a good right to convey it and the same is unencumbered, unless otherwise herein set out; and we do further covenant and bind ourselves, our heirs and representatives, to warrant and forever defend the title to the said land to the said GRANTEEES, their heirs and assigns, against the lawful claims of all persons whomsoever. Wherever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

Witness OUR hand s this 12th day of July, 19 95

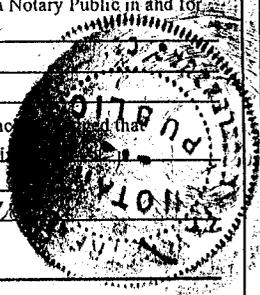
Nancy Lee Ryck  
 Lee Ryck, Executrix

Jean Smith  
 Jean Smith, Executrix

STATE OF NORTH CAROLINA  
COUNTY OF MECKLENBURG

Personally appeared before me, the undersigned, a Notary Public in and for  
said County and State, the within named Lee Ryck, Executrix

the bargainor \_\_\_\_\_ with whom I am personally acquainted or proved to me on the basis of satisfactory evidence, and who acknowledged that  
She executed the within instrument for the purposes therein contained. Witness my hand and official seal at MECKLENBURG  
NORTH CAROLINA, Tennessee, this 12th day of July, 1997  
Commission expires Aug 7, 1999 \_\_\_\_\_  
J. F. Steadman  
Notary Public



STATE OF TENNESSEE  
COUNTY OF \_\_\_\_\_

Before me, \_\_\_\_\_ a Notary Public within and for the  
State and County aforesaid, personally appeared \_\_\_\_\_  
and \_\_\_\_\_ with whom I am personally acquainted and who  
upon \_\_\_\_\_ oath(s) acknowledged \_\_\_\_\_ to be the \_\_\_\_\_  
and \_\_\_\_\_ respectively of the \_\_\_\_\_  
the within named bargainor, and corporation, and that \_\_\_\_\_ as such \_\_\_\_\_  
and \_\_\_\_\_ being authorized so to do, execute the foregoing instrument for the  
purposes therein contained by signing the name of the corporation, by the said \_\_\_\_\_  
as such \_\_\_\_\_, and attesting the same by the said \_\_\_\_\_  
as such \_\_\_\_\_.

Witness my hand and official seal at office at \_\_\_\_\_ on this the \_\_\_\_\_  
day of \_\_\_\_\_ 19\_\_\_\_.

My commission expires \_\_\_\_\_  
Notary Public

Personally appeared before me, the undersigned, a  
Notary Public in and for said County and State, the within named  
Jean Smith the  
bargainor \_\_\_\_\_, with whom I am personally acquainted or proved to me on the  
basis of satisfactory evidence, and who acknowledged that she executed the  
within instrument for the purposes therein contained.

Commission expires:  
6-16-97

Debbie Chilton  
NOTARY PUBLIC



635

RETURN TO:  
CUMBERLAND TITLE COMPANY

EDWARD SEDDON  
ATTORNEY - AT - LAW

1187 Vultee Boulevard  
Nashville, Tennessee 37217

111 W. College Street  
Murfreesboro, Tennessee 37130

245 Dover Road  
Clarksville, Tennessee 37040

PROPERTY SURVEY  
 GEORGE T. HARRELL  
 Tax Map 92, Parcel 37.00  
 Remaining Portion of Deed Book 111, Page 425

Located in the 13th Civil District of Rutherford County, Tennessee. Bound on the north by James Huston Corley (Deed Book 330, Page 423), on the east and south by Billy G. McDonald (Deed Book 444, Page 321), on the south by Joseph M. Swanson, Jr. (Deed Book 428, Page 505), and on the west by Gresham Lane.

Beginning at a railroad spike found in the centerline of Gresham Lane, said railroad spike lying 0.44 mile north of Hwy. 96, being the SW corner of this tract and the NW corner of Swanson; thence with the centerline of Gresham Lane N-04°00'00"-E, 216.30 feet to a nail set at centerline of road being the NW corner of this tract, thence with the south line of Corley S-82°39'20"-E, passing thru an iron pin set 20' off centerline of road, and continuing for a total distance of 523.50 feet to an iron pin found in fenceline being the NE corner of this tract; thence with west fenceline of McDonald S-05°35'10"-W, 150.27 feet to an iron pin found in fence corner being the SE corner of this tract; thence with the north fenceline of McDonald S-89°52'50"-W, 291.44 feet to an iron pin found in fence corner; thence with the north line of Swanson N-89°40'30"-W, passing thru an iron pin set 20' off centerline of road, and continuing for a total distance of 228.25 feet to a railroad spike found at the beginning, containing 2.20 acres, more or less.

This tract is subject to public right-of-way for Gresham Lane; and all easements and/or restrictions either recorded or by prescription that a complete title search may reveal.

Prepared by:  
 Huddleston-Steele Engineering, Inc.  
 2115 N.W. Broad Street  
 Murfreesboro, TN 37129

## CERTIFICATE OF ACCURACY

I hereby certify that this is a true and accurate survey to the best of my knowledge and ability.

Date JUNE 28 19 95

  
 ROBERT E. FRANCIS  
 Registered Land Surveyor #609

State of Tennessee, Rutherford County

I, Mark H. Moshea, Register of said county and state do certify that the foregoing instrument is registered in said office in book 552 page 634 that it was received July 18 19 95 at 8:34 o'clock A. M and entered in notebook 440 page 434 Mark H. Moshea, Reg. Janna Stem Deputy

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
OCTOBER 7, 2020  
PROJECT PLANNER: MARINA RUSH**

**4.c. Zoning application [2020-413] for approximately 12.56 acres located along Christie Knob Way to be rezoned from CH to PRD (Tiger Hill Townhomes PRD), Celebration Homes applicant.**

The subject property is located along the east side of Christie Knob Way, at the east terminus of Tiger Hill, just east of Shelbyville Pike and is identified as:

- Tax Map 136, Parcel 27 (14.66 acres)

The applicant, Celebration Homes, Randall Smith, is requesting to rezone approximately 12.56 acres of subject the property from Commercial Highway (CH) to Planned Residential District (PRD) to allow for the development of 68 townhomes, a density of 5.60 dwelling units/acre. An approximately 2.1-acre portion of the property along the west property line will remain zoned CH and subsequently subdivided to create two commercial lots. The property is not developed with any structures. This property topography is characterized as a steep hill that crests at approximately middle of the property.

According to the applicant, the request for the rezoning is because site topography has a steep grade making commercial development difficult, whereas, the residential building pads would be graded to stair-step and fit the slope of the hill.

**Adjacent Land Use and Zoning**

The surrounding area consists of a mixture of zoning types and uses. The land to the south and east is in the unincorporated portion of Rutherford County and is zoned Medium-Density Residential (RM) and developed with single-family residential uses. The land to the northwest is commercially zoned, PCD (Planned Commercial District), and developed with a Walmart Superstore. The land to the northeast is zoned PRD and RM-16 (Multi-Family Residential 16) and developed with The Villas of Baskinwood townhomes and Chaney Way Apartments, respectively. The western perimeter of the property is to remain zoned as Commercial Highway to match the commercial zoning and future development along Shelbyville Pike, including a recently approved site plan for a RaceTrac fueling station and convenience store.

**Tiger Hill Townhomes PRD:**

The development will consist of 68 single-family attached townhome units at a density of 5.60 dwelling units per acre. All units will be sold under a horizontal property regime (HPR). The proposed homes will be a minimum of 1,700 square

feet and will be two- or three-bedroom units. The end units of each building will have two-car front-entry garages and the internal units will have one-car front-entry garages. The building exterior materials will be masonry and the garage doors will be decorative as depicted in the PRD program book. Details and examples of the architectural character of the buildings are listed on Pages 14-18.



The main entrance into the development will be via Christie Knob Way opposite the terminus of Tiger Hill. A secondary access will be through the future commercial outparcels. Within the development, the roads and parking areas will be private and include sidewalks and trees. The amenities will include a playground, dog park, walking trails with benches, a pavilion, and play lawn. The homeowners’ association will maintain the common areas.

There is an exception requested to the front yard setback as compared to the RS-A, Type 2 zoning district from 35 feet to 25 feet for the interior units, as 25 feet is adequate distance to park a vehicle in the driveway. The proposed Tiger Hill

Townhomes PRD program book is attached to this report for reference of additional project details.

**Future Land Use Map:**

The Future Land Use Map (FLUM) of the *Murfreesboro 2035 Comprehensive Plan* indicates that “Auto-Urban (General) Commercial” is the most appropriate land use character for the project area, as shown on the map below. The general characteristics of the Auto-Urban (General) Commercial land use character include larger, taller commercial buildings, higher traffic volumes, and necessity for large parking lots. Due to the site topography, it is not suitable for commercial development. The rezoning request is more consistent with the “Auto-Urban (General) Residential” land use character.

The Planning Commission will need to determine if this an appropriate instance to deviate from the recommendations of the FLUM. If the rezoning is adopted, staff recommends the FLUM be revised to reflect Auto-Urban (General) Residential for this property.

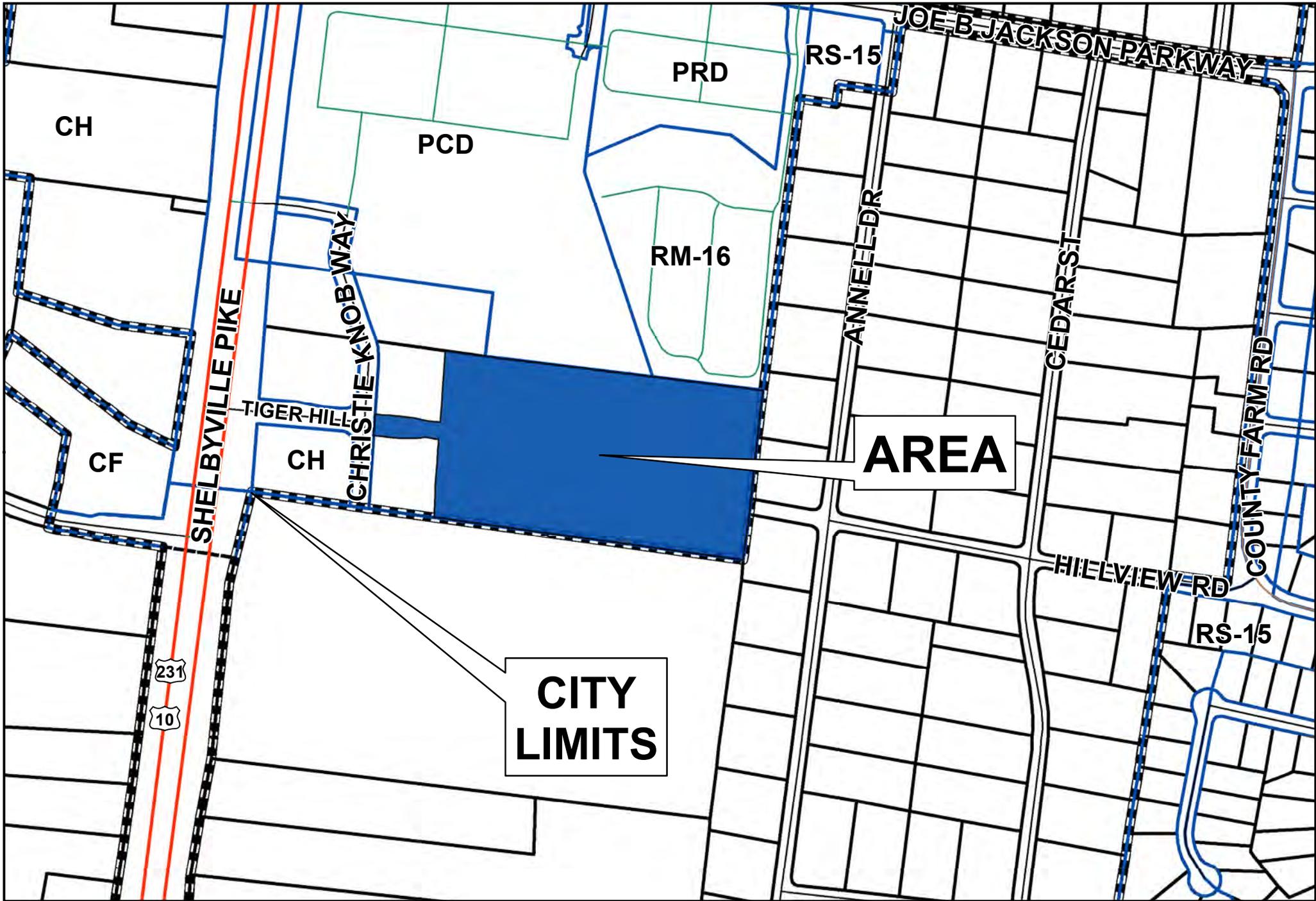


**Staff Comments:**

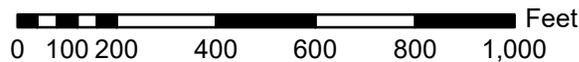
Staff is supportive of this rezoning request because the property topography is relatively steep and residential development would be able to be constructed compatible with the natural grade of the site. In addition, the property is adjacent to multi-family residential development to the north and single family residential to the east along Annell Drive. This use would create a transition between the commercial zoning to the west and the single-family residential zoning to the east and it would buffer the existing residences from future commercial development to the west.

**Action Needed:**

The applicant will be available at the Planning Commission hearing to discuss the proposed rezoning request. The Planning Commission will need to conduct a public hearing on this matter and then make a recommendation to the City Council.



**Rezoning Request Along Christie Knob Way  
CH to PRD (Cannonsburg Townhomes PRD)**



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, TN 37130  
murfreesborotn.gov/planning



**CITY  
LIMITS**

**AREA**



**Rezoning Request Along Christie Knob Way  
CH to PRD (Cannonsburg Townhomes PRD)**



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, TN 37130  
[murfreesborotn.gov/planning](http://murfreesborotn.gov/planning)



# TIGER HILL TOWNHOMES

A REQUEST FOR REZONING TO PLANNED RESIDENTIAL DISTRICT  
Murfreesboro, TN

**Initial Submittal**

July 16, 2020

**Resubmittal**

September 10, 2020 for the September 16, 2020  
Planning Commission Workshop Meeting

**Resubmittal**

September 29, 2020 for the October 7, 2020  
Planning Commission Public Hearing

**SEC, Inc.**

SEC Project #07044



**CELEBRATION**  
— HOMES —  
More Space. More Style.

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# SEC, Inc.

Company Name: SEC, Inc.  
Profession: Planning.Engineering.Landscape Architecture  
Attn: Rob Molchan / Matt Taylor  
Phone: (615) 890-7901  
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com  
Web: www.sec-civil.com

*850 Middle Tennessee Blvd.  
Murfreesboro, Tennessee 37129*

Company Name: M & W Murfreesboro Joint Venture  
Profession: Developer  
Attn: Mickey Mitchell  
Phone:  
Email: m@mitchellm.com  
Web:

*1025 Westhaven Boulevard  
Franklin, Tennessee 37064*



Company Name: Celebration Homes  
Profession: Builder  
Attn: Randall B. Smith  
Phone: (615) 533-3213  
Email: Randall@CelebrationHomes.com  
Web: CelebrationHomes.com

*7123 Crossroads Boulevard  
Brentwood, Tennessee 37027*

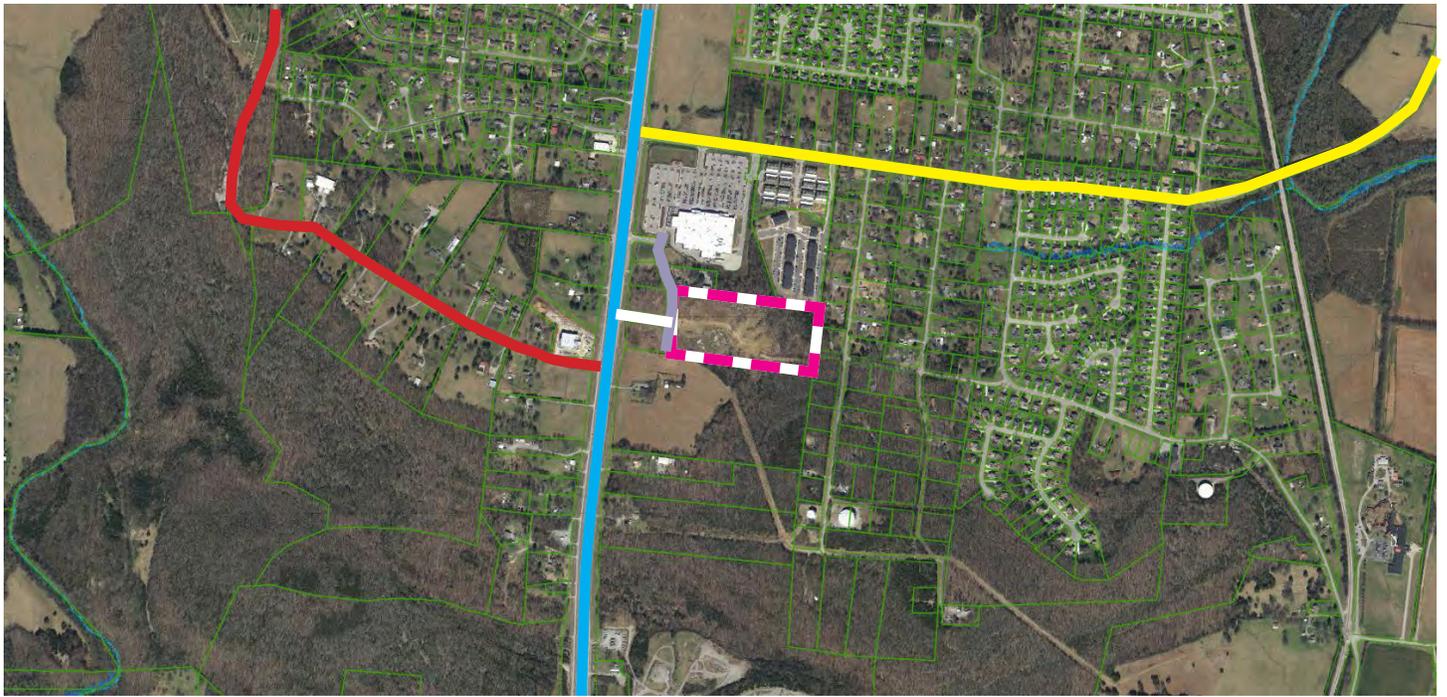


Company Name: Celebration Homes  
Profession: Architect  
Attn: Michael Katsaitis  
Phone: (615) 771-9949  
Email: michael@CelebrationHomes.com  
Web: CelebrationHomes.com

*7123 Crossroads Boulevard  
Brentwood, Tennessee 37027*

TABLE OF CONTENTS ..... 03  
PROJECT SYNOPSIS ..... 04  
MAJOR THOROUGHFARE PLAN ..... 05  
SUBDIVISION MAP ..... 06  
ZONING MAP ..... 07  
UTILITY MAP ..... 08  
HYDROLOGY AND TOPOGRAPHY ..... 09  
ON-SITE PHOTOS ..... 10  
OFF-SITE PHOTOS ..... 11  
CONCEPTUAL SITE AND LANDSCAPE PLAN ..... 12  
DEVELOPMENT STANDARDS ..... 13  
ARCHITECTURAL CHARACTERISTICS ..... 14-20  
INGRESS AND EGRESS ..... 21  
AMENITIES ..... 22-23  
PLANT MATERIAL SAMPLES ..... 24  
LANDSCAPE CHARACTERISTICS ..... 25

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AERIAL PHOTOGRAPH

Not To Scale 

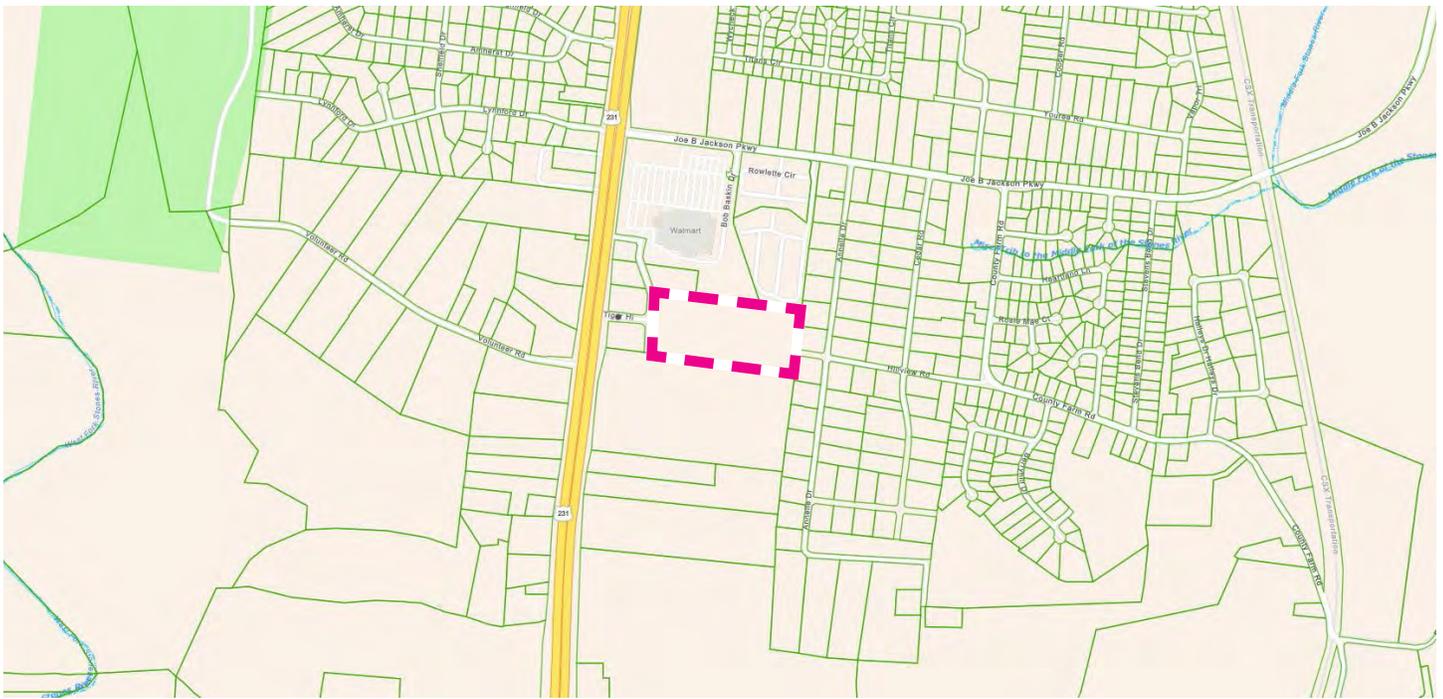
-  Shelbyville Pike
-  Joe B Jackson Parkway
-  Volunteer Road
-  Christie Knob Way
-  Tiger Hill



Celebration Homes, LLC respectfully requests rezoning of the M & W Murfreesboro Joint Venture property located east of the Christie Knob Way and Tiger Hill intersection from Commercial Highway (CH) to Planned Residential Development (PRD) to create Tiger Hill Townhomes. The site is identified as Parcel 27.00 of Tax Map 136, and is approximately 14.66 acres.

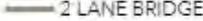
The site is located east of Christie Knob Way at the end of Tiger Hill, just east of Shelbyville Pike. The property is characterized by the topographic hill top that crests in the middle of the site. This hill top is a lower portion of the Marshall Knobs complex which is located just to the southeast of this site.

The development will consist of 68 single-family attached townhome units on 12.56 acres, for a density of 5.60 dwelling units per acre. The remaining 2.10 acres of land are to be out parceled and remain as Commercial Highway (CH) zoning. All units will be sold under a Horizontal Property Regime (HPR). The proposed homes will be a minimum of 1,700 sf. All townhomes will have at least 2 bedrooms. The end units of each building shall have two-car front entry garages, while all internal units shall have one-car front entry garages. The townhome elevations will be primarily constructed of various types masonry materials to add quality and character to the development. The front entry garage doors will be decorative and complement the architecture of the buildings. Details and examples of the architectural character of the building is listed on Pages 14-18. Each townhome building will have landscaping along the front foundation and sodded front yards. Along the streets, street lights will add character and continuity to the neighborhood. The entrance will incorporate development signage on the south side of the proposed intersection with Christie Knob Way and Tiger Hill. All vehicular areas within the development will be private and maintained by the H.O.A. The development will have sidewalks on both sides of the private drives to provide pedestrian connectivity throughout the development. The H.O.A. will maintain the common areas.



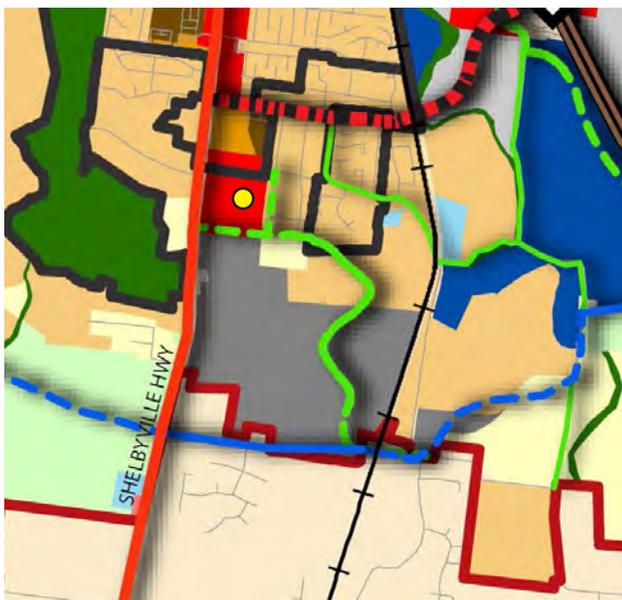
2040 MAJOR THOROUGHFARE PLAN

Not To Scale 

-  2 LANE BRIDGE
-  3 LANE ROADWAY
-  4 LANE ROADWAY
-  5 LANE ROADWAY
-  6 LANE ROADWAY
-  7 LANE ROADWAY
-  8 LANE ROADWAY



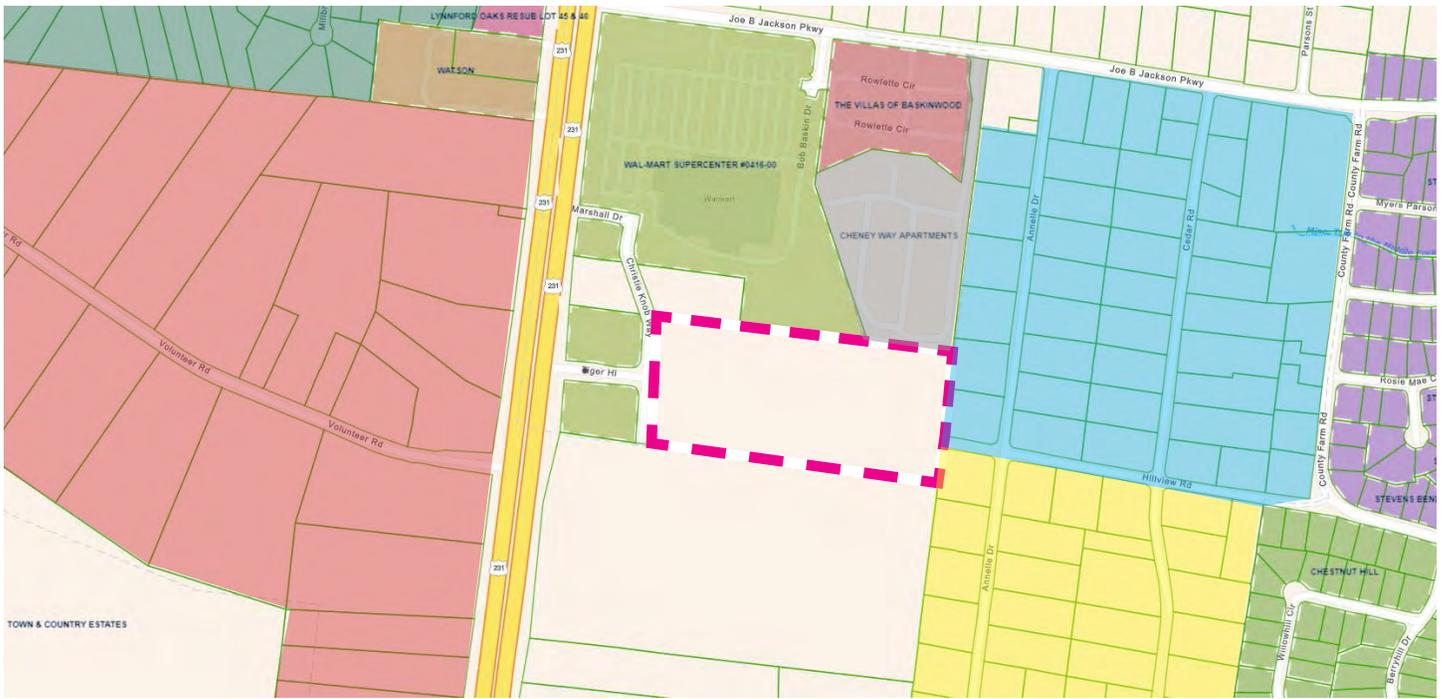
The property has/will have access to the existing public rights-of-way of Tiger Hill and Christie Knob Way as a main entrance. No roadways around the property are slated for improvements per the 2040 Murfreesboro Major Thoroughfare Plan. The entrance onto Christie Knob Way will be designed as a three lane configuration, with 2 travel lanes and 1 dedicated turn lane.



 Approximate Site Location

**Murfreesboro 2035 Land Use Plan**

The Murfreesboro 2035 Land Use Plan identifies this area as Auto-Urban (General) Commercial Character (GC), and does not allow for residential development. The adjacent property to the north (Walmart) is classified as Auto-Urban (General) Residential Character (AUR) with a maximum density of 8.64 units per acre, for detached and attached housing types. The adjacent property to the north (Chaney Apartments) is classified as Auto-Urban Multi-Family Residential Character (MF) with a maximum density of 19.93 units per acre, for multi-family buildings. The proposed development is compatible with adjacent apartment and townhome properties to the north, and has a density of 5.60 units per acre.



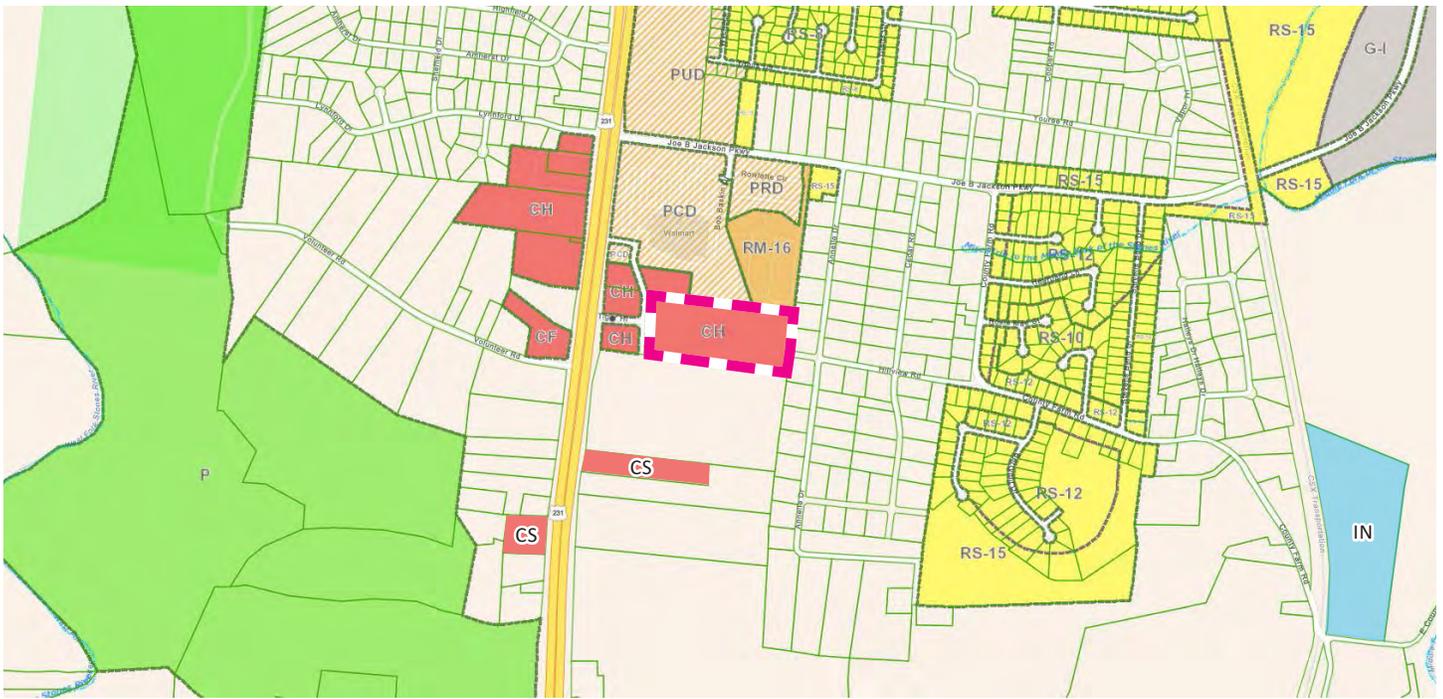
## SUBDIVISION MAP

Not To Scale 

	Lynnford Oaks (R.C.)		Walmart Super Center		Mt. View Estates (R.C.)
	Lynnford Oaks		The Villas of Baskinwood		Stevens Bend
	Watson		Chaney Way Apartments (R.C.)		Chestnut Hill
	Town & County Estates (R.C.)		Wayne Jernigan Property (R.C.)		



Tiger Hill Townhomes is surrounded by a mixture of residential subdivisions and commercial properties. The Wayne Jernigan Property is a residential subdivision to the northeast of the site consisting of single-story single family detached homes with private driveways instead of garages. The Mt. View Estates subdivision is located just to the southeast of this property. North of the site is Chaney Way Apartments consisting of 2-story single family apartments with private drives throughout the development, along with The Villas of Baskinwood townhomes. Additionally, the Joe B Jackson Walmart Superstore shares the northern boundary with the proposed development. To the west of the site, across Shelbyville Pike, is the Town & County Estates. This development consist primarily of large, private 1-2 story single family detached housing with large front setbacks and an abundance of large canopy trees along Volunteer Road. To the south is undeveloped property within Rutherford County.



ZONING MAP

Not To Scale 

<b>RS-8</b> Residential Single-Family (RS-8)	 Planned Unit Development (PUD)	 Site
<b>RS-10</b> Residential Single-Family (RS-10)	 Planned Commercial Development (PCD)	
<b>RS-12</b> Residential Single-Family (RS-12)	 Planned Residential Development (PRD)	
<b>RS-15</b> Residential Single-Family (RS-15)	<b>CH</b> Highway Commercial District (CH)	<b>CS</b> Commercial Services (CS) R.C.
<b>RM-16</b> Residential Multi-Family (RM-16)	<b>CF</b> Commercial Fringe District (CF)	<b>IN</b> Industrial (IN) R.C.
<b>G-I</b> General Industrial District (G-I)	<b>P</b> Park District (P)	<b>RM</b> Medium Density Residential (RM) R.C.

The surrounding area consists of a mixture of zoning types and uses. The land to the south and to the east is zoned RM in Rutherford County. North of the site is the commercial property owned by Walmart Superstore and is zoned PCD. Additionally to the north, a couple of high density developments (The Villas of Baskinwood & Chaney Way Apartments) are currently zoned RM-16 and PRD in The City of Murfreesboro. The western perimeter of the property is to remain zoned as Commercial Highway in The City of Murfreesboro to match the properties across Christie Knob Way.



UTILITY MAP

Not To Scale 



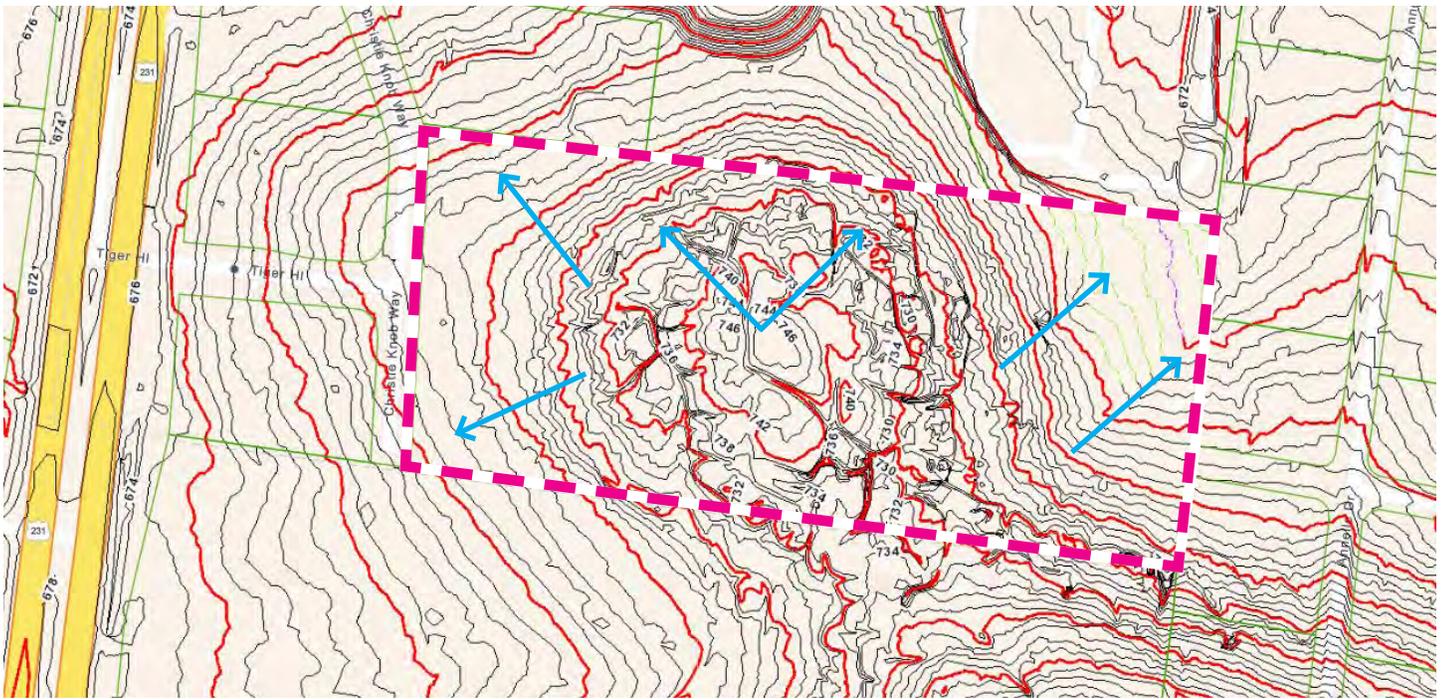
Water service will be provided by the Consolidated Utility District. There is an existing 8 inch ductile iron water line along Christie Knob Way. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water & Sewer Department. Sanitary sewer service can connect to an existing 8" PVC gravity sewer line within the R.O.W. of Christie Knob Way. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property. The Water Resources Department has given a Will Serve Letter for the project and it complies with the Sewer Allocation Ordinance.



Electric service will be provided by the Middle Tennessee Electric Membership Corporation. Service will be extended from Christie Knob Way. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



**HYDROLOGY AND TOPOGRAPHY**

Not To Scale 

-  WATER FLOW DIRECTION
-  INTERMEDIATE CONTOURS
-  INDEX CONTOURS



The property is characterized by the topographic hill top that crests in the middle of the site. This hill top is a lower portion of the Marshall Knobs complex, which is located just to the southeast of this site. The topographic map above shows the site’s topographic high point generally in the middle of the property and extending towards the southeast boundary of the site. From this high point, the property drains towards the northwest, northeast, and southwest corners of the property. Stormwater that drains to the northeast, flows towards the Wayne Jernigan Property. Stormwater that drains to the northwest and southwest flows towards the proposed commercial lots along Christie Knob Way. This property lies within Zone ‘X’ and is not within FEMA floodways or floodplains as per FEMA Panel 47149C0270H eff. 1/5/2007.

The existing topographic character of the property will require the site to be padded out by cutting and filling across the property. This will make the site more conducive for the private roads, building pads, and amenity areas. It is anticipated that this site will require retaining walls to that will be roughly a few feet to over ten feet in height depending on the final grading plans at the site plan submittal stage.



- Shelbyville Pike
- Joe B Jackson Parkway
- Volunteer Road
- Christie Knob Way
- Tiger Hill



PHOTO DIRECTION MAP

Not To Scale





PHOTO DIRECTION MAP

Not To Scale

- Shelbyville Pike
- Joe B Jackson Parkway
- Volunteer Road
- Christie Knob Way
- Tiger Hill



PHOTO DIRECTION MAP

Not To Scale

- Shelbyville Pike
- Joe B Jackson Parkway
- Volunteer Road
- Christie Knob Way
- Tiger Hill



Total Land Area: ±14.66 Acres  
 Remaining CH Zoned Property: ±2.10 Acres  
 Residential Land Area: ±12.56 Acres  
 Total Number of Units: 68  
 Yield: 68 Units/12.56 Acres = ±5.41 Units/Acre  
 Total Open Space: ±5.60 Acres (44.6%)  
     Usable Open Space ±4.35 Acres (34.6%)  
     Stormwater (Detention) ±1.25 Acres (10.0%)  
 Min. Unit Width at Front Setback: 24 Feet  
 Length of New Roadway: ±2,250 LF

Parking Required:  
 68 - 3 Bedroom Units x 3.3 Spaces/Unit = 225 Spaces

Parking Provided:

2 - Car Garage =	64 Spaces
2 - Car Driveway =	64 Spaces
1 - Car Garage =	36 Spaces
1 - Car Driveway =	36 Spaces
Guest Parking Spaces =	47 Spaces
Total Parking Provided =	247 Spaces
Difference =	+22 Spaces

- Open Space
- Detention Pond
- Existing Tree Canopy
- Roadway/Driveway
- Sidewalks
- Proposed Buildings
- Walking Trail

\* The proposed location and quantity of landscape plantings, on-site lighting, and streetscape lighting depicted on these conceptual site plans are strictly conceptual. Final locations and quantities will meet city standards as outlined in the Zoning Ordinance and Design Guidelines upon submittal and approval of the final site, landscape and photometric plans.



SEC Project #07044 Murfreesboro, Tennessee



### **Development Standards:**

- 68 townhome units with 2 or more bedrooms.
- The units will be a minimum of 1,700 feet of living area.
- Each unit will be sold under a horizontal property regime.
- Entrance off of Christie Knob Way will have new entrance signage constructed on masonry materials and anchored by landscaping.
- Landscape Buffers will be constructed along the length of boundaries of the site adjacent to all residential and commercial land use as required by the Murfreesboro Zoning Ordinance.
- Builders shall install sod in all front and secondary front yards. Seed and straw will be installed in all side and rear yards.
- There shall be a minimum 3-foot wide landscape bed located along the front and secondary front elevations of all townhome buildings.
- All mechanical equipment (i.e. HVAC and transformers) to be screened with landscaping or fences. HVAC units will be located at the rear of each residence.
- All on-site utilities will be underground.
- Solid waste will be handled via a trash compactor with a third party hauler. Any solid waste enclosures will be constructed of masonry materials consistent with building architecture and be at least 8 feet tall with opaque gates and enhanced with landscaping.
- The exterior of buildings and all common areas will be maintained by an H.O.A.
- All driveways and parking areas will be private and maintained by the H.O.A. Driveways will be a minimum 25-ft deep and 10-ft wide for one-car garage units and 18-ft wide for two-car garage units.
- Parking requirements for the residential units will comply with the City of Murfreesboro requirements.
- All garages are to be used for vehicular parking only and may not be used for household storage.
- All streets will be private and designed to comply with Murfreesboro Streets Standards.
- Sidewalks will be provided on both sides of all streets throughout the development to create a pedestrian friendly community.
- Mail service will be provided via a centralized mail kiosk for all postal deliveries.
- Decorative street lights will be coordinated with MTEM C, and will meet MTEM C standards for management by MTEM C.
- On-site lighting will comply with the Murfreesboro Zoning Ordinance standards to prevent light pollution.
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by a 3rd party management company.
- HOA will be managed by independent 3rd party management company.



Example of  
Light Pole



Example of Mail Kiosk



Example of Trash Enclosure

**Architectural Characteristics:**

- Building heights shall not exceed 35 feet in height.
- All buildings will be 2-stories in height.
- All units will have at least 2 bedrooms.
- All the units will have eaves.
- All units will have a patio area at the rear of the unit.
- Patios will be screened with a 6-foot (max.) tall wooden privacy fence between units, with an optional 6-foot (max.) tall wooden or galvanized aluminum privacy along the rear of the courtyards.
- All homes will have a minimum 1-car front entry garages.
- Front entry garages shall be decorative and complement the building architecture.
- Townhome buildings will have undulating units to breakup the front facade along the streetscape.

**Building Materials:**

Although the appearance will generally be consistent with these elevation and material examples provided in this booklet, slight variations of colors, cuts, and patterns will be allowed and be consistent with the Murfreesboro Design Guidelines.

**Front Elevations:**

All Masonry (Brick, Stone, Cement Board Siding)  
Cement Board Siding in the Dormers/Gables

**Side and Elevations:**

Cement Board Siding

**All Elevations:**

Vinyl Only Permitted in Trim & Soffit Areas



Example of Brick



Example of Fiber Cement Board Lap Siding



Example of Fiber Cement Board Lap Siding



Example of Shingles



Example of Garage & Front Door Color



Example of Garage & Front Door Color

SETBACKS DIAGRAM



SETBACKS DIAGRAM



**Minimum Building Setbacks (Internal):**

- Front: 25-feet from back of sidewalk for front entry garage
- Side: 5-feet, 10-feet between buildings, 10-feet between buildings and back of sidewalk/curb along side streets
- Rear: 15-feet, 30-feet between buildings

**Minimum Building Setbacks (External):**

- Front: N/A
- Side: 20-feet
- Rear: 20-feet



EXAMPLE OF 4-UNIT BUILDING

EXAMPLE OF 4-UNIT BUILDING

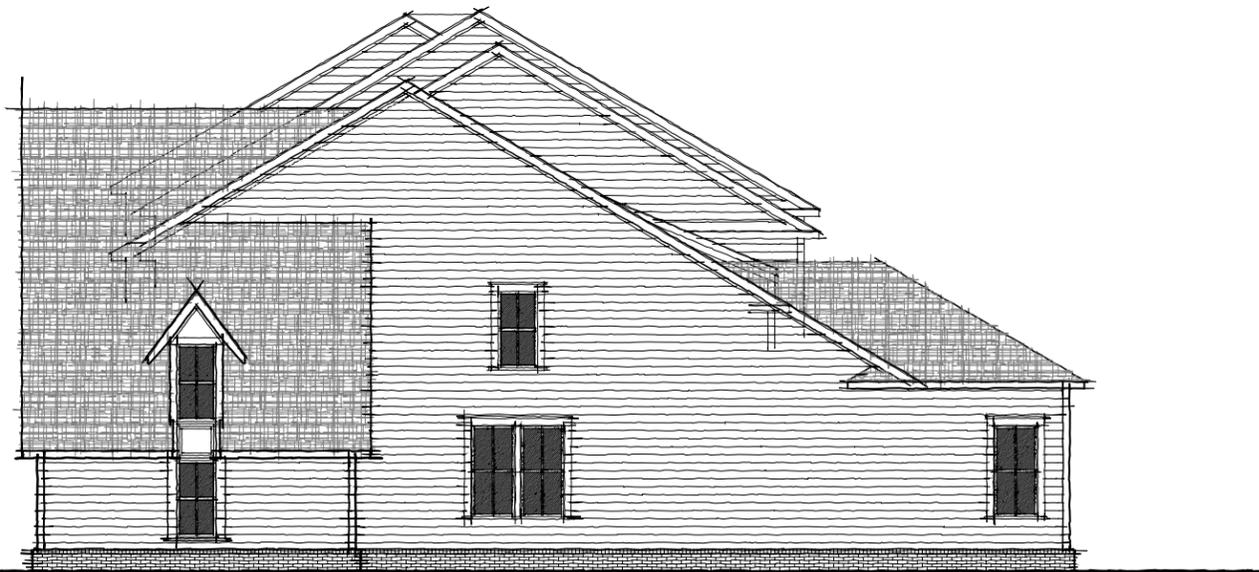


\*The building elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.

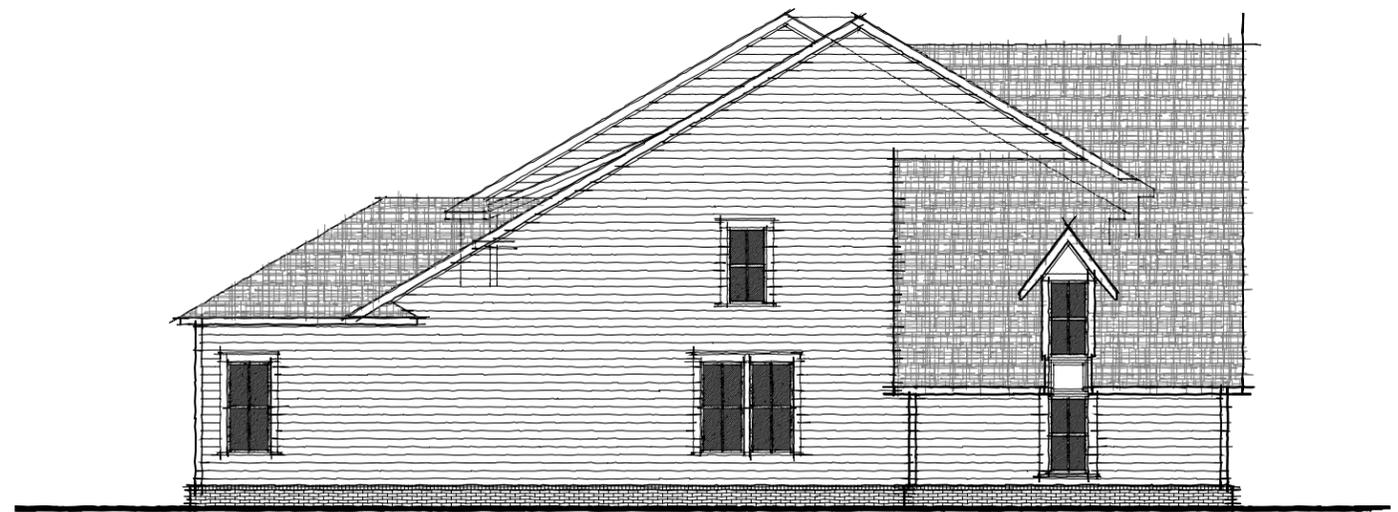




EXAMPLE OF 4-UNIT REAR ELEVATION

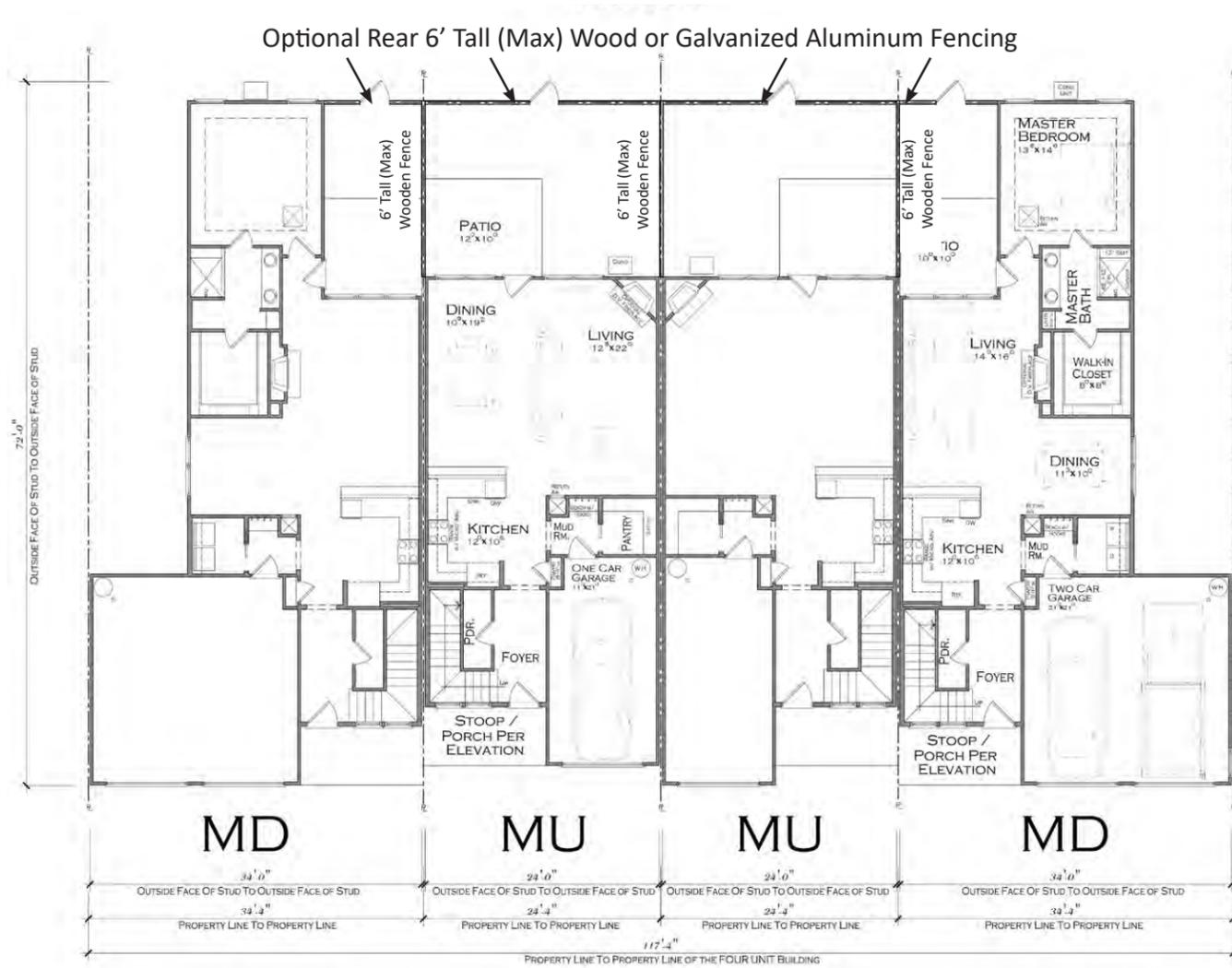


EXAMPLE OF RIGHT SIDE ELEVATION

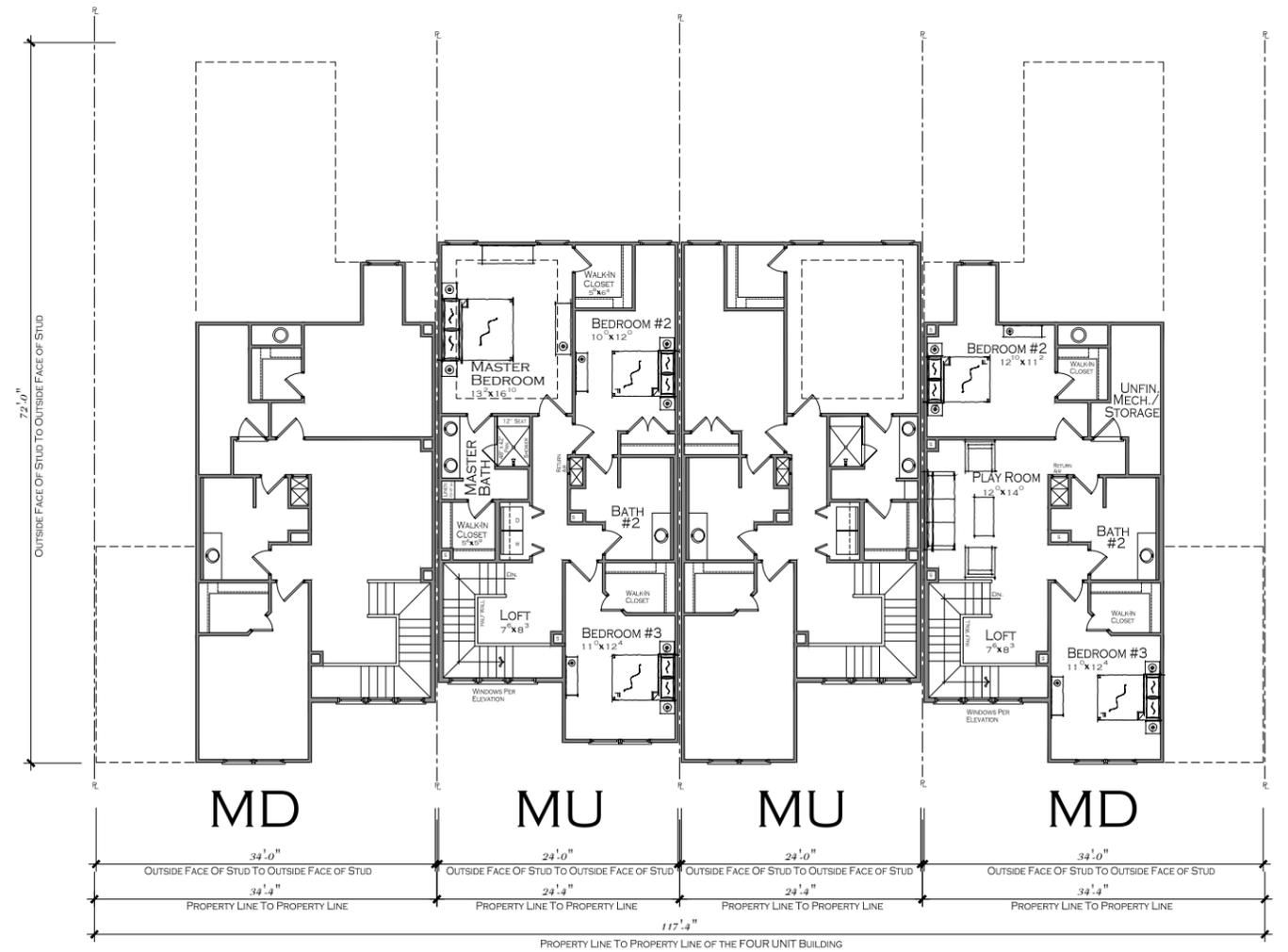


EXAMPLE OF LEFT SIDE ELEVATION

\*The building elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.



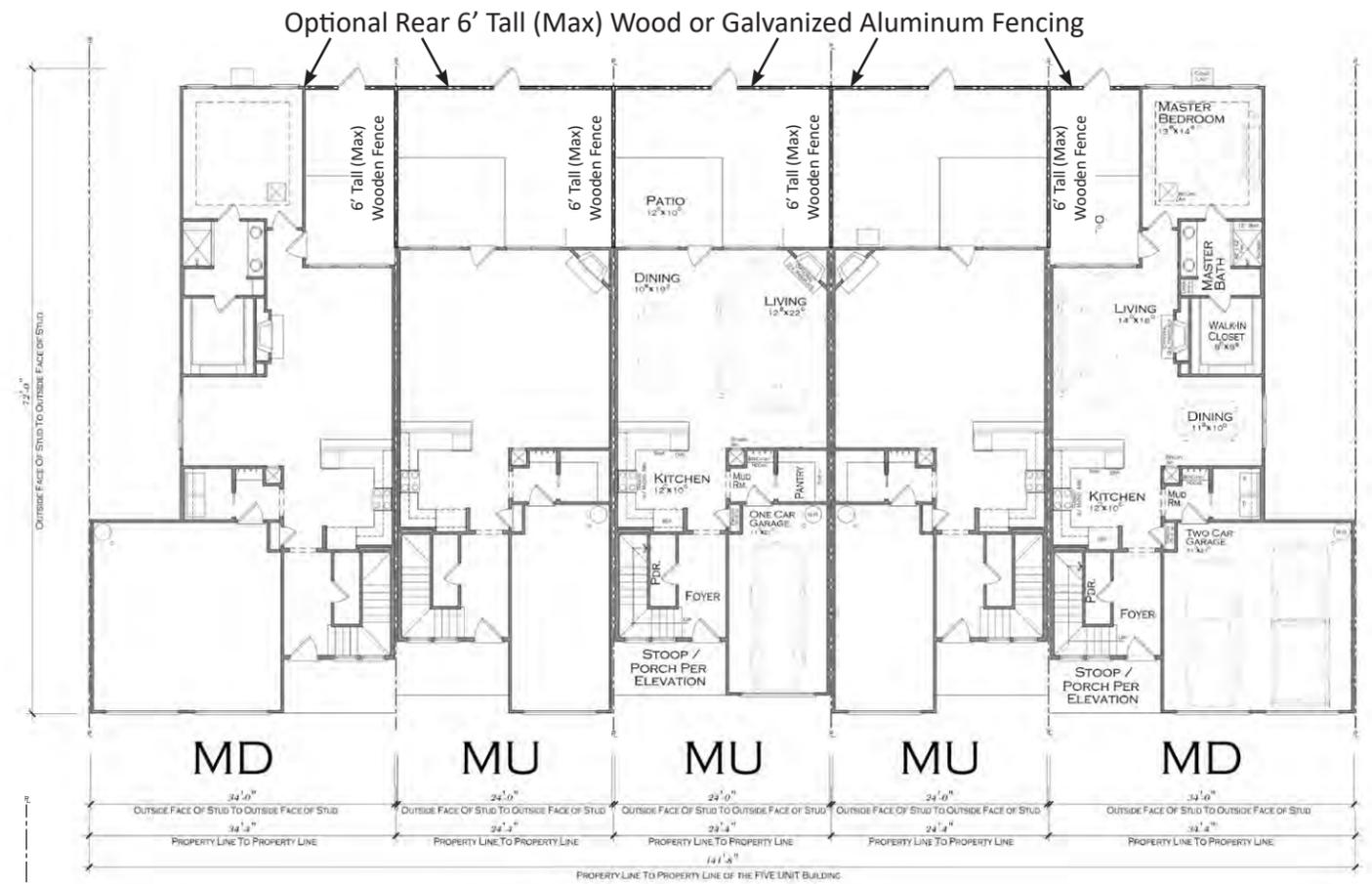
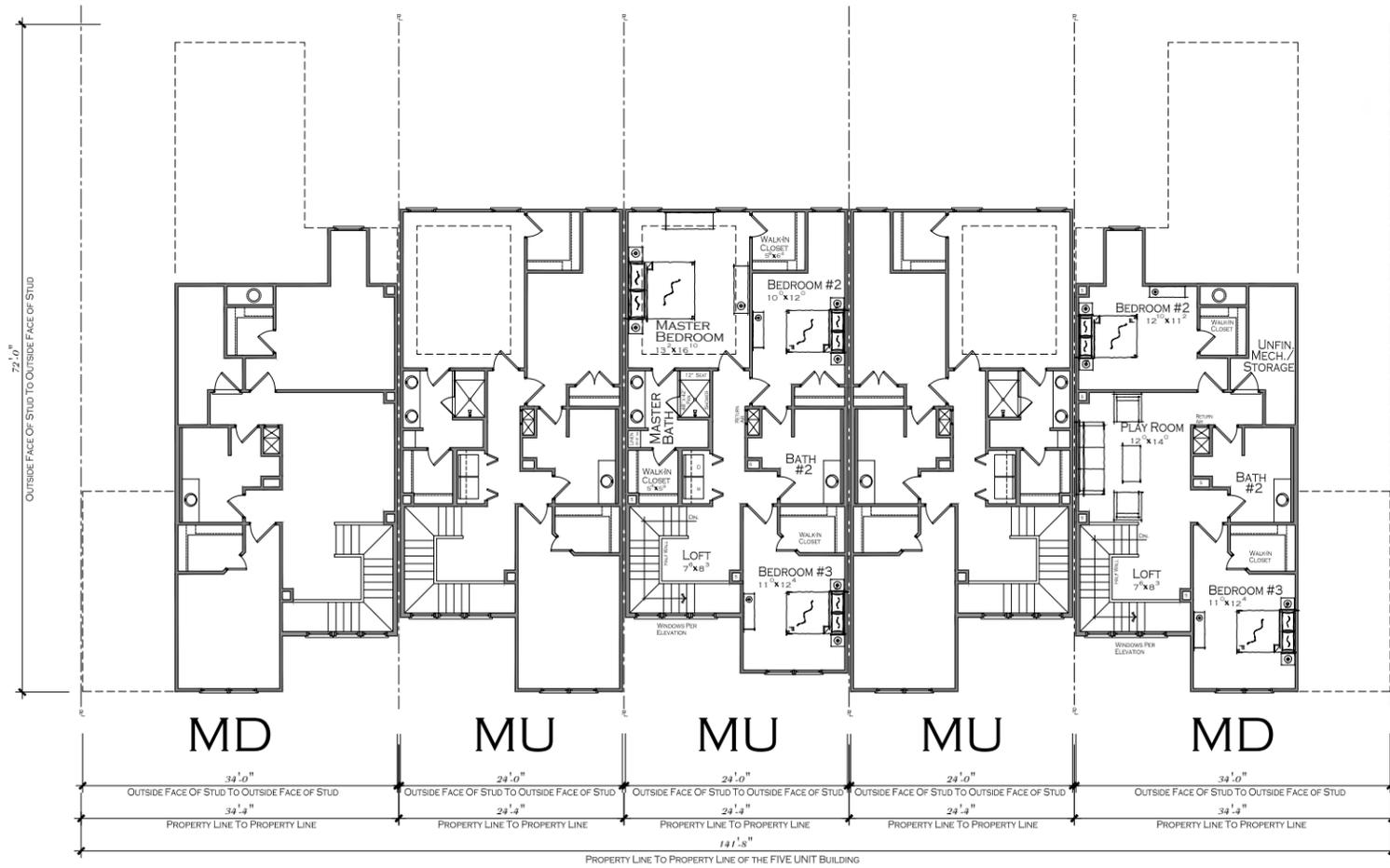
- 4 - Unit Building:**
- 2 - Master Down Units (End Units)
  - 2 - Master Up Units (Interior Units)



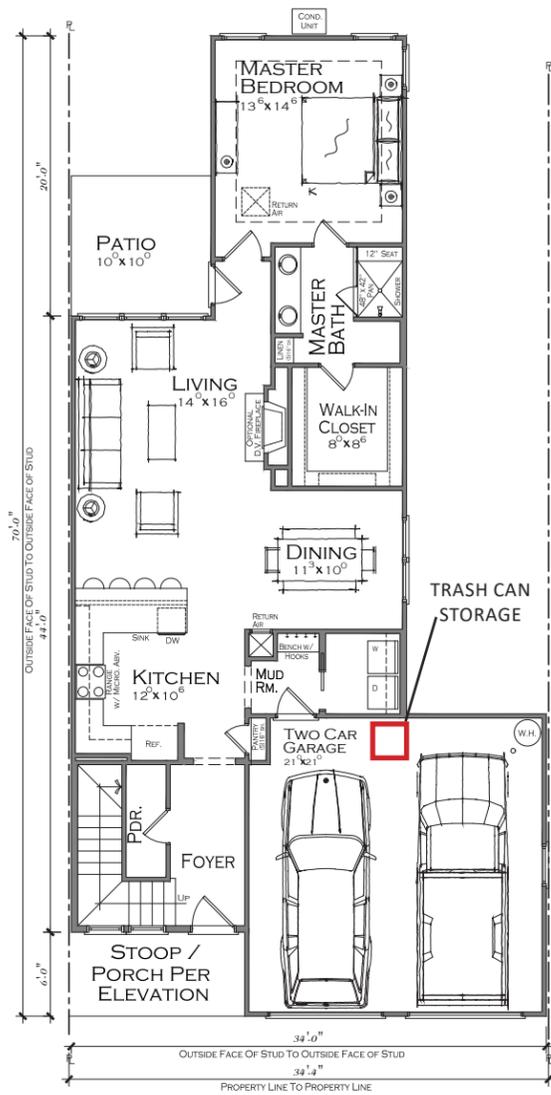
\*The floor plans of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.

**5 - Unit Building:**

- 2 - Master Down Units (End Units)
- 3 - Master Up Units (Interior Units)

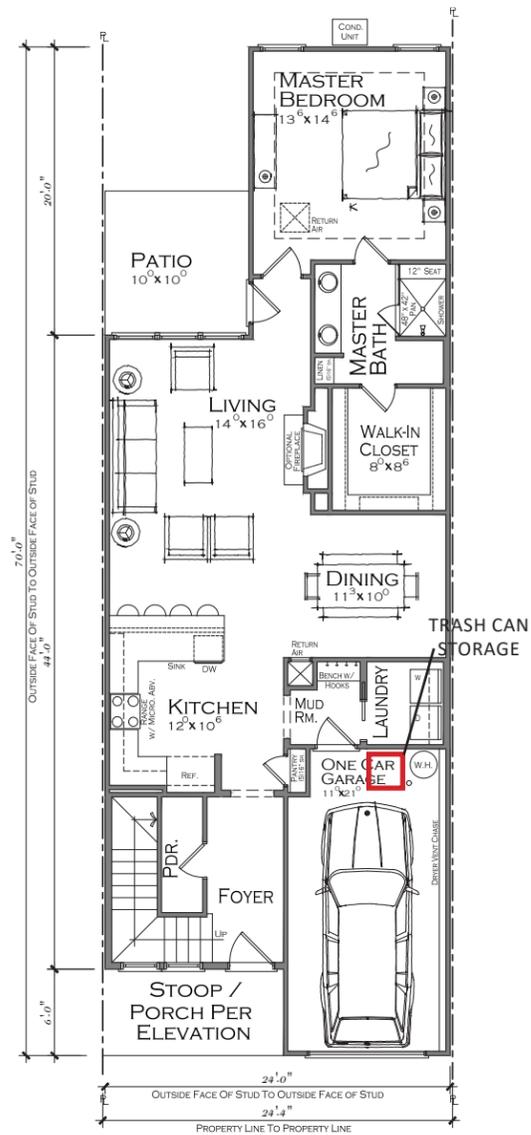


\*The floor plans of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.



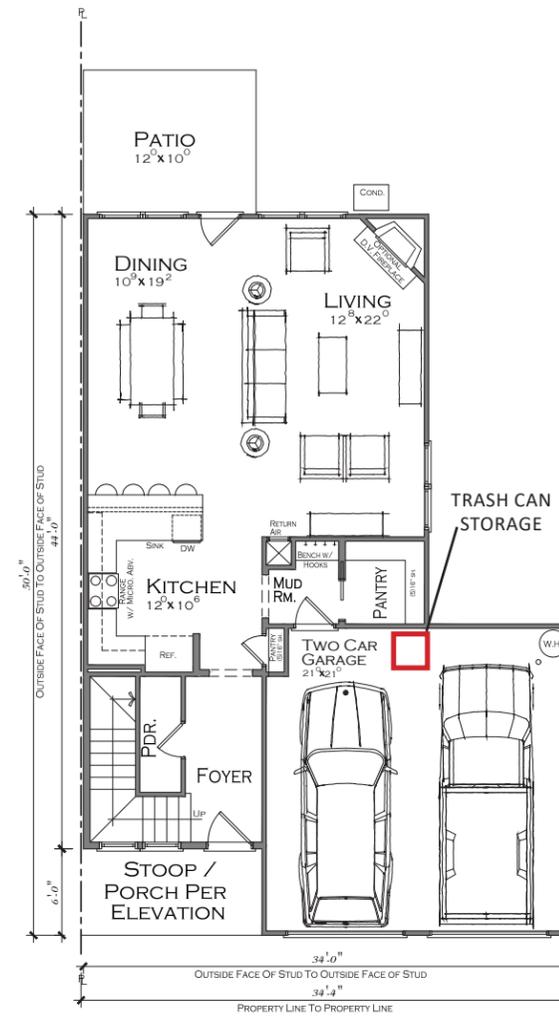
Master Down Unit - 1st Floor

First Floor = 1,167 SF  
 Second Floor = 812 SF  
 Total = 1,979 SF



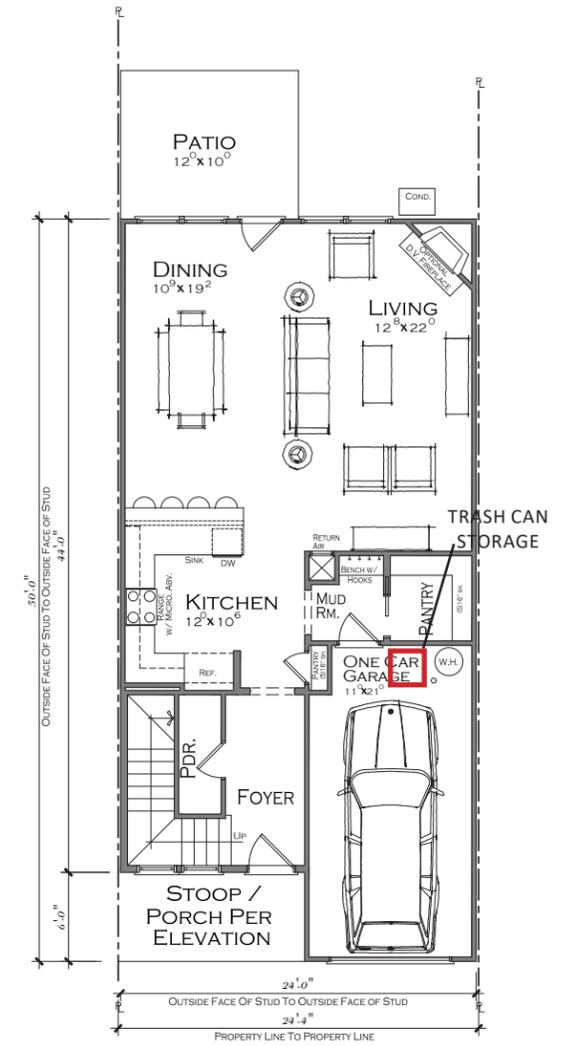
Master Down Unit - 1st Floor

First Floor = 1,167 SF  
 Second Floor = 812 SF  
 Total = 1,979 SF



Master Up Unit - 1st Floor

First Floor = 888 SF  
 Second Floor = 1,041 SF  
 Total = 1,929 SF



Master Up Unit - 1st Floor

First Floor = 888 SF  
 Second Floor = 1,041 SF  
 Total = 1,929 SF

**Note:**

- Townhome buildings will be comprised of a mixture of Master Up Units and Master Down Units. Townhome design will vary across the site utilizing the variety of floor plans.

\*The floor plans of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.



(A) Main Entrance

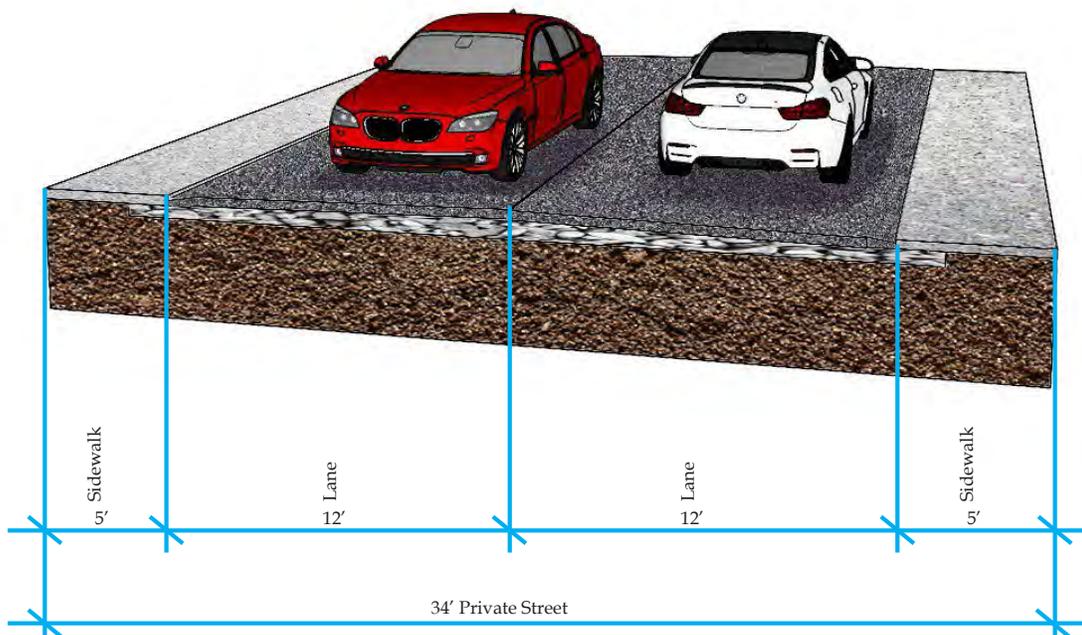
Pursuant to the City of Murfreesboro’s Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. Shelbyville Pike is a major thoroughfare which the majority of vehicular trips generated by this development will impact. It is currently built as a 4 lane cross-section with a vegetative median.

As stated, the primary means of ingress/egress from this site will be from Shelbyville Pike, Tiger Hill, and Christie Knob Way. The entrance is proposed to incorporate three travel lanes for proper circulation into and out of the development onto Tiger Hill and Christie Knob Way. There will be a dedicated left turn lane and straight/right lane out of the neighborhood, as well as single lane for traffic entering the development. The illustration to the left shows the primary entrance onto the site via the Christie Knob Way and Tiger Hill intersection. The master plan has included a potential secondary means of ingress/egress via a stub street to the undeveloped property to the south. The illustration on the bottom left shows the stub street location to the property to the south.



(B) Emergency Access Drive

All streets within the development will be private streets with a 36-foot cross-section. These streets will be built in accordance with the Murfreesboro Street Standards.



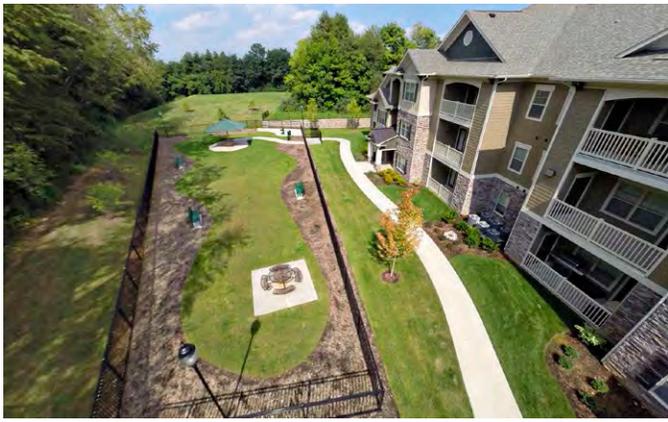


## LOCATION MAP - AMENITIES

Not To Scale 

- |                   |                  |              |
|-------------------|------------------|--------------|
| A Walking Trail   | D Open Play Lawn | G Playground |
| B Pavilion        | E Mail Kiosk     |              |
| C Outdoor Seating | F Dog Park       |              |

With this request, Tiger Hill Townhomes will be providing roughly 5 acres (35% of the site) to common open space. The open space areas will be comprised of usable open space and detention areas. Usable open space areas around the development will offer such amenities as; paved walking trails, a pavilion, outdoor seating, open play lawns, a dog park, and a playground. Sidewalks will line both sides of all streets to provide pedestrian circulation through the neighborhood for residents. The amenities will be constructed with the after 50% of the homes are built out. The Christie Knob Way entrance area will incorporate masonry signage and will be anchored with landscaping.



Example of Dog Park



Example of Entrance Sign



Example of Walking Trail



Example of Pavilion



Example of Outdoor Seating



Example of Open Playground



Example of Play Lawn



Type 'A' Buffer

Type 'D' Buffer



not to scale

**LANDSCAPE MATERIALS SAMPLES: DECIDUOUS TREES**



(A)



(B)

- (A) *Ulmus parvifolia* 'Emer II' / 'Emer II' Alle Elm
- (B) *Zelkova serrata* 'Green Vase' / Sawleaf Zelkova
- (C) *Buxus* x 'Green Mountain' / Boxwood
- (D) *Prunus laurocerasus* 'Otto Luyken' / Luykens Laurel
- (E) *Lagerstroemia indica* 'GAMAD VI' / Berry Dazzle Crape Myrtle
- (F) *Miscanthus sinensis* 'Adagio' / Adagio Eulalia Grass
- (G) *Liriope spicata* 'Silver Dragon' / Creeping Lily Turf
- (H) *Setcreasea pallida* 'Purple Heart' / Purple Heart Setcreasea
- (I) *Iberis sempervirens* 'Little Gem' / Little Gem Candytuft
- (J) *Liriope muscari* 'Variegata' / Variegated Lily Turf
- (K) *Magnolia grandiflora* 'D.D. Blanchard' TM / Southern Magnolia
- (L) *Thuja standishii* x *plicata* 'Green Giant' / Green Giant Arborvitae
- (M) *Cryptomeria Japonica* 'Radi-cans' / Japanese Cedar
- (N) *Viburnum x pragense* / Prague Viburnum
- (O) *Prunus laurocerasus* 'Schipkaensis' / Schipka Laurel

**LANDSCAPE MATERIAL SAMPLES: EVERGREEN/DECIDUOUS SHRUBS AND GRASSES**



(C)



(D)



(E)



(F)

**LANDSCAPE MATERIAL SAMPLES: GROUNDCOVERS**



(G)



(H)



(I)



(J)

## **LANDSCAPE BUFFER: EVERGREEN TREES**



**(K)**



**(L)**



**(M)**

## **LANDSCAPE BUFFER: EVERGREEN TREES AND SHRUBS**



**(N)**



**(O)**

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

### **Landscaping Characteristics:**

- A minimum 10-feet of landscape area between parking and all property lines.
- The north perimeter and all perimeters abutting the proposed commercial lots of the property will have a 10-foot wide Type 'A' Landscape Buffer consisting of alternating evergreen, canopy, and understory trees to provide screening for the adjacent properties. Evergreen trees will be a minimum of 6-feet tall at the time of planting. The canopy trees will be a minimum 3" caliper at the time of planting. The understory trees will be a minimum 2" caliper at the time of planting.
- The east and south perimeter of the property will have a 15-foot wide Type 'D' Landscape Buffer consisting of a double staggered row of evergreen trees planted 10 feet on center to provide screening for the adjacent properties. Evergreen trees will be a minimum of 6 feet tall at the time of planting. In addition to the evergreen trees, a single row of evergreen shrubs will fill in the gaps between the evergreen trees during the first few years of the buffer until the trees mature and fill in the buffer. The evergreen shrubs will be a minimum 3 feet tall at the time of planting.
- All above ground utilities and mechanical equipment screened with landscaping and/or fences.
- Solid waste enclosure screened with a masonry wall and enhanced with landscaping.
- The front and secondary front elevations of buildings facing the private roadways will have at least 3 foot wide landscape bed along the foundation.
- Internal landscape design will be in conformance with the City of Murfreesboro's Landscape Ordinance. Which includes the minimum requirements for trees and shrubs for the project's acreage.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

**Response:** An exhibit is given on Page 4 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

**Response:** Exhibits are shown on Page 6 that shows the existing contours and drainage patterns along with an aerial photograph of the area.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

**Response:** Exhibits and photographs on Page 3 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 7 gives the zoning of those same properties.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

**Response:** The attached 11x17 page lists standards and exhibits showing the concept plan which shows each of these items.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

**Response:** See pages 12 and 13 lists standards and exhibits showing the concept plan which shows each of these items.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

TOTAL SITE AREA	545,566 s.f.
TOTAL MAXIMUM FLOOR AREA	134,572 s.f.
TOTAL LOT AREA	545,566 s.f.
TOTAL BUILDING COVERAGE	103,998 s.f.
TOTAL DRIVE/ PARKING AREA	100,275 s.f.
TOTAL RIGHT-OF-WAY	0 s.f.
TOTAL LIVABLE SPACE	445,291 s.f.
TOTAL OPEN SPACE	248,059 s.f.
<b>FLOOR AREA RATIO (F.A.R.)</b>	<b>0.25</b>
<b>LIVABILITY SPACE RATIO (L.S.R.)</b>	<b>0.63</b>
<b>OPEN SPACE RATIO (O.S.R.)</b>	<b>0.81</b>

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

**Response:** The property is currently zoned CH. The surrounding area has a mixture of residential and commercial properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

**Response:** The project is anticipated to be developed in one phase.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

**Response:** This requirement has been addressed on Page 13.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

**Response:** The applicant is requesting the following exceptions with this PRD.

SETBACKS	RS-A2	PRD (External)	Difference	RS-A2	PRD (Internal)	DIFFERENCE
Front Setback	35.0'	N/A	N/A	35.0'	25.0'	-10.0'
Side Setback	5.0'	20.0'	15.0'	5.0'	5.0'	0.0'
Rear Setback	20.0'	20.0'	0.0'	20.0'	30.0'	10.0'
Minimum Lot Size	2,000 SF.	N/A	N/A	2,000 SF.	N/A	N/A
Minimum Lot/Product Width	20.0'	N/A	N/A	20.0'	24.0'/34.0'	4.0'/10.0'

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

**Response:** This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). This property lies in Zone X and no portion of the property lies within the FEMA floodway or floodplains according to the current FEMA Map Panel 47149C0270H Eff. Date 01/05/2007.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

**Response:** Pages 5 & 19 discusses the Major Thoroughfare Plan. No roads related to this development are slated for improvements.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

**Response:** The primary representative is Matt Taylor of SEC, Inc. Developer/applicant is Celebration Homes, LLC contact info for both is provided inside the front cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

**Response:** Pages 14 through 18 show the architectural character of the proposed buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

**Response:** Examples of entrance signage are located on Page 21 with a description.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
OCTOBER 7, 2020  
PROJECT PLANNER: MARINA RUSH**

- 4.d. Zoning application [2020-414] for approximately 1.0 acre located along Gresham Lane to be rezoned from CL to PCD (Secure Lawn PCD), Mark Lovinski applicant.**

The subject property is located along the east side of Gresham Lane, contiguous to the Rutherford County Lane Agri-Park property. The applicant, Mark Lovinski, is requesting to rezone the property from Local Commercial (CL) to Planned Commercial District (PCD) to allow for the development of a lawn service business. It is identified as Tax Map 92, Parcel 3.01 and is developed with a single-family residence.

The request for the rezoning is because “lawn, tree, and garden service” as a land use is not permitted in the CL zoning district. The Planned Commercial Development zoning would allow for the proposed use and ensure the development will be buffered from adjacent residential uses.

**Adjacent Land Use and Zoning**

On the north, east and south sides of the subject property is the Lane Agri-Park property, which is zoned PCD. Property to the west across Gresham Lane is in the unincorporated portion of Rutherford County and is currently developed with single family residences and a 20-acre parcel used for the overflow parking of new automobiles for the nearby Honda dealership. The residential parcels are zoned Medium-Density Residential (RM), while the Honda parcel is zoned PUD (Planned Unit Development).

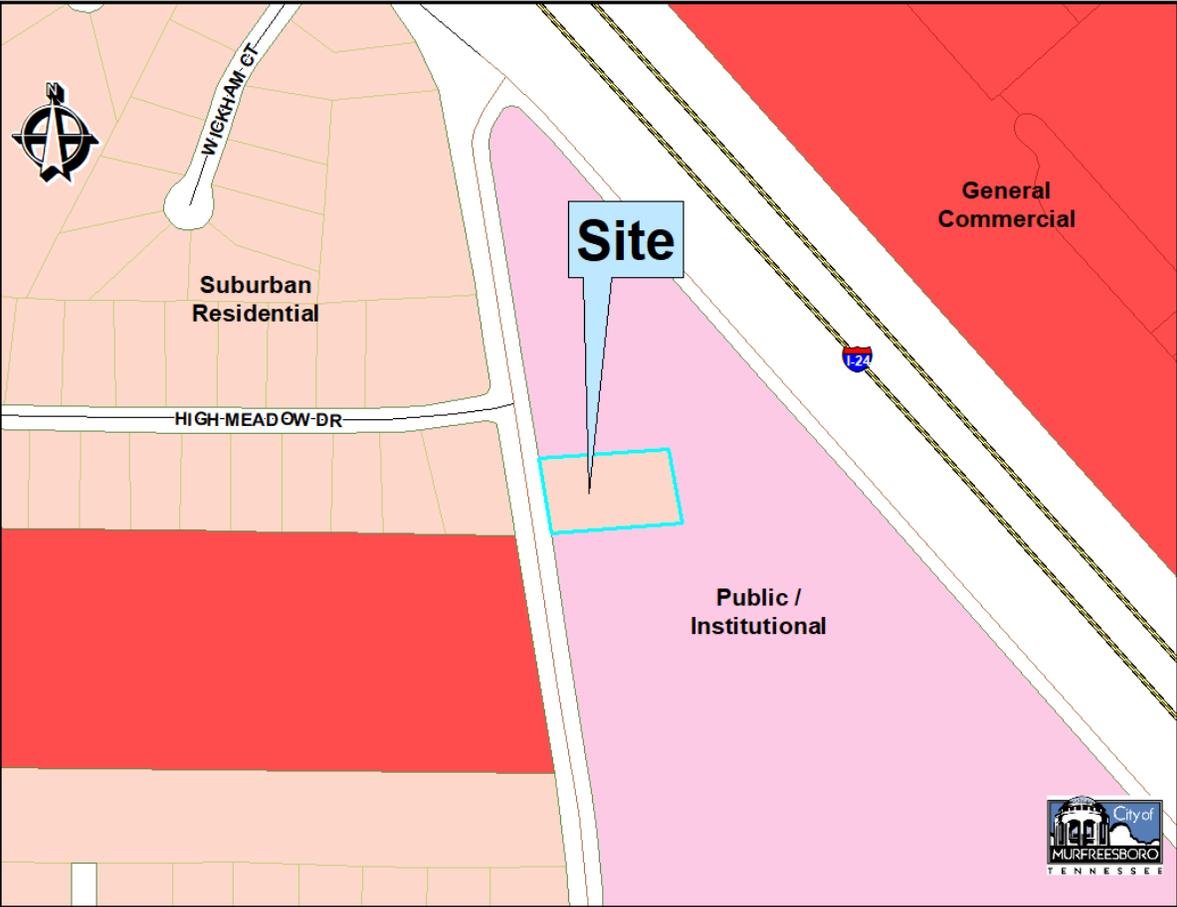
**Secure Lawn PCD:**

The applicant wishes to relocate his existing Murfreesboro lawn service business, Secure Lawn, to the subject property and convert the existing residence to a commercial office with the required parking and access improvements, ADA accessibility, and landscaping upgrades. He also intends to construct a new storage building at the rear of the property for storage of equipment and business materials and remove the existing metal shed. The zoning and development are described in the Secure Lawn PCD program book, which is attached to this staff report. There are no exceptions requested to any of the bulk standards required in the CL zoning district.

**Future Land Use Map:**

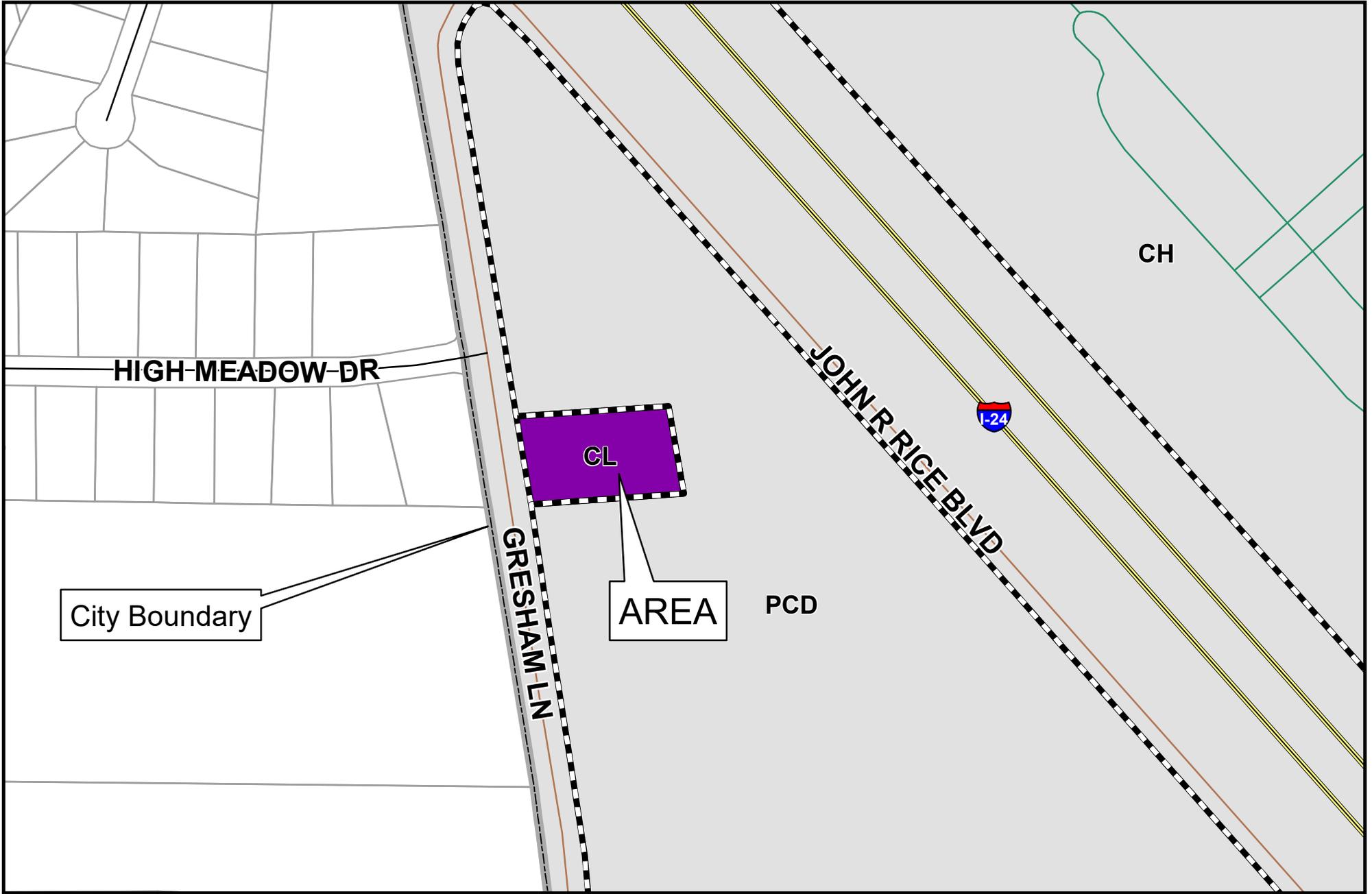
The Future Land Use Map (FLUM) of the *Murfreesboro 2035 Comprehensive Plan* indicates that “Suburban Residential” is the most appropriate land use character for the project area, as shown on the map below. The general characteristics of the Suburban Residential land use designation are single family residences on larger lot sizes. Staff believes that the existing single-family land use was the basis for the future land use map designation for this parcel.

The proposed zoning is not consistent with the recommendations of the Future Land Use Map. However, it is compatible with the use of the adjacent Lane Agri-Park property, which is designated as Public/Institutional on the Future Land Use Map, and the auto storage property across the street, which is designated as “General Commercial.” If the rezoning is adopted, staff recommends the FLUM be revised to reflect General Commercial for this property.



**Action Needed:**

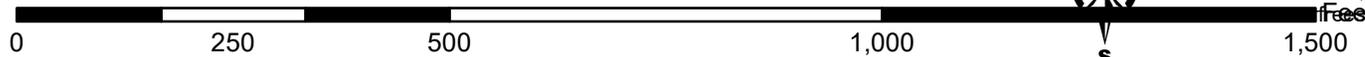
The applicant will be available at the Planning Commission hearing to discuss the proposed rezoning request. The Planning Commission will need to conduct a public hearing on this matter and then make a recommendation to the City Council.



Rezoning Request for Property Along Gresham Lane  
 CL to PCD (Secure Lawn PCD)



Planning Department  
 City of Murfreesboro  
 11 W Vine St  
 Murfreesboro, TN 37130  
[murfreesboro.tn.gov](http://murfreesboro.tn.gov)

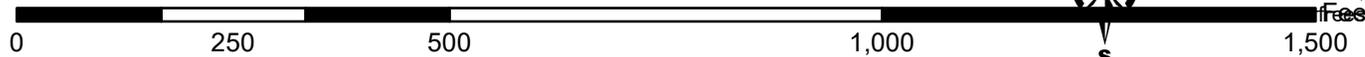




Rezoning Request for Property Along Gresham Lane  
 CL to PCD (Secure Lawn PCD)



Planning Department  
 City of Murfreesboro  
 11 W Vine St  
 Murfreesboro, TN 37130  
[murfreesboro.gov](http://murfreesboro.gov)



# Secure Lawn

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## PLANNED COMMERCIAL DISTRICT

SUBMITTED , SEPTEMBER 2, 2020 FOR THE SEPTEMBER 16, 2020 PLANNING COMMISSION MEETING

RESUBMITTED , SEPTEMBER 28, 2020 FOR THE OCTOBER 7, 2020 PLANNING COMMISSION HEARING

Plans Prepared By:

**HUDDLESTON-STEELE**  
**ENGINEERING, INC.**  
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129  
TELEPHONE: 615-893-4084 FAX: 615-893-0080

# Table of Contents

## Secure Lawn

PLANNED COMMERCIAL DISTRICT

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### SHEET INDEX

1. DEVELOPMENT TEAM & PROJECT SUMMARY
2. ZONING MAP
3. UTILITY MAP
4. HYDROLOGY & TOPOGRAPHY MAP
5. AERIAL MAP
6. EXISTING CONDITIONS
7. EXISTING CONDITIONS
8. SITE PLAN
9. ARCHITECTURAL ELEVATIONS
10. CONCEPTUAL LANDSCAPE PLAN
11. DEVELOPMENT STANDARDS
12. PERMITTED USES / PROHIBITED USES
13. PLANNED DEVELOPMENT CRITERIA & 2035 PLAN

## Development Team & Project Summary

### PROJECT SUMMARY

The owner has acquired the property to operate a turf maintenance company. Secure Lawn is a lawn service company founded in 2003. The location is 817 Gresham Lane, the current zoning is CL (Local Commercial) and proposed zoning is PCD. The current residence will be converted to the new business office and the existing storage building on the property will be used for storage turf maintenance equipment. The improvements to the property will be converting the home into office space with a new painted brick facade, a new front porch, installing new landscaping, paving the existing driveway, adding employee and guest parking spaces, adding a metal 30 x 70 storage building directly behind the home and a ground sign at the front of the property. The new building will be used to store supplies and equipment, as well as, provide indoor parking of the service vehicles. The building will not exceed 25' in height. There will be a split rail fence built along Gresham Lane.

The property will be used for the business office and operations and is not used for any type of retail sales. All services the company performs are done at the customer's site. Therefore, only employee will be traffic generated from the business. Vendors periodically deliver products with small delivery trucks, no products are delivered with semi trucks. The business has eight employees. The business does not house hazardous materials on the property. The hours of operations are 7am to 5pm five days a week. On a seasonal basis the business operates on Saturdays from 8 am - noon.

### Owner/ Developer

**Mark Lovinski**

615.893.8455 (Office)

615.390.0722 (Cell)

mark.lovinski@securelawn.com

### Planning and Engineering

**Huddleston-Steele Engineering, Inc.**

**Clyde Rountree, RLA**

**2115 N.W. Broad Street**

**Murfreesboro, TN 37129**

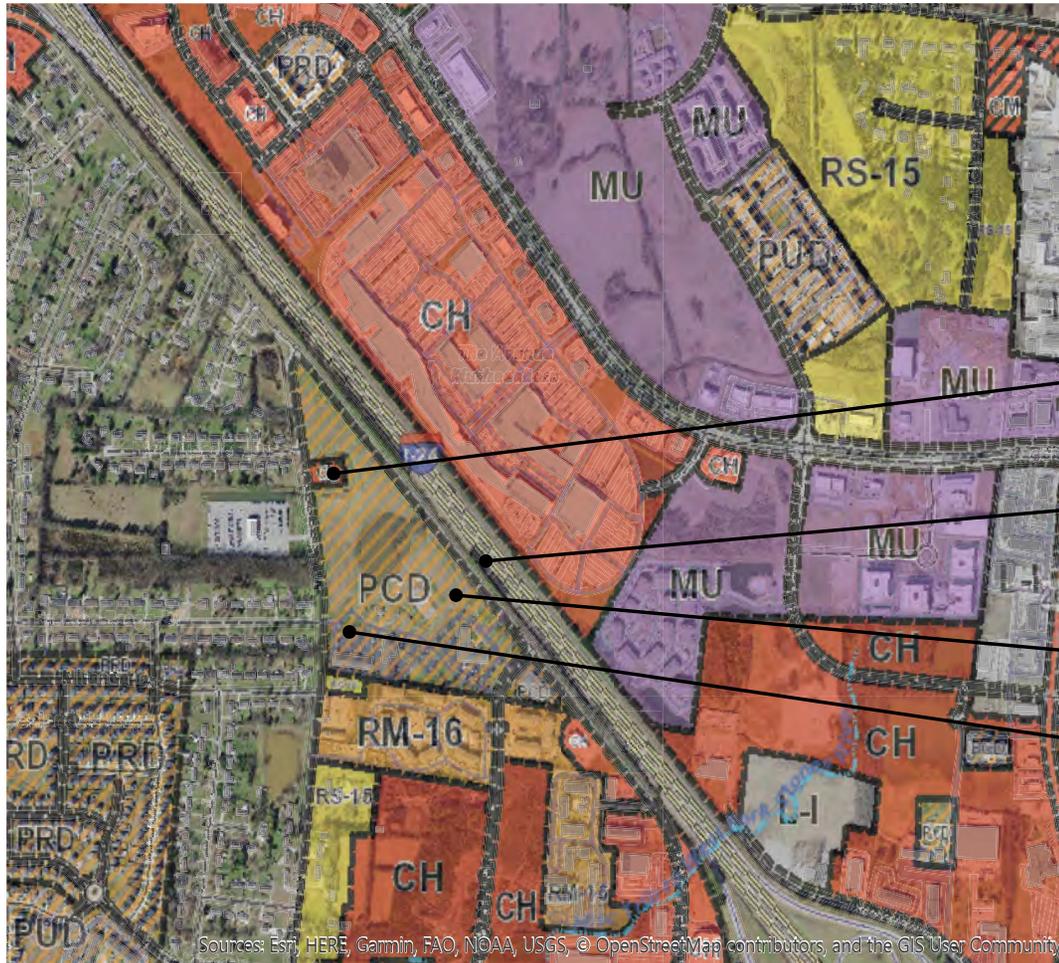
**Rountree.associates@yahoo.com**

**615.509.5930**

# Zoning Map Exhibit

## Secure Lawn

PLANNED COMMERCIAL DISTRICT



The subject property is zoned CL. The property is surrounded by PCD zoning, which is the Agripark development. The property to the west is zoned RM in the County. The subject property is proposed to be rezoned PCD.

**SITE**

**Interstate 24**

**Agripark**

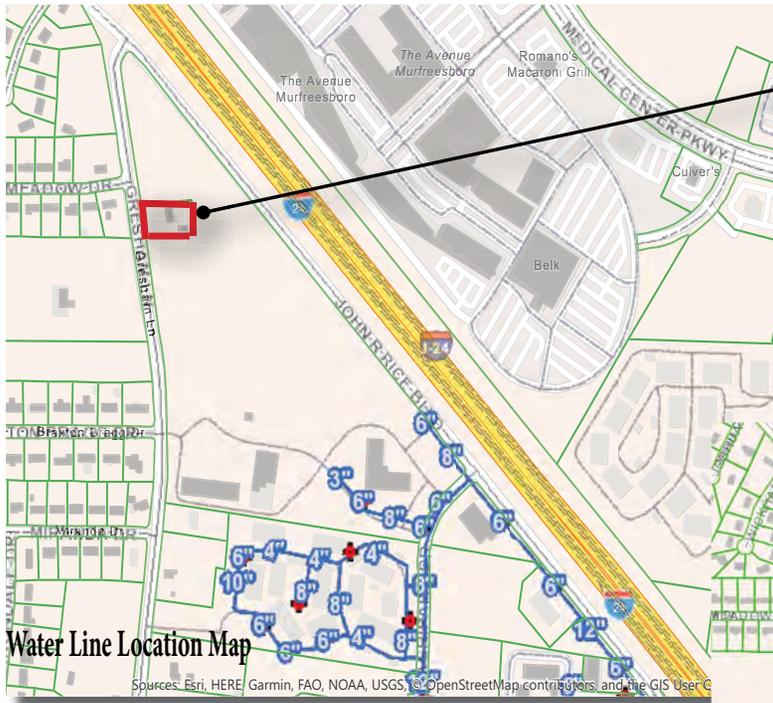
**Gresham Lane**

Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

# Utility Map

## Secure Lawn

PLANNED COMMERCIAL DISTRICT



### SITE



The subject property utility providers:  
Water is provided by Murfreesboro Water Resources Department.  
Electric is provided by Murfreesboro Tennessee Electric (MTEMC).  
Building will be served by an on site septic system.

#### LEGEND

Water 

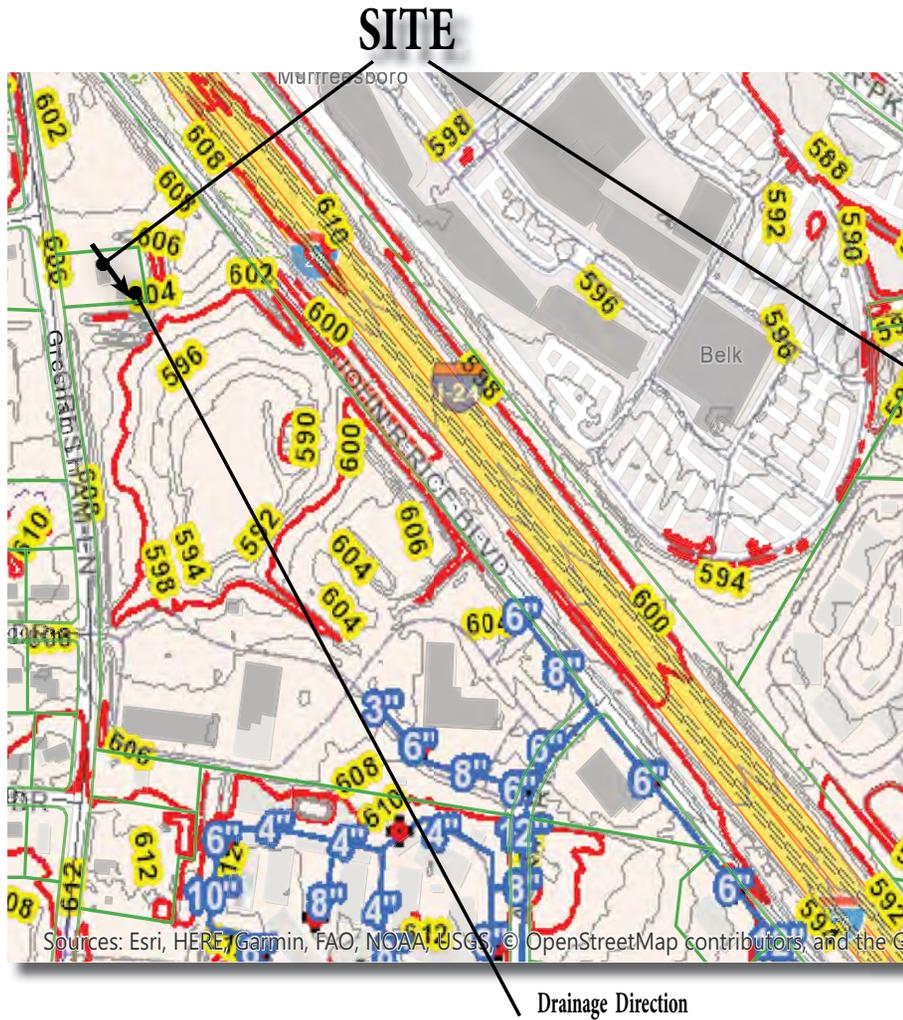
Sewer 



# Hydrology & Topography Map

## Secure Lawn

PLANNED COMMERCIAL DISTRICT



Septic Field Location Map

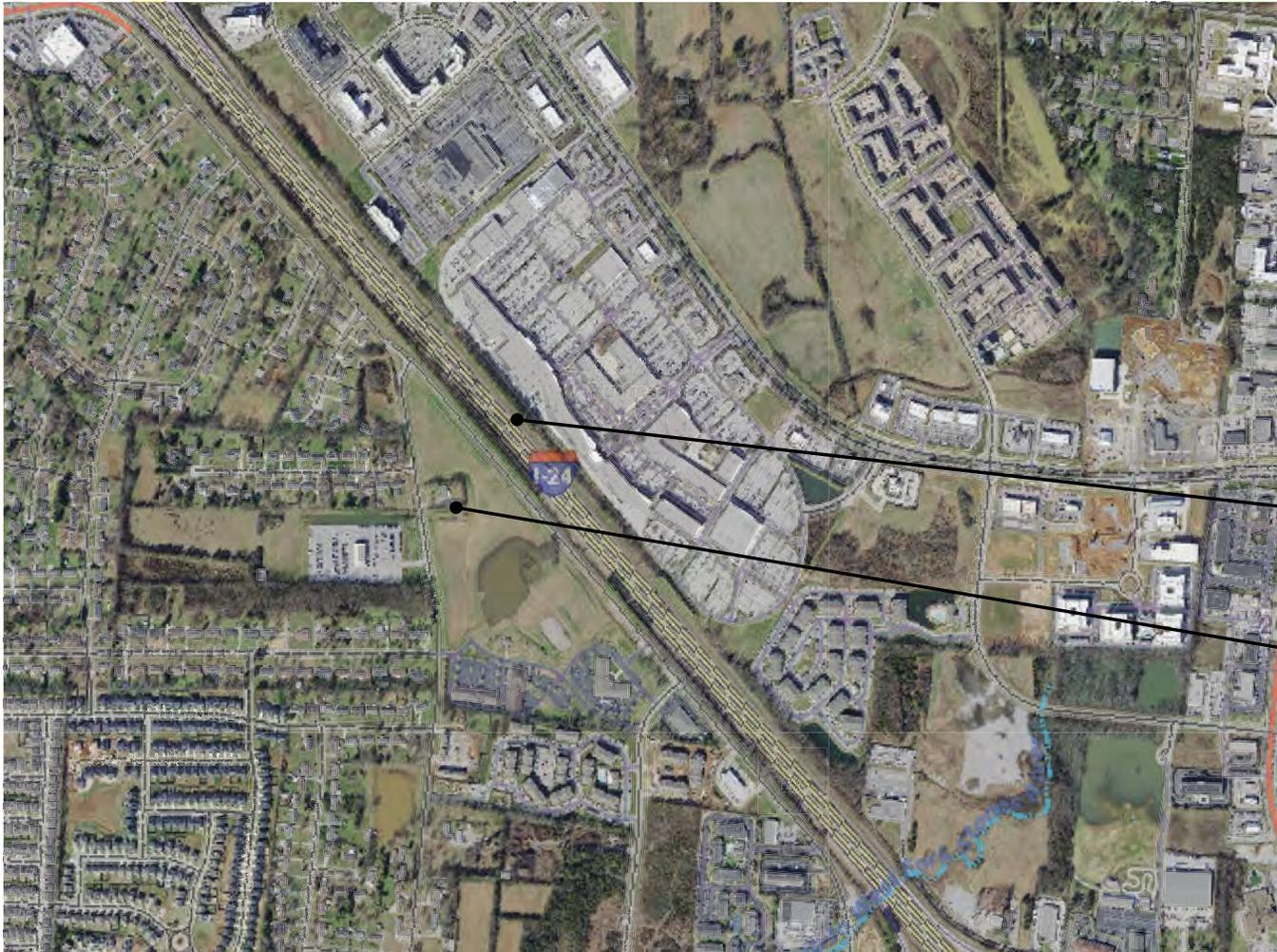
The site drains towards the existing pond located on the Agripark site. The



# Secure Lawn

PLANNED COMMERCIAL DISTRICT

## Aerial Map



This aerial photograph shows the subject site surrounded by Agripark property. The property is across from a residential neighborhood and a new car storage located in the unincorporated portion in Rutherford County. Across the interstate is the The Avenue Murfreesboro shopping center.

Interstate 24

Site



Aerial Location Map

# Existing Conditions



**A** View looking existing tree line around subject property



**B** View of future office building from backyard

**C** Existing metal building to be removed when new storage building is constructed

**D** View looking down driveway to Gresham Lane

# Existing Conditions

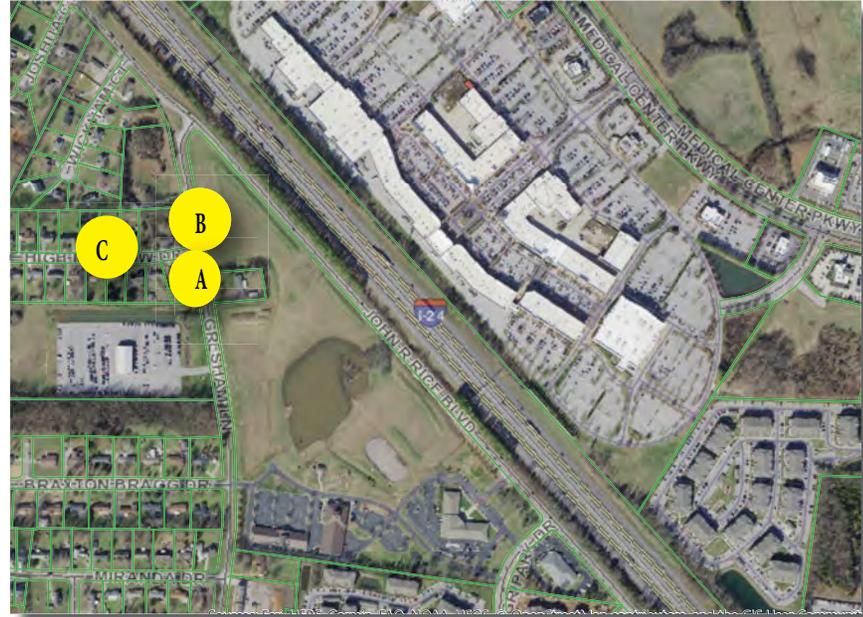
## Secure Lawn

PLANNED COMMERCIAL DISTRICT



A

View looking at existing home to be repainted and be used as the business office



B

Entrance wall across from subject property



C

Typical home style across from subject property

Site Plan

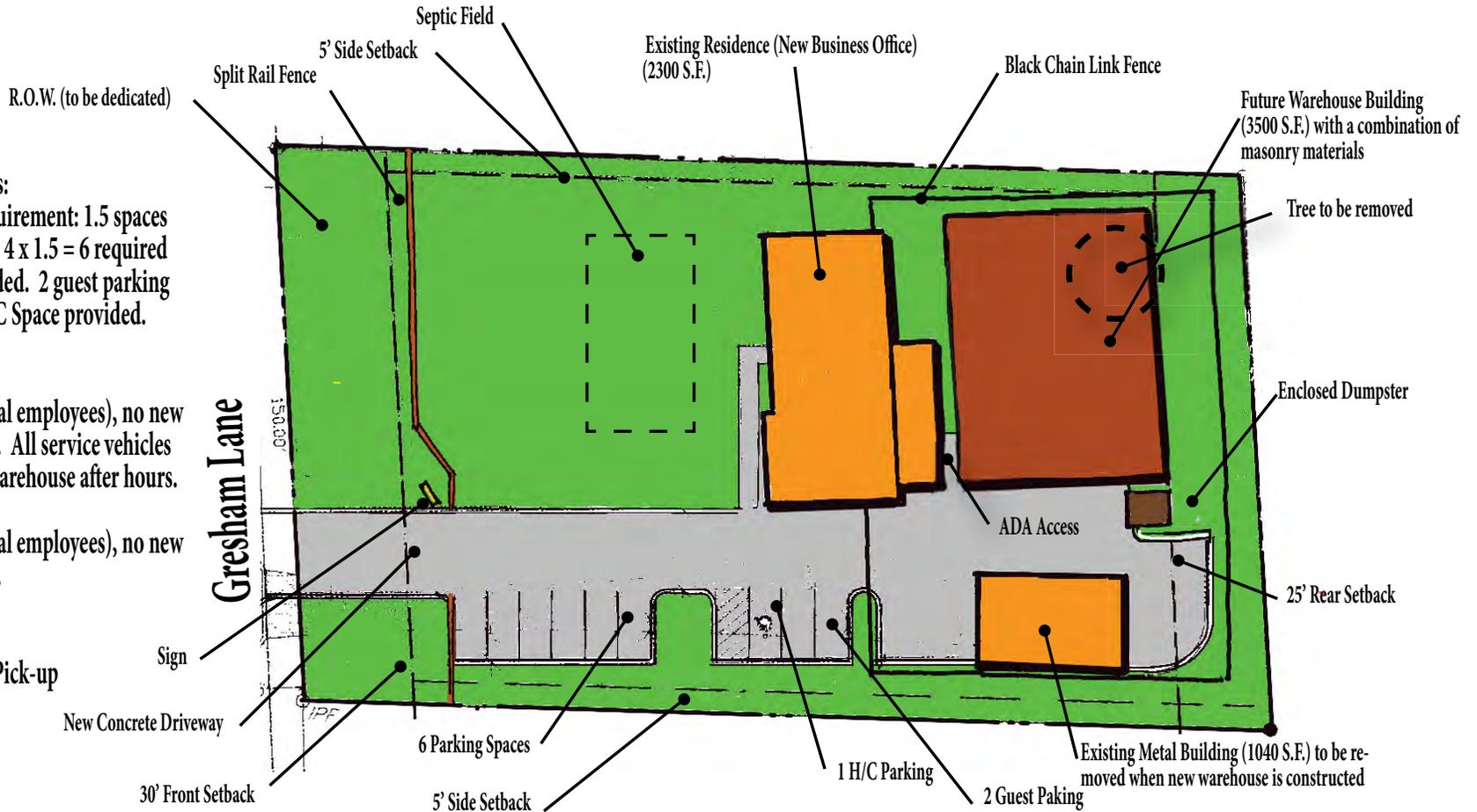
Site Data:  
Acreage: 1 Acres

Commercial Buildings:  
2300 S.F. Parking Requirement: 1.5 spaces per 2 employees:  $8/2 = 4 \times 1.5 = 6$  required spaces, 6 spaces provided. 2 guest parking spaces provided, 1 H/C Space provided.

Metal Buildings:  
3500 S.F. (no additional employees), no new parking requirements. All service vehicles will be stored inside warehouse after hours.

1040 S.F. (no additional employees), no new parking requirements.

Private Hauler Trash Pick-up



# Architectural Elevations



Example of Future Metal Building (Brick and Cementitious Siding)



Existing Residence viewed from Greshem Lane



Existing Residence on Left Side



Existing Metal Building to be removed when new building is constructed

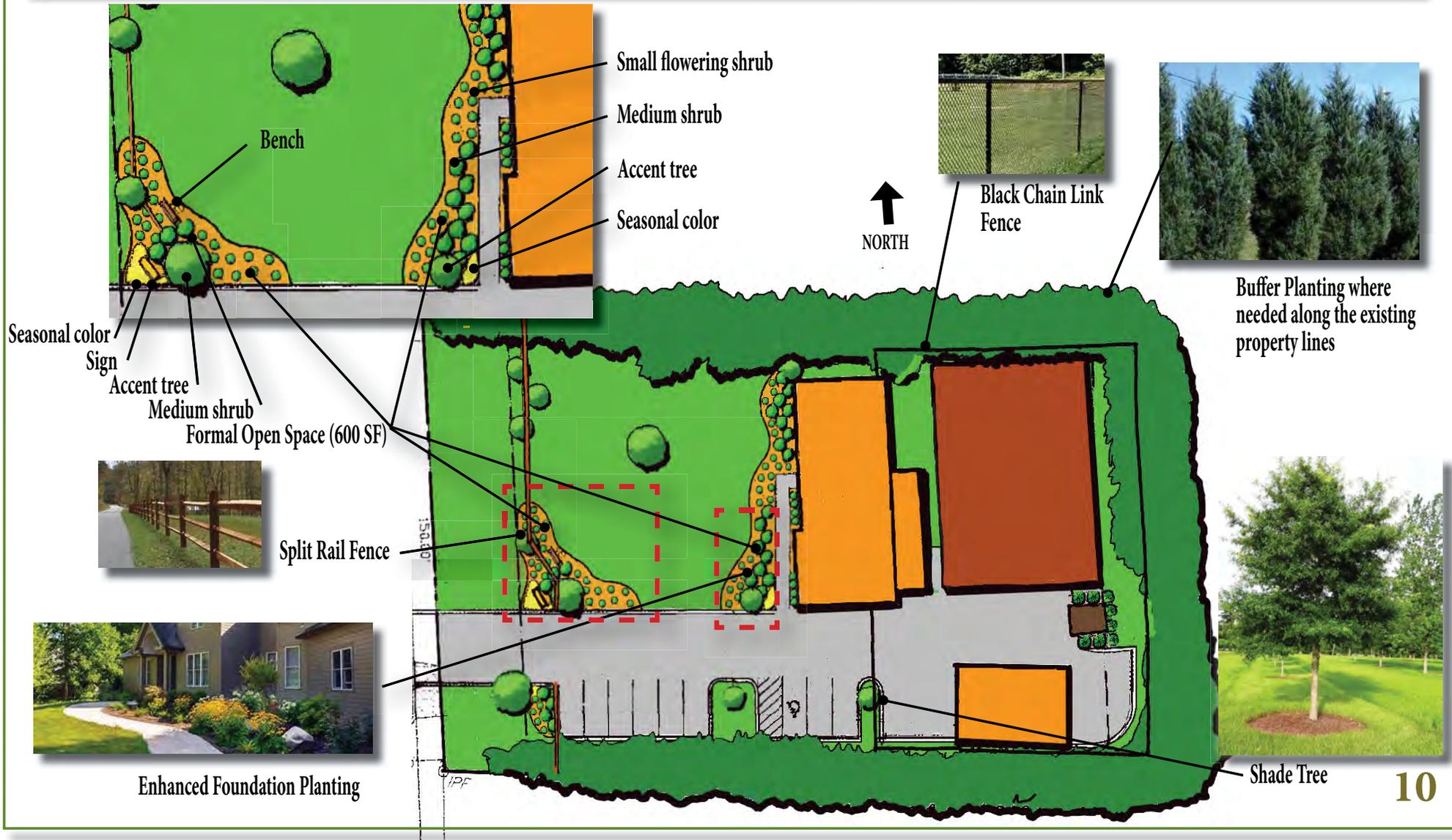


Rear of Existing Home



Existing Residence on Right Side

# Conceptual Landscape Plan



# Development Standards

Development Standards:

Development will include remodeling the existing residence to the business office, utilizing the existing metal building (in the short term) and the addition of a 3500 S.F. of warehouse building in the future.

The maximum building height is 35'-0"

The site will have 8 standard parking spaces, with 1 H/C Space

Solid waste removal will be provided by a private hauler

Identification signage will be a ground mounted monument sign

All parking will be screened from the public right-of-way by landscaping

Buildings elevations will be repainted

600 S.F. Formal open space

SETBACKS	CL	PCD	DIFFERENCE
FRONT SETBACK	42'	30'	12'
SIDE SETBACK	10'	10'	5'
REAR SETBACK	20'	20'	0'

Building Elevation Materials:

Brick (Primary Material) on existing residence to be used as the office

Warehouse building in the rear to be a combination of masonry materials on the front facade facing Gresham Lane. Cementitious siding on all other sides building.

SITE DATA		
Total Land Area	43,560 SF	
Total Open Space	Required: 8712 SF	Provided: 28693 SF
Formal Open Space	Required: 435 SF	Provided: 600 SF
Business Office	2300 SF	
Warehouse	3500 SF	
Warehouse	1040 SF	
Total Impervious	14867 SF	
Total Pervious	28693 SF	

## **Permitted Uses /Prohibited Uses**

**\*Permitted Uses:**

Lawn, Tree and Garden Service  
Home will not be used as a residence

# Planned Development Criteria & 2035 Plan

## General Applicability Per Section 13 - Planned Development Regulations

1. Ownership and division of land: *The site is owned by the developer identified on Sheet 1. The lot is currently zoned in the City of Murfreesboro.*
2. Waiver of BZA action: *No BZA actions will be required.*
3. Common open space: *Provided in front yard of the development.*
4. Accessibility to site: *The property is accessible from Gresham Lane.*
5. Off street parking: *See Sheet 8 for parking calculations.*
6. Pedestrian circulation: *No sidewalk is provided by this project.*
7. Privacy and screening: *Perimeter planting yard is provided, screening of parking lot and street frontage plantings.*
8. Zoning and subdivision modifications proposed: *A PCD is being requested for the subject property.*
9. Phasing: *The project shall be completed in one phase.*
10. Annexation: *No annexation is required for this site.*
11. Landscaping: *The development will be designed to meet all minimum landscaping requirements.*
12. Major Transportation Plan: *The PCD is consistent with the Major thoroughfare plan utilizing Gresham Lane as the primary access to the site.*
13. Applicant contact information: *Contact information is located on Sheet 1.*
14. Proposed Signage: *A monument sign is being proposed and will comply with the Murfreesboro Sign Ordinance Regulations.*



### 2035 Plan - Public Institutional - Characteristics

High degree of visitation and/or pedestrian activity in some cases, with people coming and going throughout the day;

Institutional functions may require multiple buildings, arranged in a campus-like setting;

Facilities may have special parking and passenger drop-off requirements;

Buildings are sometimes set back from the road to provide more prominence, with large amounts of open spaces surrounding the buildings

## Section 13 – Project Development Criteria Requirements

1. Identification of existing utilities: *Shown in pattern book on Sheet 3,*
- 2/3. Graphics, renderings, maps and or aerial photography showing existing conditions and natural features of the site: *Shown in pattern book Sheets, 3-7.*
- 4/5. Drawing and/or diagrams identifying areas of development, proposed buildings, screening, proposed landscaping and pedestrian and vehicular circulation: *Shown in pattern book Sheet 8-10.*
6. Development schedule: *Construction is projected to begin once all zoning and site planning is approved by the City.*
7. Relationship of the planned development to current city polices and plans: *The land use is Public/Institutional designation as recommended in the 2035 plan. The subject property is an out parcel within the larger designation area of the Agripark development and is not consistent with the 2035 plan. The subject property would be consistent with the General Commercial designation that is located on an property directly across Gresham Lane.*
8. Proposed deviation from zoning and subdivision ordinance: *The subject property would come into conformance with the PCD zoning of the Agripark.*
9. Site tabulation data for land area, *See Site Data tablet Page 11.*
10. The nature and extent of any overlay zones as described in Section 24 and 34: *No overlays are attached to this zoning request.*

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
OCTOBER 7, 2020  
PROJECT PLANNER: MARINA RUSH**

- 4.e. Zoning application [2020-416] for approximately 12.8 acres located along Veterans Parkway to be rezoned from CH to PRD (Sullivan’s Retreat PRD), Cornerstone Development applicant.**

The subject property is located along the east side of Veterans Parkway, just north of Franklin Road and is identified as:

- Tax Map 93, Parcel 27.02 (15.48 acres)

The applicant, Cornerstone Development, is requesting to rezone approximately 12.8 acres of subject the property from Commercial Highway (CH) to Planned Residential District (Sullivan’s Retreat PRD) to allow for the development of 89 townhomes, a density of 6.96 dwelling units/acre. The remaining portions, approximately 2.7 acres, along the west property line would remain zoned CH and subsequently subdivided into a 2.58-acre lot and 0.14 acres that will be combined with a northern parcel to create an additional 1.08-acre lot.

According to the applicant, the request for rezoning to create Sullivan’s Retreat is because the project site has limited visibility along Veterans Parkway for commercial development.

**Adjacent Land Use and Zoning**

The surrounding area consists of a mixture of zoning types and uses. Overall Creek borders the subject property along its east side. The land further to the east is in the unincorporated portion of Rutherford County and is zoned Medium-Density Residential (RM) and developed with single-family residential lots. The land to the north is zoned Commercial Fringe (CF) in the City and has site plan approval for a retail center and self-service storage facility. The land to the west is zoned CH and is developed with a dental office and veterinary clinic. West of Veterans Parkway are single family residences on large lots in the County. The land to the south is zoned CH and developed with the Kroger grocery store.

**Sullivan’s Retreat PRD:**

The development will consist of 89 single-family attached townhome units at a density of 6.96 dwelling units per acre. All unites will be sold under a horizontal property regime (HPR). The proposed homes will be a minimum of 1,350 square feet in size, with minimum of 3-bedrooms each and one-car front-entry garages. The building exterior materials will be masonry and the garage doors will be decorative

as depicted in the PRD program book. Details and examples of the architectural character of the buildings are listed on Pages 14-18. The following is a colored rendering of the proposed townhomes:



The main entrance to the development is proposed via a new public cul-de-sac street off of Veterans Parkway, which will include three travel lanes at the intersection of Veterans Parkway. There will be a private access drive behind the existing commercial developments along Veterans Parkway to allow for a secondary access to Veterans Parkway via the existing signalized intersection in front of Kroger. Within the development, the roads and parking areas will be private and include sidewalks and trees. The amenities will include a playground, dog park, walking trails with benches, a pavilion, and play lawn. The homeowners’ association will maintain the common areas.

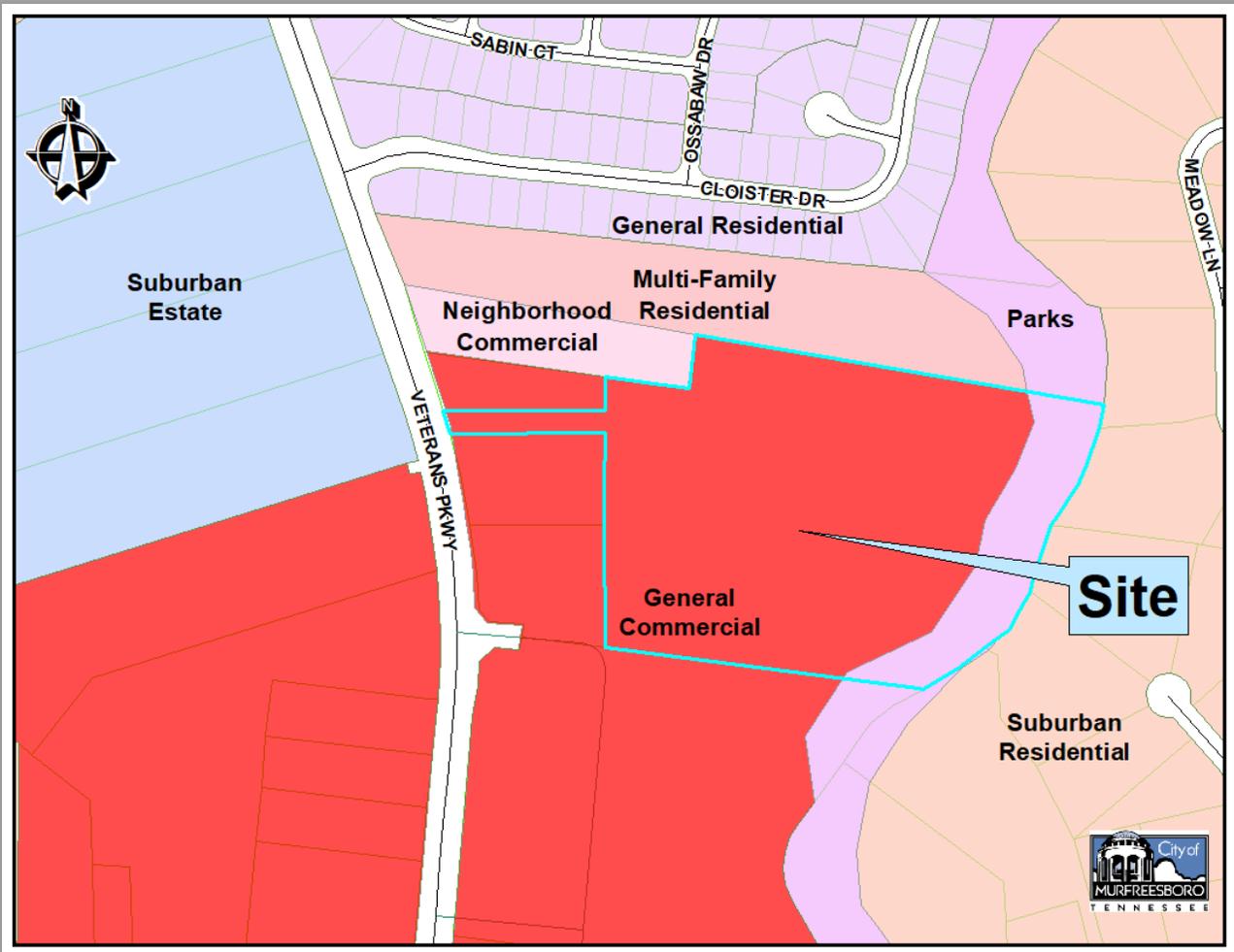
There is an exception requested to the front yard setback as compared to the RS-A, Type 2 zoning district from 35 feet to 25 feet for the interior units, as 25 feet is adequate distance to park a vehicle in the driveway. The proposed Sullivan’s Retreat PRD program book is attached to this report for reference of additional project details.

**Future Land Use Map:**

The Future Land Use Map (FLUM) of the *Murfreesboro 2035 Comprehensive Plan* indicates that “Auto-Urban (General) Commercial” is the most appropriate land use character for the project area, as shown on the map on the following page. The general characteristics of the Auto-Urban (General) Commercial land use character include larger, taller commercial buildings, higher traffic volumes, and necessity for large parking lots.

The rezoning request is not consistent with the recommendations of the FLUM for the subject property. It is more consistent with the “Auto-Urban (General) Residential” land use character. The Planning Commission will need to determine

if this is an appropriate instance to deviate from the FLUM. If the rezoning is adopted, staff recommends the FLUM be amended to reflect an Auto-Urban (General) Residential land use character for this property.



**Staff Comments:**

The subject property is contiguous to commercial development to the south (a grocery store) and west (a dental office and veterinary clinic) and future commercial development to the north (a retail center and self-service storage facility). The proposed single-family attached use is inconsistent and incongruous with the existing and proposed commercial uses in the immediate vicinity. In addition, the proposed rezoning and use are inconsistent with the recommendations of the Murfreesboro 2035 Comprehensive Plan’s future land use map for this property, which recommends an “Auto-Urban (General) Commercial” land use character. Staff agrees with the recommendations of the 2035 Comprehensive Plan regarding the subject property and that commercial or office uses are the most appropriate

future land uses for it. Staff is not supportive of deviating from the future land use map in this instance.

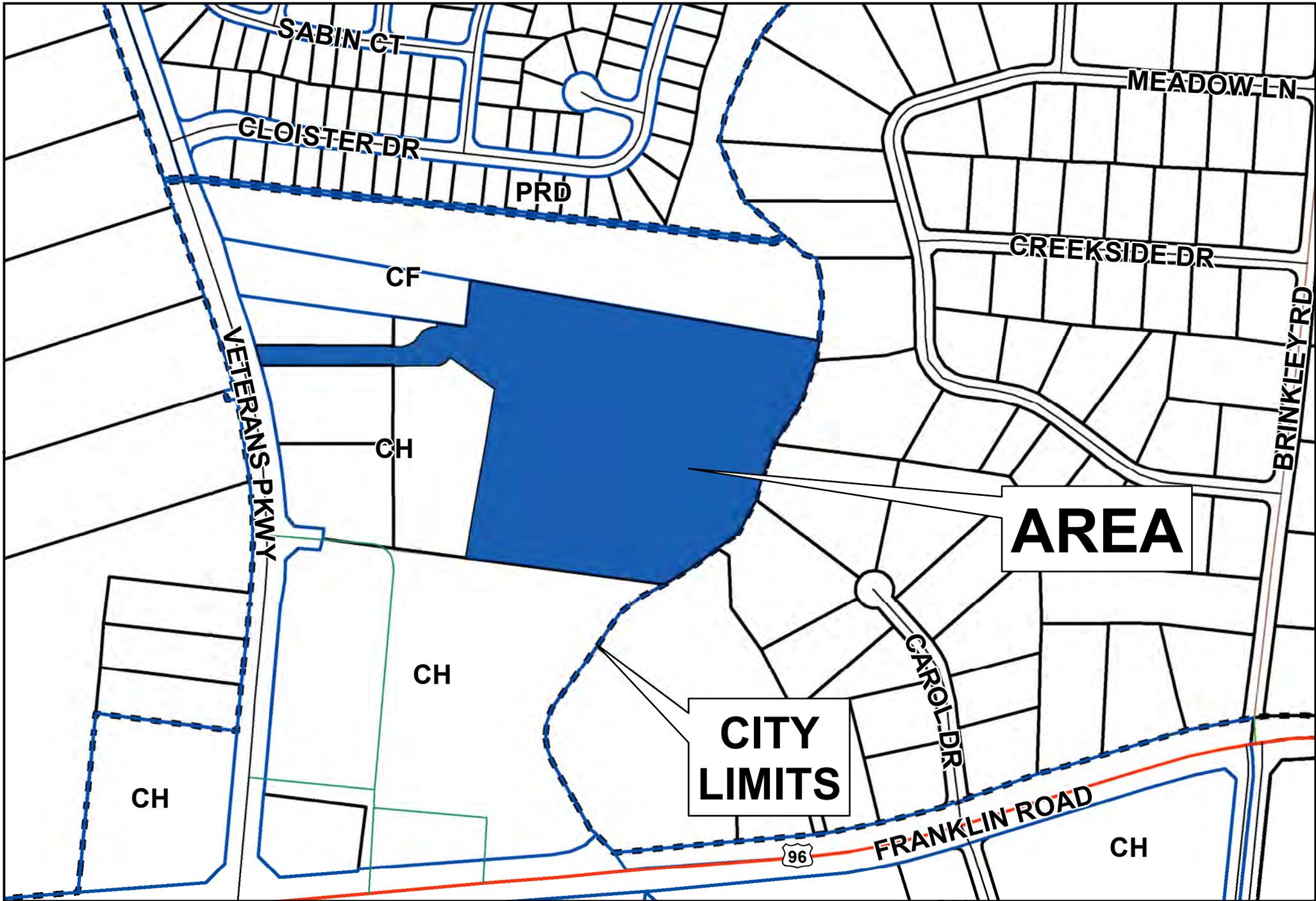
In addition, according to the Water Resources Department (MWRD), the area in the vicinity of the subject property needs to be assessed as to whether it meets the goal of 3.4 single-family unit equivalents per acre and whether the basin currently has greater than 3.6% multi-family uses and 11% medium-density uses (townhomes). MWRD is not supportive of any increases in density until this assessment can be made due to potential limitations regarding sanitary sewer infrastructure in this area and it will not be supportive of any rezonings that will increase density if it is determined that the stated goals are already being exceeded.

Finally, the site is within the Overall Creek Elementary School zone, a school zone which has seen rapid growth over the last several years. According to Murfreesboro City Schools, the Overall Creek, Scales, and Salem Elementary Schools are all at or near capacity.

Contrary to the proposed rezoning request, Staff is supportive of the site developing with a commercial use under the existing CH zoning in order to limit impacts to the aforementioned City services and to minimize potentially incompatible land uses. Staff requests that the Planning Commission take all of the above factors into consideration when determining whether to approve this application.

**Action Needed:**

The applicant will be available at the Planning Commission hearing to discuss the proposed rezoning request. The Planning Commission will need to conduct a public hearing on this matter and then make a recommendation to the City Council.



**Rezoning Request Along Veterans Parkway  
CH to PRD (Sullivan's Retreat PRD)**



Planning Department  
 City of Murfreesboro  
 111 West Vine Street  
 Murfreesboro, TN 37130  
[murfreesborotn.gov/planning](http://murfreesborotn.gov/planning)



**CITY  
LIMITS**

**AREA**



**Rezoning Request Along Veterans Parkway  
CH to PRD (Sullivan's Retreat PRD)**



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, TN 37130  
[murfreesborotn.gov/planning](http://murfreesborotn.gov/planning)



# SULLIVAN'S RETREAT

A REQUEST FOR REZONING TO A PLANNED RESIDENTIAL DISTRICT (PRD)  
Murfreesboro, Tennessee

**Initial Submittal**

August 13, 2020

**Resubmittal**

September 11, 2020 for the September 16, 2020  
Planning Commission Workshop Meeting

**Resubmittal**

September 29, 2020 for the October 7, 2020  
Planning Commission Public Hearing

**SEC, Inc.**

SEC Project #20076

# SEC, Inc.

Company Name: SEC, Inc.  
Profession: Planning.Engineering.Landscape Architecture  
Attn: Rob Molchan / Matt Taylor  
Phone: (615) 890-7901  
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com  
Web: www.sec-civil.com

*850 Middle Tennessee Blvd.  
Murfreesboro, Tennessee 37129*

Company Name: Cornerstone Development, LLC  
Profession: Developer  
Attn: Joey Minge  
Phone: (615) 642-2341  
Email: jminge@cornerstonedevelopmentllc.com

*216 Noah Drive, Suite 100  
Franklin, Tennessee 37064*

Company Name: Parks Group  
Profession: Real Estate Agent  
Attn: John Harney  
Phone: (615) 542-0715  
Email: jharney@theparksgroupcommercial.com  
Web: www.parks-group.com

*1535 W. Northfield Boulevard, Suite 7  
Murfreesboro, Tennessee 37129*

TABLE OF CONTENTS ..... 03

PROJECT SYNOPSIS..... 04

MAJOR THOROUGHFARE PLAN ..... 05

SUBDIVISION MAP..... 06

ZONING MAP ..... 07

UTILITY MAP ..... 08

HYDROLOGY AND TOPOGRAPHY ..... 09

ON-SITE PHOTOS ..... 10

OFF-SITE & ADDITIONAL PHOTOS ..... 11

CONCEPTUAL SITE AND LANDSCAPE PLAN ..... 12

DEVELOPMENT STANDARDS..... 13

ARCHITECTURAL CHARACTERISTICS..... 14-16

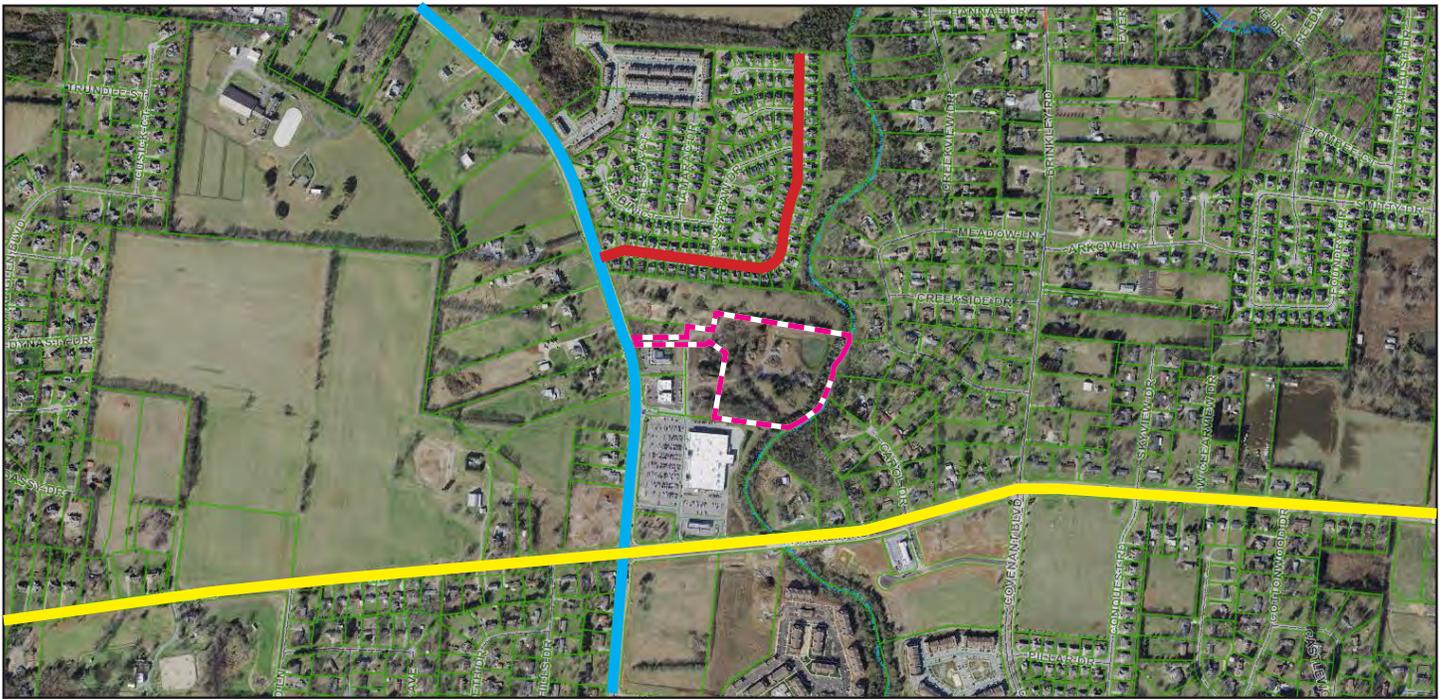
INGRESS AND EGRESS ..... 17

AMENITIES ..... 18-19

PLANT MATERIAL SAMPLES..... 20

LANDSCAPE CHARACTERISTICS..... 21

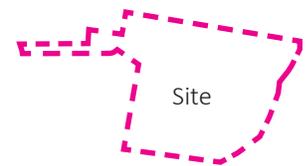
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 without the expressed written consent of Site Engineering Consultants, Inc.



AERIAL PHOTOGRAPH

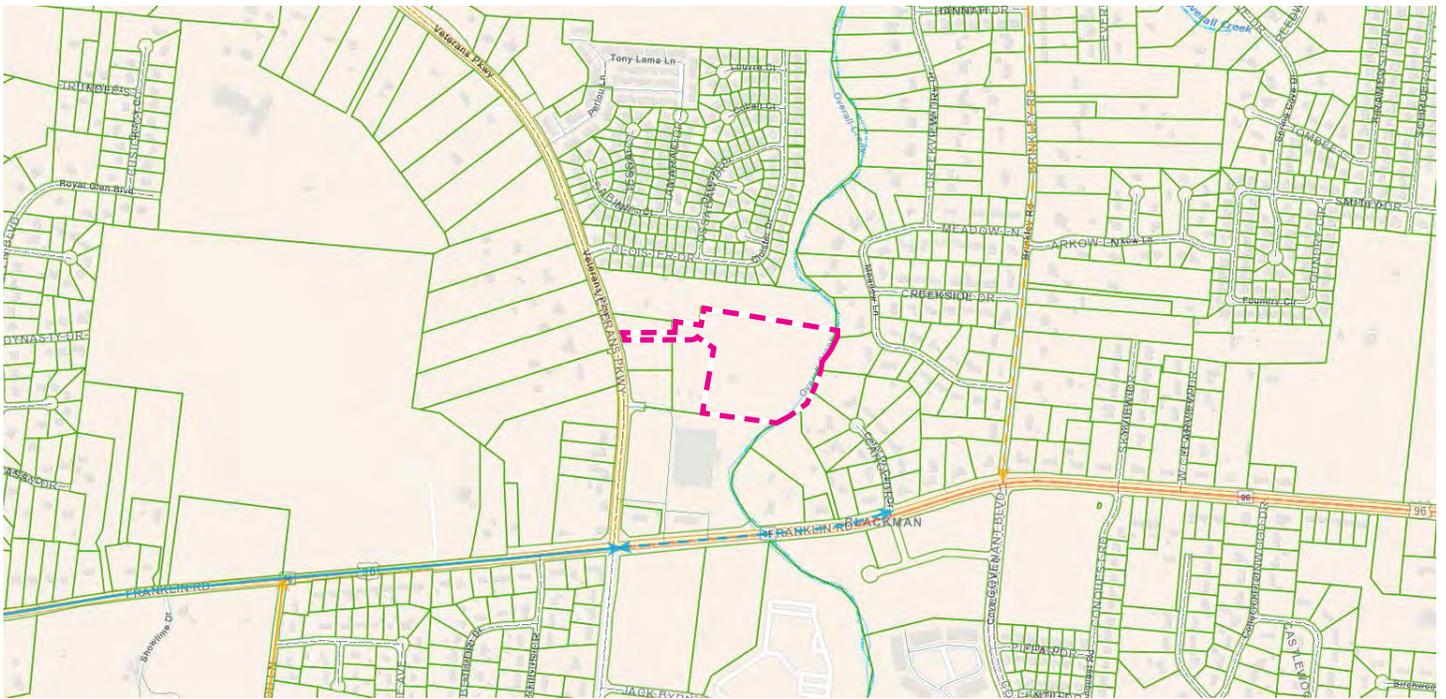
Not To Scale 

-  Veterans Parkway
-  Franklin Road (HWY 96)
-  Cloister Drive



Cornerstone Development, LLC respectfully requests rezoning of a portion of the Wright Property on Veterans Parkway from Commercial Highway (CH) to Planned Residential District (PRD) to create Sullivan’s Retreat. The property is located along the eastern side of Veterans Parkway, north of Franklin Road (HWY 96). The site is identified as Parcel 27.02 of Tax Map 93 (15.48 acres). 12.78 acres of Parcel 27.02 will be rezoned to a PRD for this development. The two remaining portions of Parcel 27.02 (2.70 acres) will remain zoned CH. The northern remaining portion of Parcel 27.02 (0.14 acres) will be combined with Parcel 27.04 (0.98 acres) to create a new combined Parcel 27.04 (1.08 acres). The southern remaining portion of Parcel 27.02 (2.58 acres) will remain CH zoning.

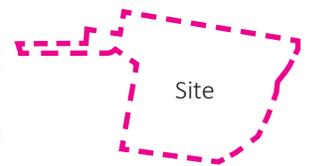
The request for rezoning to PRD is to create Sullivan’s Retreat. The development will consist of 89 single-family attached townhomes on 12.78 acres, for a density of 6.96 dwelling units per acre. All townhome units will be created in a horizontal property regime. The proposed units will be at least 1,350 sf. All units will have a minimum of 3 bedrooms, and a minimum one car front entry garage with decorative garage doors. The home elevations will be constructed of masonry materials to add quality and character to the community. Each townhome building will have foundation landscaping and sodded front yards. Along the streets, street lights will add character and continuity to the neighborhood. The entrance will incorporate signage at the new public roadway The H.O.A. will maintain the common areas and exteriors.



**MAJOR THOROUGHFARE PLAN**

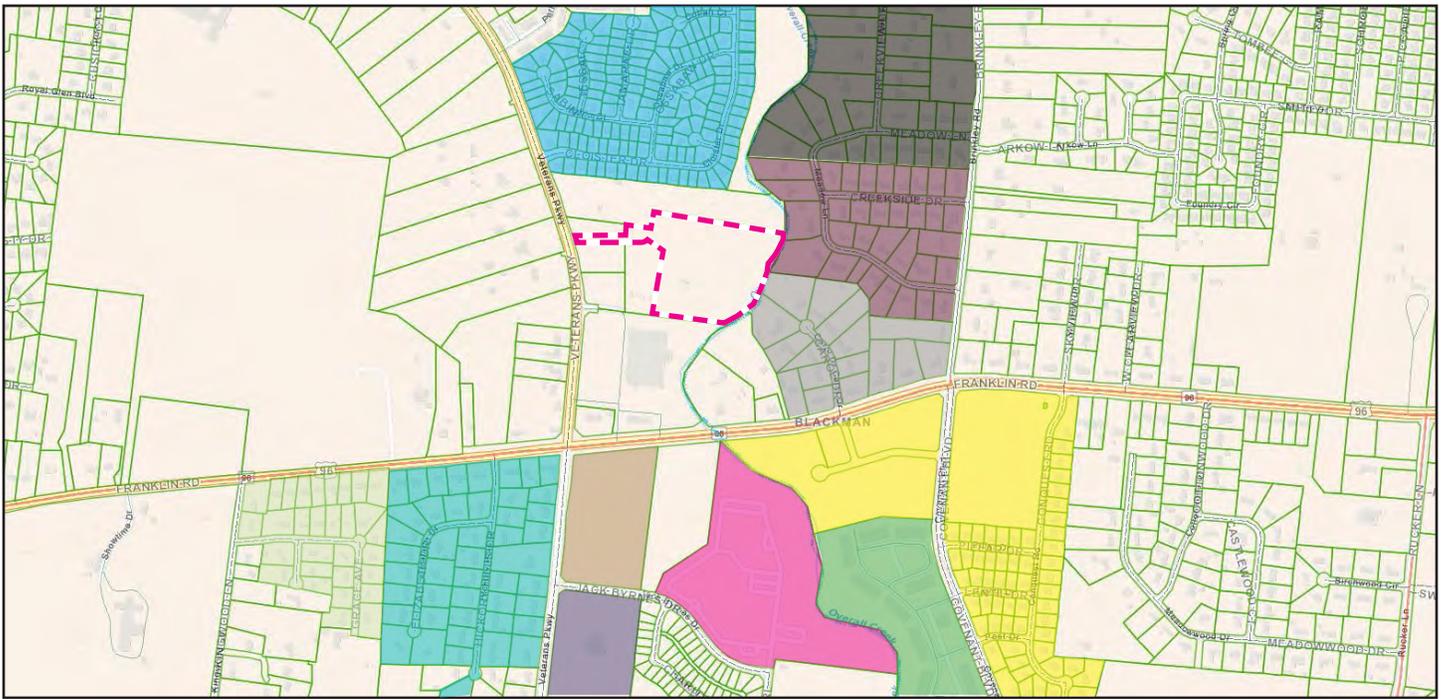
Not To Scale 

- |  |  |  |
|--|--|--|
|  2 LANE BRIDGE    |  6 LANE ROADWAY |  3 LANE ROADWAY |
|  3 LANE ROADWAY   |  7 LANE ROADWAY |  4 LANE ROADWAY |
|  4 LANE ROADWAY   |  8 LANE ROADWAY |  5 LANE ROADWAY |
|  5 LANE ROADWAY |  |  |



The property has/will have access to the existing public rights-of-way of Veterans Parkway through two entrances. Veterans Parkway is not on the City of Murfreesboro’s Major Thoroughfare Plan and is up to date as a 5-lane roadway.

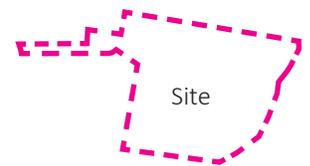
Within the development the applicant is proposing a single 50’ public ROW ending in a cul-de-sac at the residential portion of the development which will serve as the primary entrance. The secondary means of access to the property will be via the existing private drive behind the commercial lots fronting onto Veterans Parkway. This connection allows residents and visitors access back to an existing signaled intersection to provide safer left-hand turns onto Veterans Parkway. All other internal drives within the residential development will be private roadways with turn down sidewalks.



## SUBDIVISION MAP

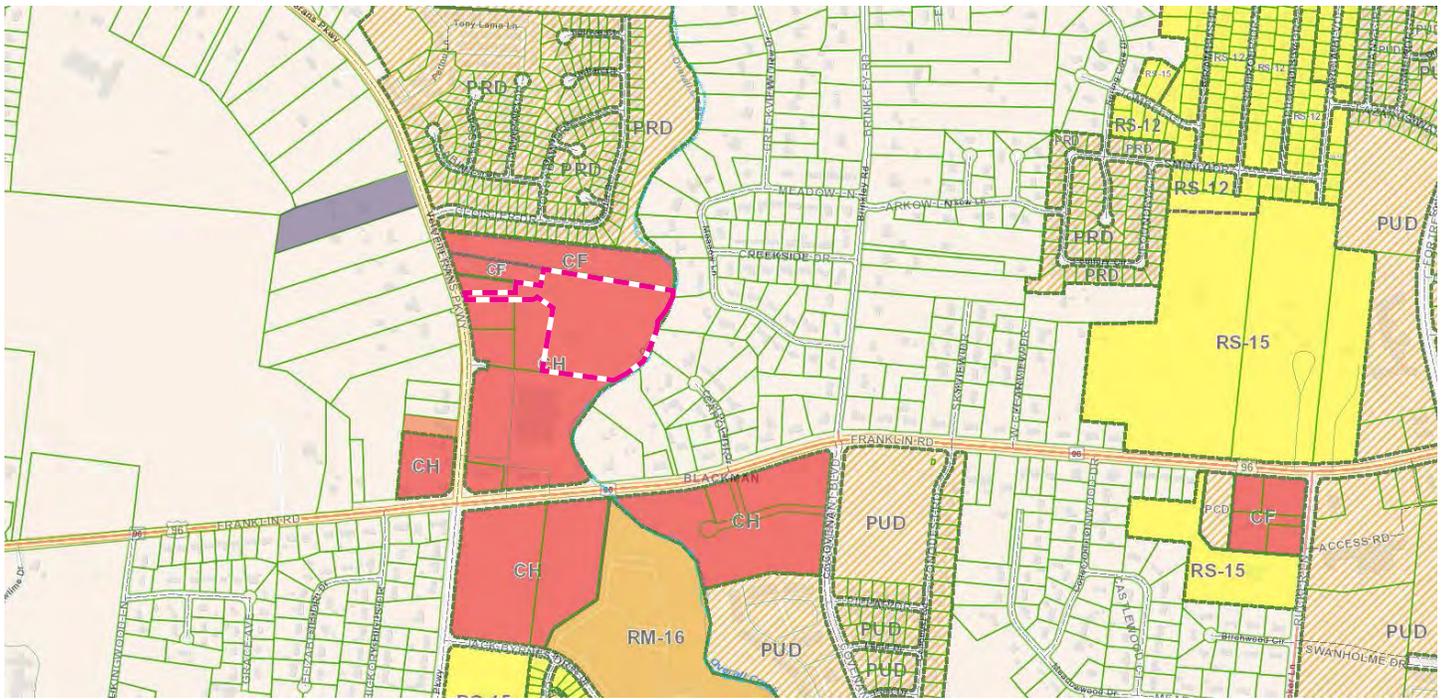
Not To Scale 

	The Cloister		Jack Byrnes Drive		Hickory Hills
	Overall Creek Apartments		Franklin Road Estates		Franklin Road Estates
	Kingdom Ridge		Meadow Lane		Fellowship Bible Church of Rutherford County
	The Preserve at Kingdom Ridge		K.C. Subdivision		



Sullivan's Retreat is surrounded by a mixture of residential subdivisions, and commercial uses. The Cloister is a residential development consisting of two story single family detached homes that include garages. North of the Cloister is The Villas at Cloister which consists of townhomes without garages that feature substantial vinyl in their facades. The exterior elevations consist of primarily vinyl siding with brick along the front elevation for most units. There is one primary point of ingress/egress to the development from Veterans Parkway. South of the project site, across Franklin Road (HWY 96), are multiple single family detached subdivisions with a mixture of one and two story elevations. East of the development is Meadow Lane and Franklin Road Estates. Meadow Lane and Franklin Road Estates are residential developments consisting of one and two story single family detached homes with side entry garages. All elevations are primarily vinyl siding with brick along the front elevation for most units.

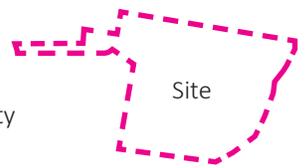
Southwest of the site heading towards the Franklin Road and Veterans Parkway intersection is a small chain of commercial uses. The Creekwood Veterinary Hospital is directly to the west of the property. To the southwest is a small retail center and Dental Care of Veterans Parkway. South of the site is the Veterans Parkway Kroger. All of these properties are connected to the PRD site via a private access drive at the rear of the existing properties.



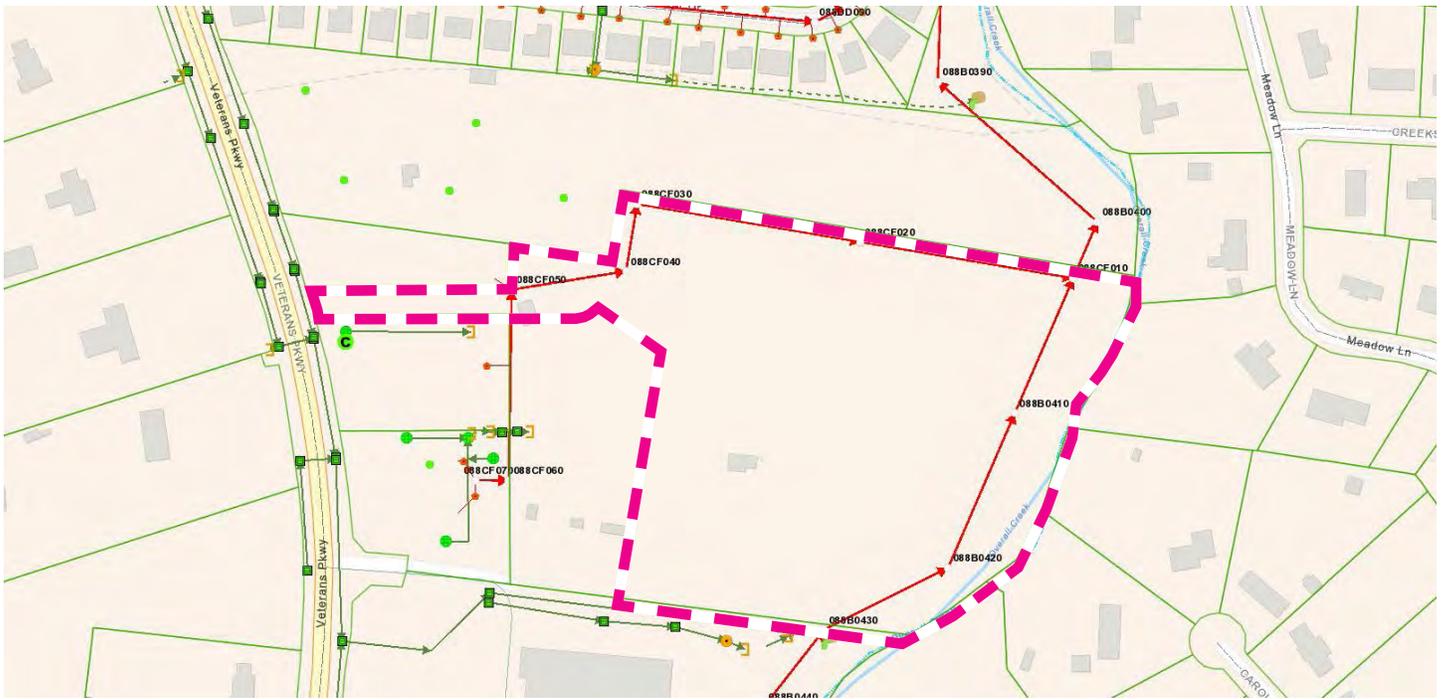
**ZONING MAP**

Not To Scale 

 RS-12 Residential Single-Family (RS-12)	 PRD Planned Residential District (PRD)
 RS-15 Residential Single-Family (RS-15)	 PCD Planned Commercial District (PCD)
 RM-16 Residential Single-Family (RS-12)	 RM Medium Density Residential (RM) Rutherford County
 CH Residential Single-Family (RS-15)	 CS Commercial Services (CS) Rutherford County
 CF Residential Single-Family (RS-15)	 CG Commercial General (CG) Rutherford County
 Planned Unit District (PUD)	



The surrounding area consists of a mixture of zoning types and uses. The land to the east is zoned Residential Medium Density (RM) in Rutherford County. The land to the north of the property is zoned Commercial Frindge (CF) in the City of Murfreesboro. The land to the west is zoned Commercial Fringe (CF) and Commercial Highway (CH) in the City of Murfreesboro. The land to the south of the property is zoned Commercial Highway (CH) in the City of Murfreesboro.



UTILITY MAP

Not To Scale 



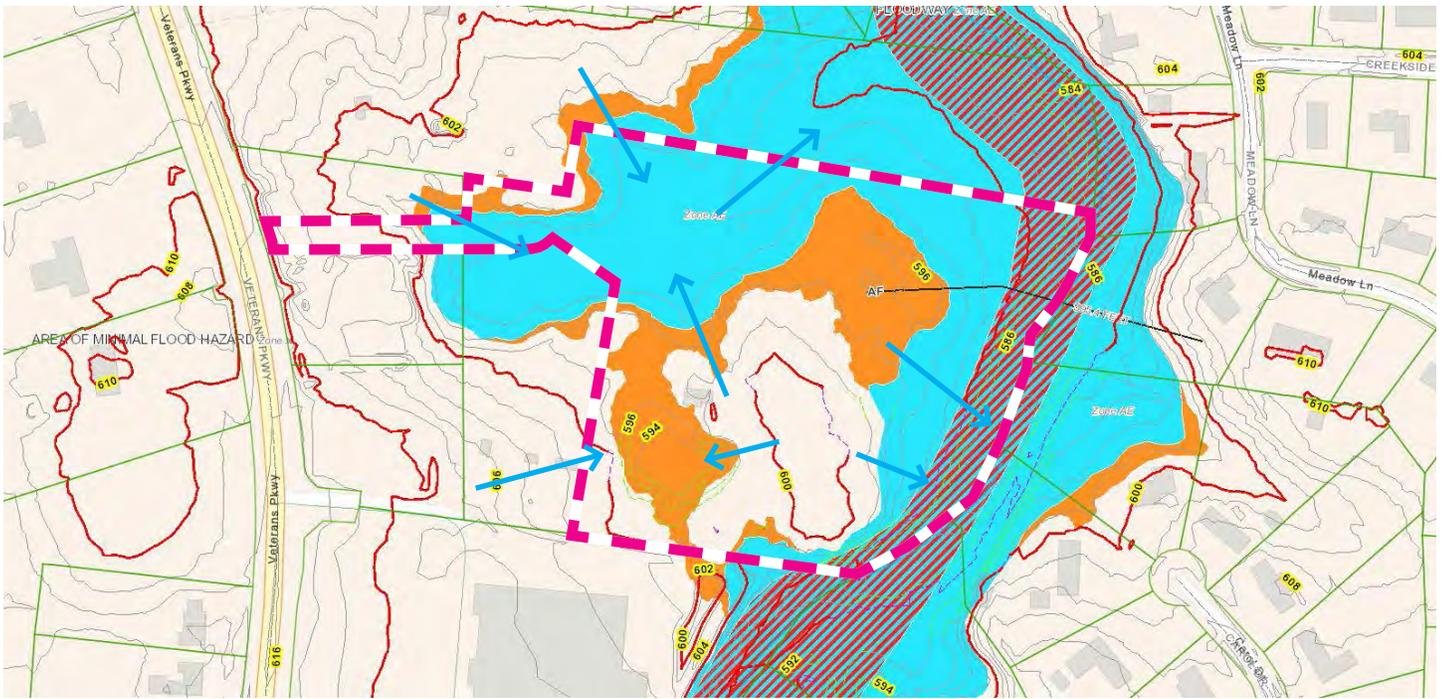
Water service will be provided by the Consolidated Utility District. There is an existing 12” ductile iron water line along Veterans Parkway. The developer will be responsible for extending the waterline into the site for domestic and fire water service.



Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 18” gravity sewer line running the length of the eastern edge of the property as well as an 8” line along the northern part of the site. Construction will extend the sewer service into the site and the developer will be responsible for extending the sewer into this property.



Electric service will be provided by the Middle TN Electric Membership Coop. Service will be extended from Veterans Parkway. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



## HYDROLOGY AND TOPOGRAPHY

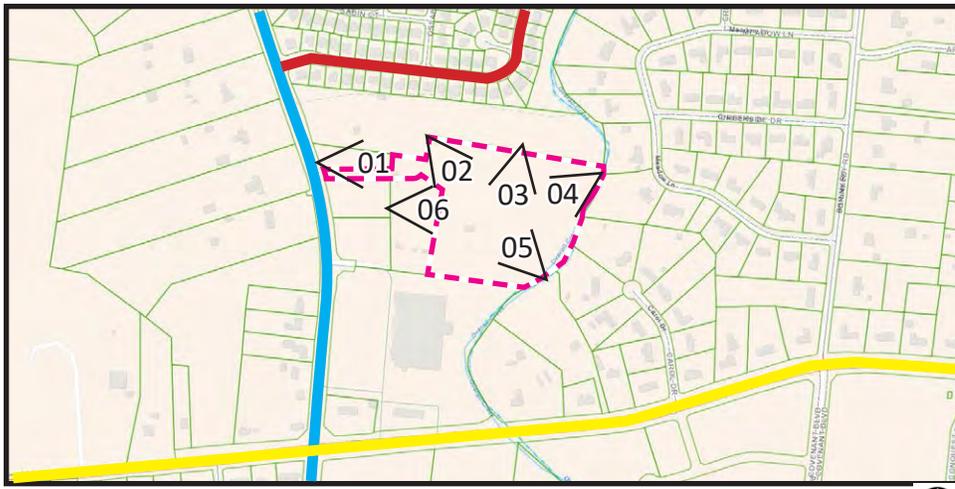
Not To Scale 

-  WATER FLOW DIRECTION
-  INTERMEDIATE CONTOURS
-  INDEX CONTOURS



The topographic map above shows the site's topographic high point generally at the south western and north western corners of the property. From these high point, the property drains towards the north and east. Stormwater that drains to the north, flows towards the Cloister subdivision. Stormwater that drains to the east flows towards Overall Creek.

A portion of this property lies in zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0255H eff. 1/5/2007. The eastern perimeter of this property lies within the Overall Creek floodway.



- Veterans Parkway
- Franklin Road (HWY 96)
- Cloister Drive

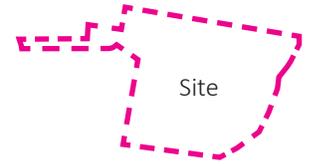


PHOTO DIRECTION MAP

Not To Scale



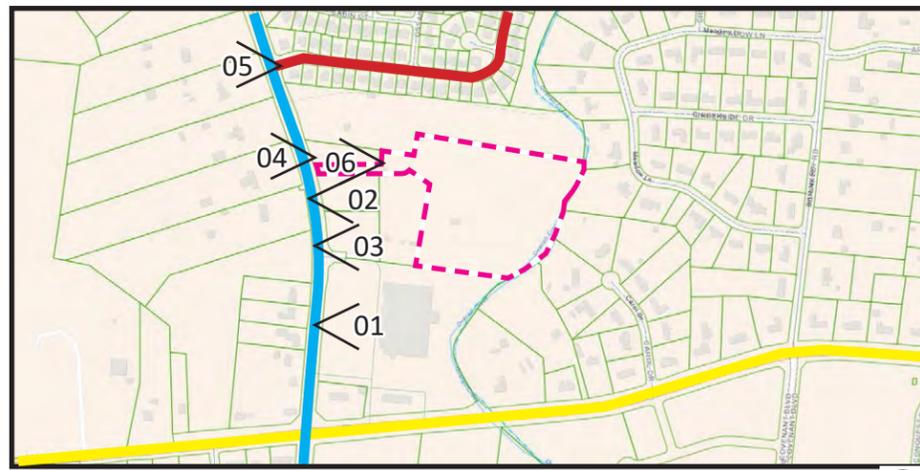


PHOTO DIRECTION MAP

Not To Scale

- █ Veterans Parkway
- █ Franklin Road (HWY 96)
- █ Cloister Drive

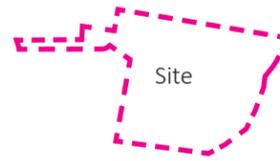
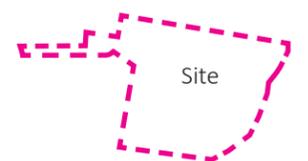


PHOTO DIRECTION MAP

Not To Scale

- █ Veterans Parkway
- █ Franklin Road (HWY 96)
- █ Cloister Drive





**Townhome Unit Mix:**

Total 6-Unit Buildings =	14 Buildings
3 Bedroom Units =	6 Units
Total 5-Unit Buildings =	1 Building
3 Bedroom Units =	5 Units
Total Number of Buildings =	15 Buildings
Total 3 Bedroom Units =	89 Units

**Total Land Area:**

Total Land Area:	±12.78 Acres
Total Number of Units:	89 Units
Yield: 89 Units/12.78 Acres =	±6.96 Units/Acre
Total Open Space:	±7.02 Acres (55%)
Usable Open Space	±5.90 Acres (46%)
Stormwater (Detention)	±1.12 Acres (9%)

**Length of Private Roadway:** ±1,931 Linear Feet  
**Length of Public Roadway:** ±504 Linear Feet

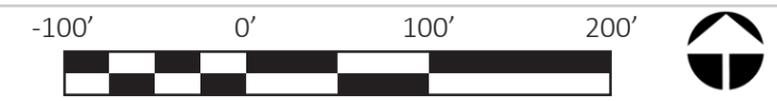
**SEC, Inc.**

- Roadway
- Sidewalks
- Open Space
- Buildings
- Detention
- Existing Trees

**Parking Required:**  
 (89) 3-Bedroom Units x 3.3 = 294 Spaces

**Parking Provided:**  
 Garage Parking Provided = 119 Spaces  
 Driveway Parking Provided = 119 Spaces  
 Guest Parking Provided = 63 Spaces  
 Total Parking Provided = 301 Spaces (+7)

SEC Project #20076 Murfreesboro, Tennessee



### **Development Standards:**

- 89 townhome units with 3 bedrooms
- The units will be a minimum of 1,350 feet of living area
- Each unit will be created by a Horizontal Property Regime
- Entrance off of Veterans Parkway will have new entrance signage constructed on masonry materials and anchored by landscaping
- Landscape Buffers will be constructed along the length of the boundaries of the site adjacent to all commercial land use per the Murfreesboro Zoning Ordinance.
- Builders shall install sod in all front and secondary front yards. Seed and straw will be installed in all side and rear yards.
- There shall be a minimum 3-foot wide landscape bed located along the front and secondary front elevations of all townhomes.
- All mechanical equipment (i.e. HVAC and transformers) to be screened
- All on-site utilities will be underground
- Solid waste will be handled via a trash compactor serviced by a private hauler
- Any solid waste enclosures will be constructed of masonry materials consistent with building architecture and be at least 8 feet tall with opaque gates and enhanced with landscaping
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by a 3rd party management company
- HOA will be managed by independent 3rd party management company
- The common areas will be owned and maintained by an H.O.A.
- All driveways and parking areas will be private and maintained by the H.O.A. Driveways will be a minimum of 25-FT deep and 10-FT wide for one-car garages units and 18-FT wide for two-car garage units.
- Parking for the residential units will comply with the City of Murfreesboro requirements
- All garages are to be used for vehicular parking only and may not be used for household storage.
- The primary drive to the site will be a 50' R.O.W. All other streets shall be private.
- Sidewalks will be provided on both sides of all streets throughout the development to create a pedestrian friendly community.
- Mail service will be provided via a centralized mail kiosk for all postal deliveries
- Street lights will be coordinated with MTEMCC, and will meet MTEMCC's standards.
- On-site lighting will comply with the minimum and maximum city standards to prevent light pollution
- HVAC units will be located at the rear of each residence



Example of  
Light Pole



Example of Mail Kiosk



Example of Entrance Signage

**Architectural Characteristics:**

- Building heights shall not exceed 35 feet in height
- All buildings will be 1 and 2-stories
- All units will have 3 bedrooms
- All the units will have eaves
- All units will have a patio area at the rear of the unit
- Patios will be screened with a 6-foot tall wooden or vinyl privacy fence between units
- All homes will have a mixture of 1 and 2-car front entry garages
- Front entry garages shall be decorative and complement the building architecture
- Townhome buildings will be comprised of alternating unit styles

**Building Materials:**

**Front Elevations:**

All Masonry (Brick, Stone, Cement Board Siding)  
Cement Board Siding in the Dormers/Gables

**Side Elevations:**

All Masonry (Brick, Stone, Cement Board Siding)  
Cement Board Siding in the Dormers/Gables

**Rear Elevations:**

Cement Board Siding

**All Elevations:**

Vinyl Only Permitted in Trim & Soffit Areas



Example of Brick  
(different colors will be allowed)



Example of Fiber Cement Board  
(different colors will be allowed)



Example of Fiber Cement Board and Batten Siding  
(different colors and patterns will be allowed)



Example of Fiber Cement Shakes  
(different colors, cuts, patterns will be allowed)



Example of Stone Veneer  
(different colors, cuts, patterns will be allowed)

**Building Materials:**

Although the appearance will generally be consistent with these elevation and material examples provided in this booklet, slight variations of colors, cuts, and patterns will be allowed and be consistent with the Murfreesboro Design Guidelines.

SETBACKS DIAGRAM



**Minimum Building Setbacks (Internal):**

- Front: 25-feet from back of sidewalk for front entry garage
- Side: 10-feet, 10-feet between buildings, 3-feet between buildings and back of sidewalk/curb along side elevations
- Rear: 10-feet, 20-feet between buildings

SETBACKS DIAGRAM



**Minimum Building Setbacks (External):**

- North: 20-feet
- South: 20-feet
- East: 20-feet
- West: 20-feet



\*The building elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.

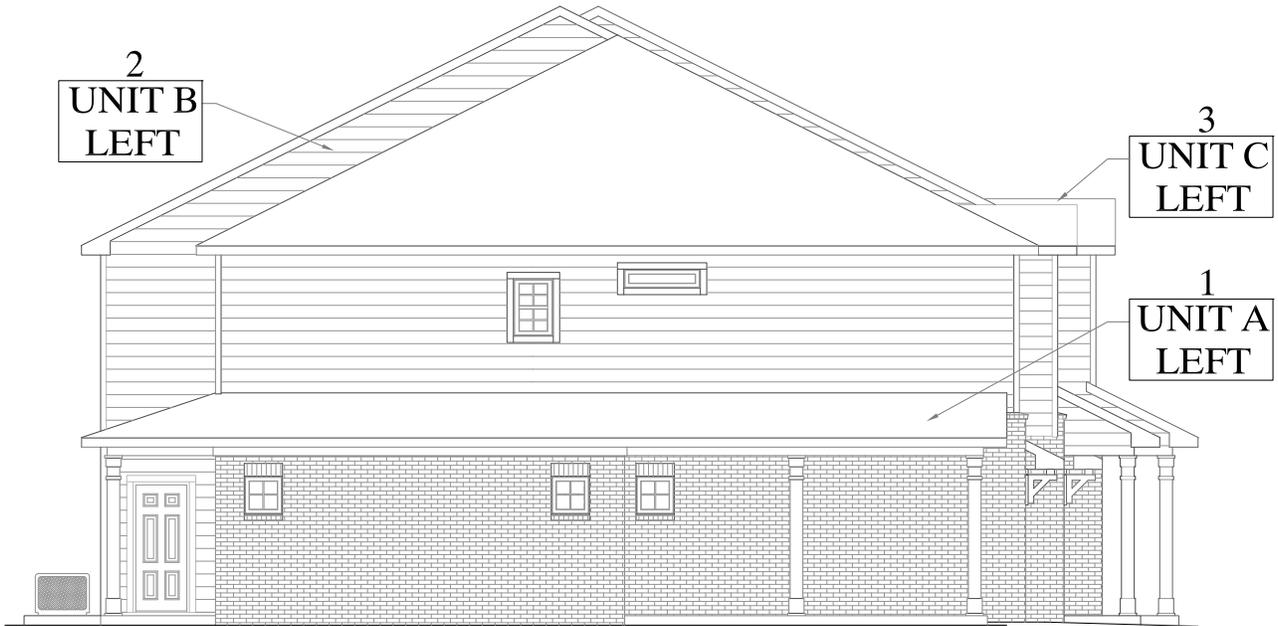


**Front Elevation**

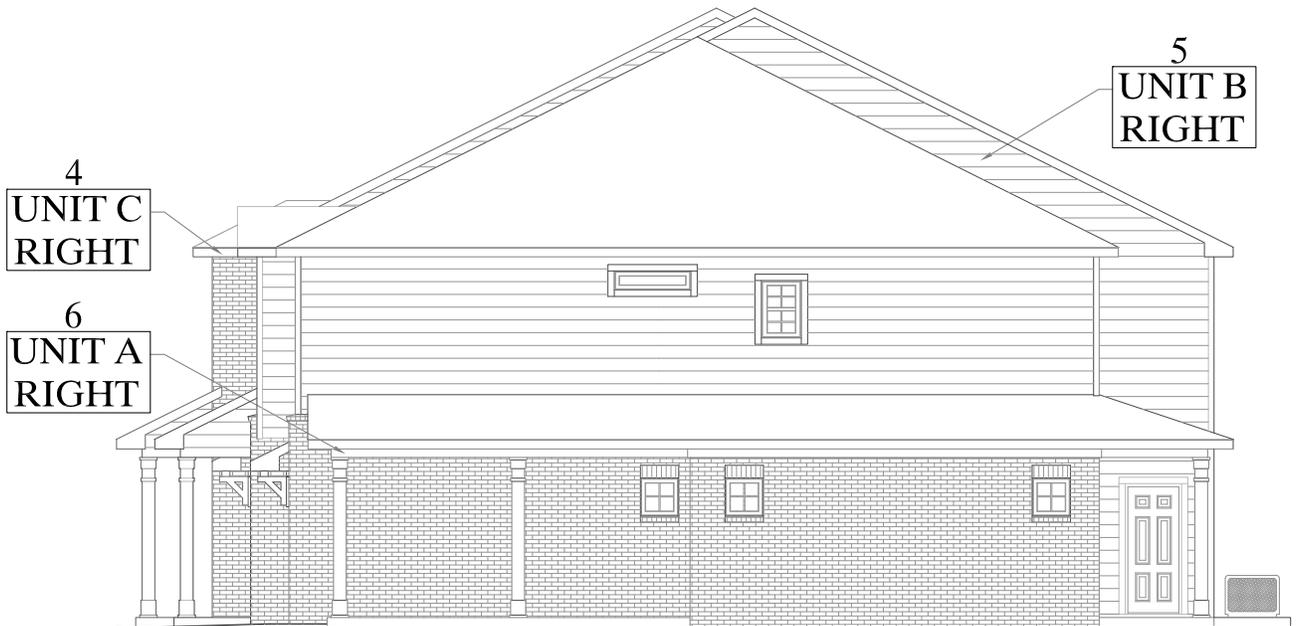


**Rear Elevation**

\*The building elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.

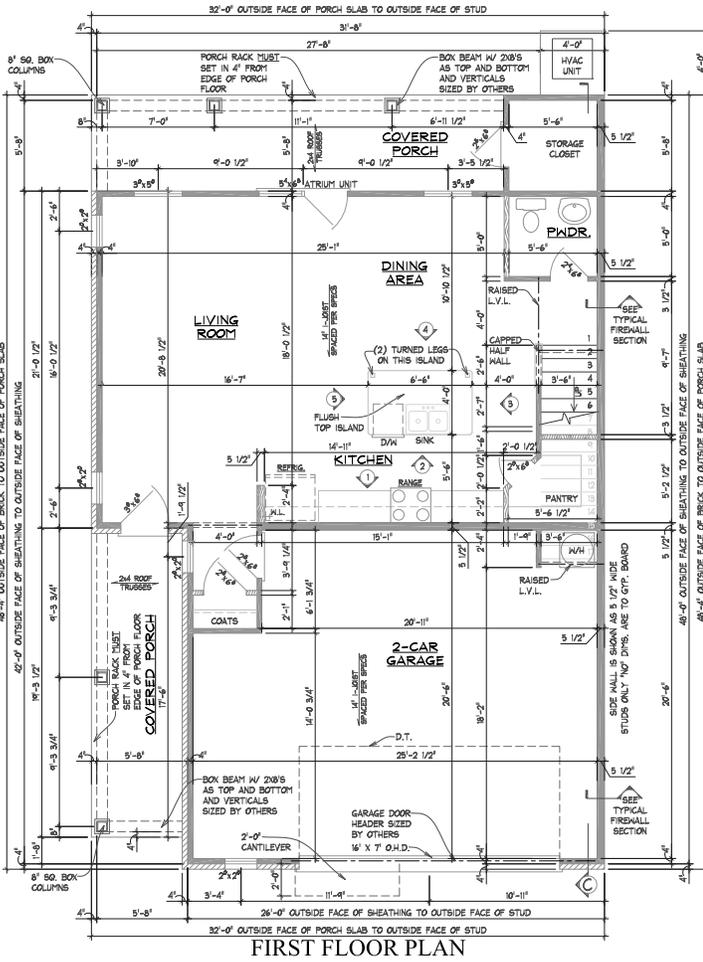


**Left Side Elevation**

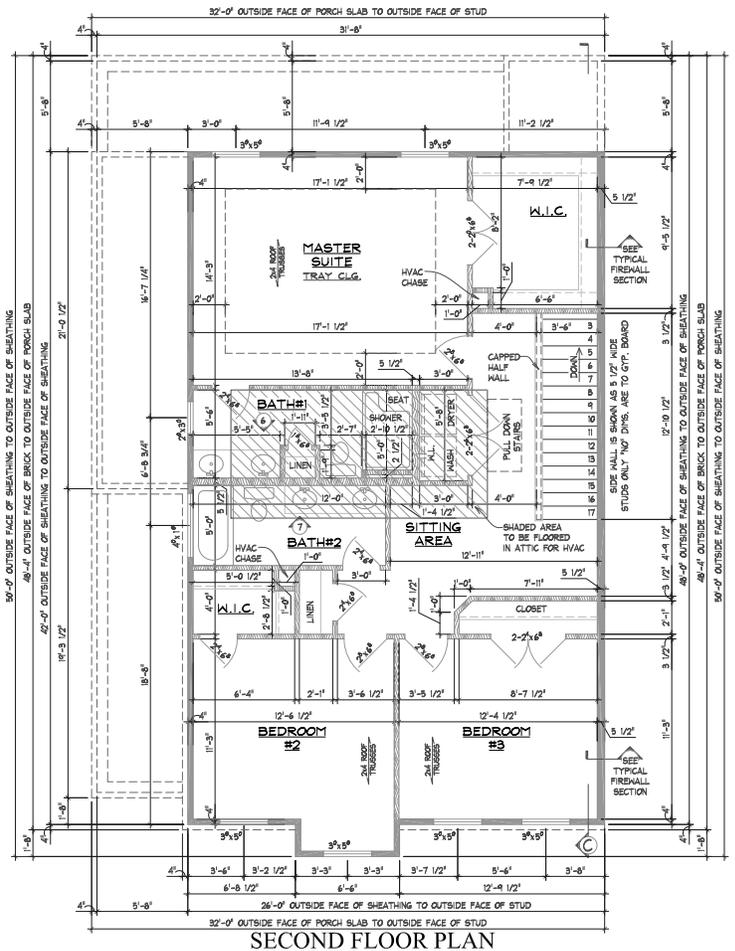


**Right Side Elevation**

\*The building elevations of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.



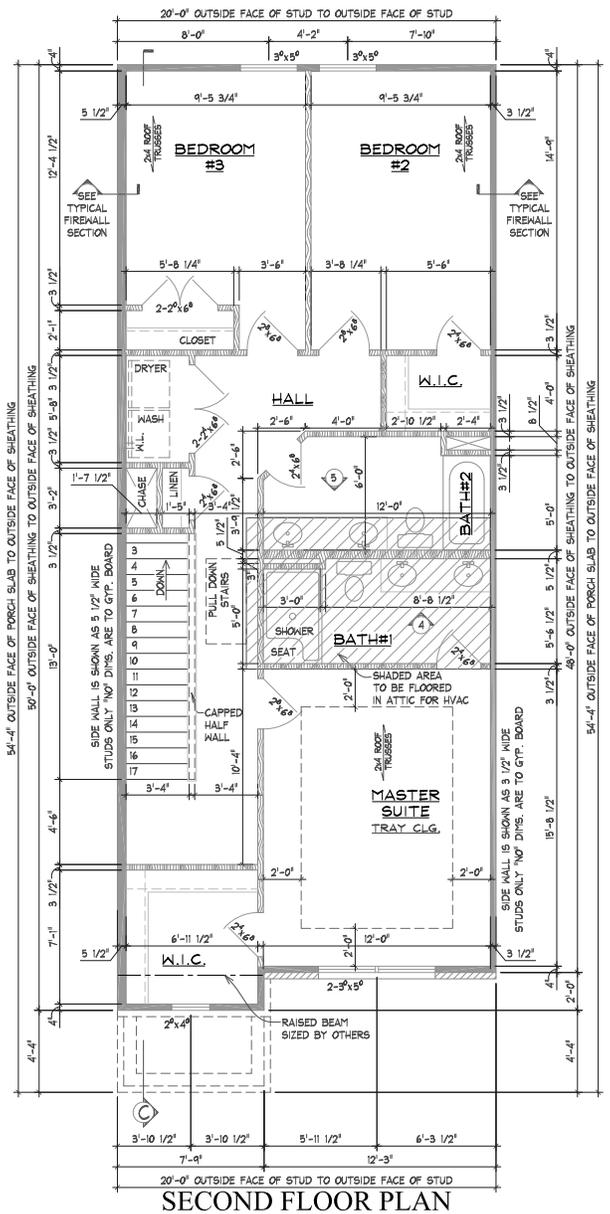
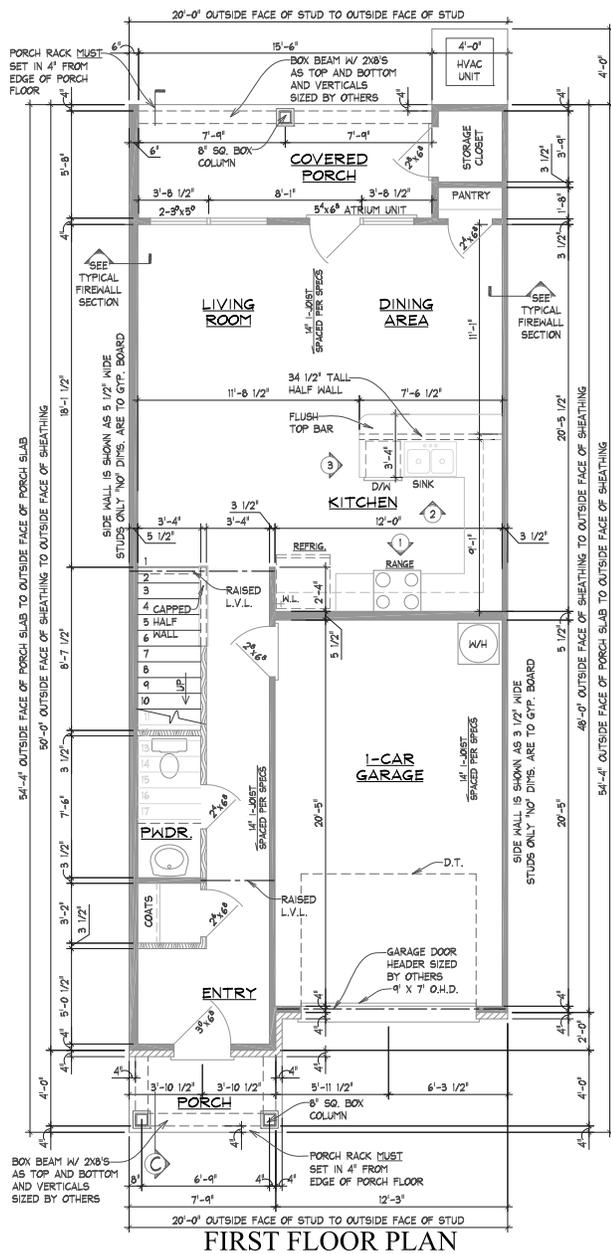
FIRST FLOOR PLAN



SECOND FLOOR PLAN

## Unit A Floor Plans

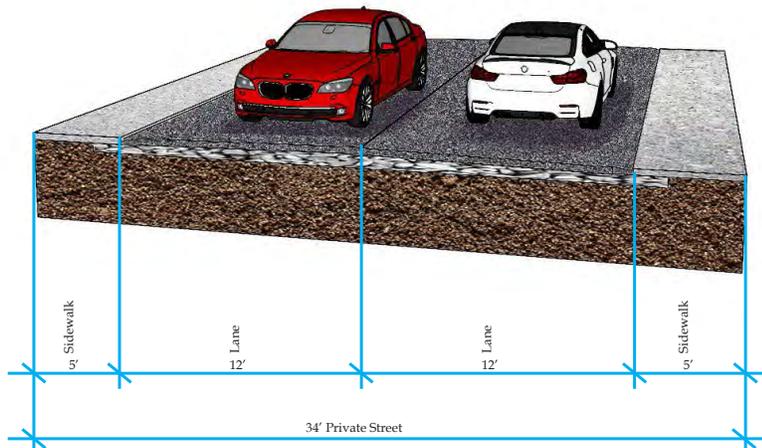
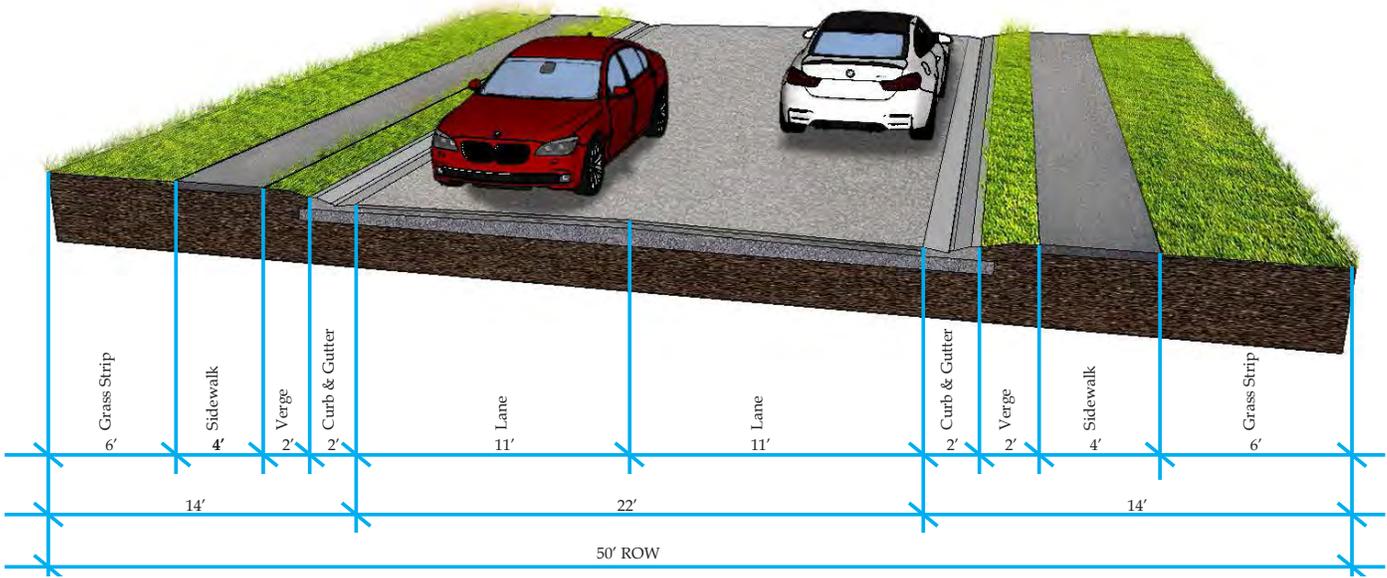
\*The floor plans of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.



## Unit B Floor Plans

\*The floor plans of the homes will vary across the development. The images above are meant to convey the general appearance and functionality of the homes.





Pursuant to the City of Murfreesboro’s Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. Veterans Parkway is a major thoroughfare where the majority of vehicular trips generated by this development will impact. It is currently built as a 5-lane cross-section with curb and gutter along with sidewalks on both sides of the roadway.

As stated above, the primary means of ingress/egress from this site will be onto Veterans Parkway via a proposed cul-de-sac street. The proposed cul-de-sac street is designed to incorporate three travel lanes at the intersection with Veterans Parkway. There will be a dedicated left and right off the new public street, as well as a single lane for traffic turning onto the proposed cul-de-sac street. The illustration on the right shows the private access drive running behind the existing developments fronting onto Veterans Parkway. This private drive allows the proposed residential development and its neighboring properties an additional means of access to Veterans Parkway via the existing signalized intersection in front of Kroger.

All streets within the development will be private streets with a typical 22 pavement foot cross-section except for the main access drive, which is designed to be a local city street with a 50’ cross section. The public street will be built in accordance with the Murfreesboro Street Standards.



LOCATION MAP - AMENITIES

Not To Scale 

- |                         |                    |
|-------------------------|--------------------|
| A Playground            | E Outdoor Seating  |
| B Paved Walking Trail   | F Pavilion         |
| C Unpaved Walking Trail | G Dog Park         |
| D Open Play Lawn        | H Entrance Signage |

With this request, Sullivan’s Retreat will be dedicating approximately 7 acres (over 50% of the site) to open space. The open space areas will be comprised of usable open space, detention areas, and the area around Overall Creek. Usable open space areas around the development will offer such amenities as; a playground area, paved and unpaved walking trails, pavilions, open play lawns, and outdoor seating. Sidewalks will line both sides of all streets to provide pedestrian circulation through the neighborhood for residents as well. The entrance area at the end of the proposed cul-de-sac will incorporate masonry signage and- will be anchored with landscaping.



Example of Open Playground



Example of Paved Walking Trail



Example of Unpaved Walking Trail



Example of Open Play Lawn



Example of Outdoor Seating



Example of Pavilion



Example of Dog Park



Example of Entrance Signage



 Type 'A' Buffer



not to scale

**LANDSCAPE MATERIALS SAMPLES: DECIDUOUS TREES**



**(A)**



**(B)**

- (A)** *Ulmus parvifolia* 'Emer II' / 'Emer II' Alle Elm
- (B)** *Zelkova serrata* 'Green Vase' / Sawleaf Zelkova
- (C)** *Buxus* x 'Green Mountain' / Boxwood
- (D)** *Prunus laurocerasus* 'Otto Luyken' / Luykens Laurel
- (E)** *Lagerstroemia indica* 'GAMAD VI' / Berry Dazzle Crape Myrtle
- (F)** *Miscanthus sinensis* 'Adagio' / Adagio Eulalia Grass
- (G)** *Liriope spicata* 'Silver Dragon' / Creeping Lily Turf
- (H)** *Setcreasea pallida* 'Purple Heart' / Purple Heart Setcreasea
- (I)** *Iberis sempervirens* 'Little Gem' / Little Gem Candytuft
- (J)** *Liriope muscari* 'Variegata' / Variegated Lily Turf
- (K)** *Magnolia grandiflora* 'D.D. Blanchard' TM / Southern Magnolia
- (L)** *Thuja standishii* x *plicata* 'Green Giant' / Green Giant Arborvitae
- (M)** *Cryptomeria Japonica* 'Radi-cans' / Japanese Cedar
- (N)** *Viburnum x pragense* / Prague Viburnum
- (O)** *Prunus laurocerasus* 'Schipkaensis' / Schipka Laurel

**LANDSCAPE MATERIAL SAMPLES: EVERGREEN/DECIDUOUS SHRUBS AND GRASSES**



**(C)**



**(D)**



**(E)**



**(F)**

**LANDSCAPE MATERIAL SAMPLES: GROUNDCOVER**



**(G)**



**(H)**



**(I)**



**(J)**

## LANDSCAPE BUFFER: EVERGREEN TREES



(K)



(L)



(M)

## LANDSCAPE BUFFER: EVERGREEN TREES AND SHRUBS



(N)



(O)

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

### Landscaping Characteristics:

- All perimeters abutting the commercial lots of the property will have a 10 foot wide Type 'A' Landscape Buffer planted consisting of alternating evergreen, canopy, and understory trees to provide screening for the adjacent properties. Evergreen trees will be a minimum of 6 feet tall at the time of planting. The canopy trees will be a minimum 3" caliper at the time of planting. The understory trees will be a minimum 2" caliper at the time of planting.
- All above ground utilities and mechanical equipment screened with landscaping and/or fences.
- Solid waste enclosure screened with a masonry wall and enhanced with landscaping.
- The front and side elevations of buildings facing the private roadways will have at least 3 foot wide landscape strip.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

**Response:** An exhibit is given on Pages 4-9 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

**Response:** Exhibits are shown on Page 9 that shows the existing contours and drainage patterns along with an aerial photograph of the area. A portion of the property is subject to floodplains or floodways, and the site ultimately drains to Overall Creek.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

**Response:** Exhibits and photographs on Page 4 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 7 gives the zoning of those same properties.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

**Response:** The attached 11x17 page lists standards and exhibits showing the concept plan which shows each of these items.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

**Response:** The attached 11x17 page lists standards and exhibits showing the concept plan which shows each of these items.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

TOTAL SITE AREA	553,992 s.f.
TOTAL MAXIMUM FLOOR AREA	143,096 s.f.
TOTAL LOT AREA	553,992 s.f.
TOTAL BUILDING COVERAGE	91,053 s.f.
TOTAL DRIVE/ PARKING AREA	105,152 s.f.
TOTAL RIGHT-OF-WAY	29,100 s.f.
TOTAL LIVABLE SPACE	448,840 s.f.
TOTAL OPEN SPACE	305,909 s.f.
<b>FLOOR AREA RATIO (F.A.R.)</b>	<b>0.26</b>
<b>LIVABILITY SPACE RATIO (L.S.R.)</b>	<b>0.65</b>
<b>OPEN SPACE RATIO (O.S.R.)</b>	<b>0.84</b>

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

**Response:** The property is currently zoned CH. The surrounding area has a mixture of residential properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

**Response:** The project is anticipated to be developed in one phase.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

**Response:** This requirement has been addressed on Page 13.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

**Response:** The applicant is requesting the following exceptions with this PRD.

SETBACKS	RS-A2	PRD (External)	Difference		RS-A2	PRD (Internal)	DIFFERENCE
Front Setback	35.0'	N/A	N/A		35.0'	25.0'	-10.0'
Side Setback	5.0'	20.0'	15.0'		5.0'	5.0'	0.0'
Rear Setback	20.0'	20.0'	0.0'		20.0'	20.0'	0.0'
Minimum Lot Size	2,000 SF.	N/A	N/A		2,000 SF.	N/A	N/A
Minimum Lot/Product Width	20.0'	N/A	N/A		20.0'	20.0'/26.0'	0.0'/6.0'

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

**Response:** This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). A portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0255H Eff. Date 01/05/2007.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

**Response:** Pages 5 & 17 discusses the Major Thoroughfare Plan. Veterans Parkway is a 5-lane roadway.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

**Response:** The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Cornerstone Development, LLC contact info for both is provided on cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

**Response:** Page 14-15 show the architectural character of the proposed buildings and building materials listed.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

**Response:** Examples of entrance signage is located on Pages 13 & 19.

# Original Planning Commission Staff Comments from 2013

MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
AUGUST 21, 2013

**4.c. Stephenson Drive right of way [2013-2057] final plat for 2 lots located on 4.13 acres zoned H-I located north of Butler Drive, General Mills developer.**

This is the final plat review for the resubdivision of Lots 3 and 4 within the "Section 3 and Resubdivision of Lot 1 Stephenson Subdivision" located south of Butler Drive. The purpose of the plat is to add the right of way that was abandoned by the City to Lots 3 and 4. The property is zoned H-I (Heavy Industrial District). The street formally known as Stephenson Drive is being renamed to General Mills Way effective October 15, 2013. Staff recommends any approval of this final plat be subject to all staff comments.



### **Staff Comments:**

- 1) This plat is a resubdivision plat for Lots 3 and 4 of the Stephenson Subdivision. Please re-title the plat to say "Final Resubdivision Plat".
- 2) Please provide a note that the information shown on final plat recorded at Plat Book 14 Plat Page 87 has been superseded by this plat.
- 3) Please revise the purpose notes. The plat does not abandon the ROW. That action was taken by City Council. The purpose of the plat is to resubdivide the abandoned right of way to include it as parts of Lot 3 and Lot 4. Additionally, the plat shows or describes easements. Please check Note 4 on each sheet and the general note near the title block on each sheet.
- 4) Include a note on the street name change. List the street as General Mills Way and in parentheses state "formerly known as Stephenson Drive – See Note"
- 5) Print the name, company names and titles of individuals authorized to execute the documents.
- 6) Provide lot numbers on the overall sheet.
- 7) Increase the font size of the date and time of recording information.
- 8) Clearly label on the plat the owners of the properties located on each side of the property being subdivided.
- 9) Clarify Note 7. Easements described by this plat.
- 10) The FEMA FIRM and any approved FEMA map revisions are the appropriate source for the location of floodplain and floodway boundaries. A survey performed by others cannot serve as the source of floodplain information. Please confirm the plat provides current information on floodplain boundaries as it appears the shapes of the floodplain boundaries shown on the plat are different from the FEMA FIRM panel.
- 11) Revise the match line sheet numbers as the match line sheet 1 should be sheet 2 and match line sheet 2 should be sheet 3.
- 12) Clearly show the complete lot line boundary for Lots 3 and 4 including appropriate bearings and lengths. The former ROW of Stephenson Drive should not be the most prominent lines on the plats. Also, the former ROW/lot lines should be shown as old lot line removed by this plat.
- 13) Add the Notation of possible flooding- "Development or modification of the land by Owners, Developers, or other parties within the floodway delineated on the plat is limited in accordance with the requirements of the National Flood Insurance Program and development within the areas of special flood hazard shall be protected in such a manner that any structure shall be protected against flood damage to at least the regulatory flood elevation of \_\_\_\_\_ or as shown on the table below." (This elevation shall be stated in the notation or in a table if there is more than one applicable elevation on the plat.).

- 14) Add the Notation of no-fill certification- "A "no-fill" certification by a registered engineer licensed by the State of Tennessee will be required prior to the issuance of a certificate of occupancy for any structure constructed upon any lot or lots that extend into a regulatory floodway or area of pooling water".
- 15) Add the Notation of future projects- "Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction."
- 16) Construction plans must be submitted to and approved by the City Engineer.
- 17) A PDF version of the plans must be submitted to Planning Staff upon receipt of these comments for the Planning Commission's review and must be submitted in conjunction with any future re-submittals.

### **Standard Staff Comments:**

- 1) Per the engineer's certification on this plan, the property lies in Zone AE, outside of areas designated as floodway and 100-year floodplain per the latest FIRM maps (1/05/07) for the City of Murfreesboro.
- 2) This plat is not affected by the City's Major Thoroughfare Plan.
- 3) As with all developments of more than one acre, a State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing.
- 4) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.
- 5) A right of way permit and bond may be required for work in the right of way. Contact Danny Lowe of the Street Department.
- 6) Send a copy of the entire set of staff-approved plans in both .dwg or .dgn vector format as well as in .pdf format to [cchase@murfreesborotn.gov](mailto:cchase@murfreesborotn.gov). Projection should be in Tennessee State Plane, NAD 83 (U.S. feet). .dwg and .dgn layers should be identified per Gerald Lee. For additional questions contact: [glee@murfreesborotn.gov](mailto:glee@murfreesborotn.gov).
- 7) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction or property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at each such providers' expense.

### **Water and Sewer/ Fire & Rescue Department Staff Comments:**

- 1) A 20' wide waterline easement and sewer line easement must be dedicated with this plat for the existing lines located in the current R.O.W. prior to it being signed by MWSD.



VICINITY MAP

This surveyor has not physically located the underground utilities. Above grade and underground utilities shown were taken from visible appurtenances at the site, public records and/or maps prepared by others. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities are in the exact location indicated. Therefore, reliance upon the type, size, and location of utilities shown should be done so with this circumstance considered. Detailed verification of existence, location and depth should also be made prior to any decision relative thereto is made. Availability and cost of service should be confirmed with the appropriate utility company. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act", that anyone who engages in excavation must notify all known underground utility owners, no less than three (3), nor no more than ten (10) working days prior to the date of their intent to excavate and also to avoid any possible hazard or conflict. Tennessee One Call: 1-800-351-1111

**NOTATION OF NO-FILL CERTIFICATION**

"A "NO-FILL" CERTIFICATION BY A REGISTERED ENGINEER LICENSED BY THE STATE OF TENNESSEE WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY STRUCTURE CONSTRUCTED UPON ANY LOT OR LOTS THAT EXTEND INTO A REGULATORY FLOODWAY OR AREA OF POOLING WATER".

**NOTATION OF POSSIBLE FLOODING**

DEVELOPMENT OR MODIFICATION OF THE LAND BY OWNERS, DEVELOPERS, OR OTHER PARTIES WITHIN THE FLOODWAY DELINEATED ON THE PLAT IS LIMITED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FLOOD INSURANCE PROGRAM AND DEVELOPMENT WITHIN THE AREAS OF SPECIAL FLOOD HAZARD SHALL BE PROTECTED IN SUCH A MANNER THAT ANY STRUCTURE SHALL BE PROTECTED AGAINST FLOOD DAMAGE TO AT LEAST THE REGULATORY FLOOD ELEVATION.

**NOTATION OF EASEMENTS FOR FUTURE PROJECTS**

"EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION".

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY GREATER THAN 1:10,000 AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE CITY ENGINEER.

1-18-17  
DATE

THOMAS DALE RICHMOND EDMONDS  
SURVEYOR



2542  
TENNESSEE REG. NO.

**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT AND ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND DEDICATE ALL STREETS, ALLEYS, WALKS, AND UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

9/21/2020  
DATE

*[Signature]*  
OWNER- GENERAL MILLS OPERATIONS, LLC.  
A DELAWARE LIMITED LIABILITY COMPANY  
VICE PRESIDENT

276 DEED BOOK 867 PAGE

Paul Dottle

8/26/2020  
DATE

*[Signature]*  
OWNER- THE INDUSTRIAL DEVELOPMENT BOARD  
OF RUTHERFORD COUNTY, TENNESSEE  
BILL JONES- CHAIRMAN

248 DEED BOOK 21 PAGE

6/29/2020  
DATE

*[Signature]*  
OWNER-ART MORTGAGE BORROWER PROP CO 2006-2, L.P.  
Jay Harmon  
VICE PRESIDENT AND SECRETARY

699 DEED BOOK 3743 PAGE

5/1/17  
DATE

*[Signature]*  
OWNER- UNIVERSAL ENVIRONMENTAL SERVICES, LLC  
JUAN FRITSCHY- PRESIDENT & CEO

371 DEED BOOK 2660 PAGE

**CERTIFICATE OF APPROVAL FOR RECORDING**

I (WE) HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

DATE

PLANNING COMMISSION SECRETARY

**CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE**

I HEREBY CERTIFY THAT (1) THE STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORM WATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

07-16-20  
DATE

*[Signature]*  
CITY ENGINEER

DATE OF RECORDING: \_\_\_\_\_  
TIME OF RECORDING: \_\_\_\_\_  
PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

**FINAL RESUBDIVISION PLAT**

STEPHENSON SUBDIVISION  
LOT NOS. 3 AND 4 PLAT  
BOOK 14, PAGE 87

13TH CIVIL DISTRICT  
MURFREESBORO, RUTHERFORD  
COUNTY, TENNESSEE  
DATE: 8-1-13(FIELD SURVEY)

REVISED: 8-16-13(PLANNING COMMENTS)  
REVISED: 9-12-13  
REVISED: 10-10-13  
REVISED: 10-11-13  
REVISED: 10-14-13  
REVISED: 11-11-13  
REVISED: 03-20-14  
REVISED: 05-6-15  
REVISED: 01-18-17  
JOB# 1642-04

**CERTIFICATE OF APPROVAL OF ELECTRIC POWER**

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT (MED) FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLYING WITH THE APPLICABLE RULES AND REGULATIONS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

8/19/2020  
DATE

*[Signature]*  
MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL  
SUCCEEDED IN INTEREST BY  
MIDDLE TENNESSEE ELECTRIC  
MEMBERSHIP CORPORATION.

**CERTIFICATE OF APPROVAL OF WATER SYSTEMS LOCATED IN THE WATER SERVICE JURISDICTION OF THE CITY OF MURFREESBORO**

I HEREBY CERTIFY THAT (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

7/28/2020  
DATE

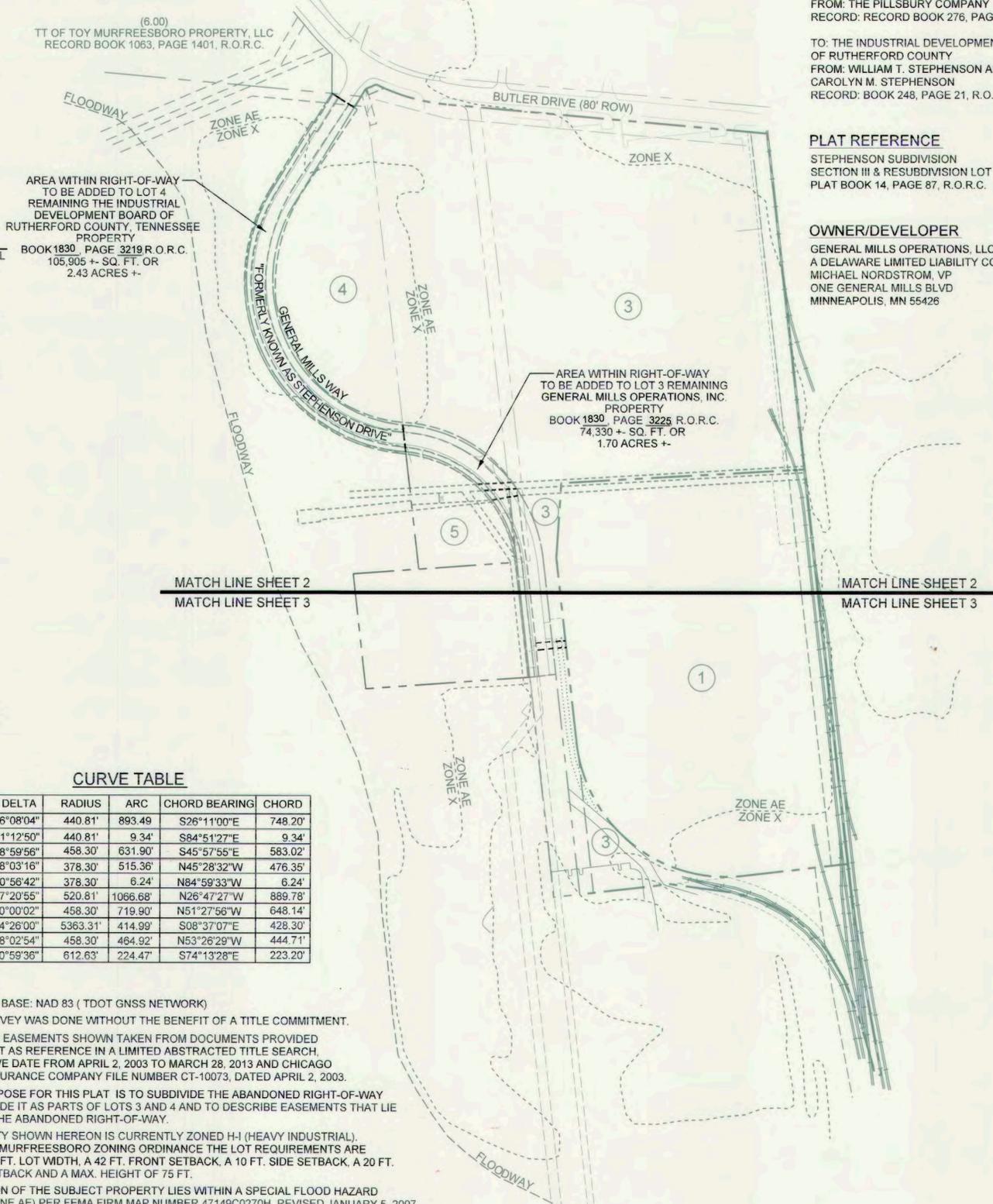
*[Signature]*  
MURFREESBORO WATER AND SEWER OFFICIAL

**CERTIFICATE OF APPROVAL OF SEWER SYSTEMS**

I HEREBY CERTIFY THAT (1) THE SEWER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

7/28/2020  
DATE

*[Signature]*  
MURFREESBORO WATER AND SEWER OFFICIAL



**LEGEND**

- IRON PIN FOUND
- IRON PIN SET
- CONCRETE MONUMENT FOUND
- UTILITY POLE
- FIRE HYDRANT
- MANHOLE
- CATCH BASIN
- LOT NUMBER
- R.O.R.C. REGISTERS OFFICE OF RUTHERFORD COUNTY
- RAILROAD
- FENCE LINE
- - - BOUNDARY LINE

**LINE TABLE**

L1	N66°41'24"E	34.87'
L2	N89°33'26"W	117.89'
L3	S10°54'16"E	100.00'
L4	S10°54'16"E	85.32'
L5	S10°54'16"E	31.25'
L6	S79°05'44"W	20.00'
L7	N10°54'16"W	31.25'
L8	N16°54'55"W	149.31'
L9	N22°13'00"W	126.99'
L10	S58°06'56"E	80.00'
L11	S06°27'43"E	81.65'

**CURVE TABLE**

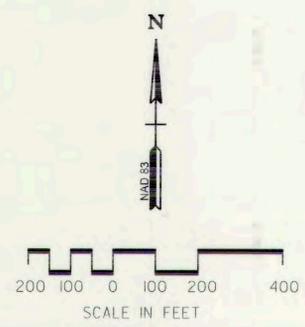
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C5	00°56'42"	378.30'	6.24'	N84°59'33"W	6.24'
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C7	90°00'02"	458.30'	719.90'	N51°27'56"W	648.14'
C8	04°26'00"	5363.31'	414.99'	S08°37'07"E	428.30'
C9	58°02'54"	458.30'	464.92'	N53°26'29"W	444.71'
C10	20°59'36"	612.63'	224.47'	S74°13'28"E	223.20'

- NOTES:**
- BEARING BASE: NAD 83 ( TDOT GNSS NETWORK)
  - THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
  - EXISTING EASEMENTS SHOWN TAKEN FROM DOCUMENTS PROVIDED BY CLIENT AS REFERENCE IN A LIMITED ABSTRACTED TITLE SEARCH. EFFECTIVE DATE FROM APRIL 2, 2003 TO MARCH 28, 2013 AND CHICAGO TITLE INSURANCE COMPANY FILE NUMBER CT-10073, DATED APRIL 2, 2003.
  - THE PURPOSE FOR THIS PLAT IS TO SUBDIVIDE THE ABANDONED RIGHT-OF-WAY TO INCLUDE IT AS PARTS OF LOTS 3 AND 4 AND TO DESCRIBE EASEMENTS THAT LIE WITHIN THE ABANDONED RIGHT-OF-WAY.
  - PROPERTY SHOWN HEREON IS CURRENTLY ZONED H-1 (HEAVY INDUSTRIAL). PER THE MURFREESBORO ZONING ORDINANCE THE LOT REQUIREMENTS ARE A MIN. 50 FT. LOT WIDTH, A 42 FT. FRONT SETBACK, A 10 FT. SIDE SETBACK, A 20 FT. REAR SETBACK AND A MAX. HEIGHT OF 75 FT.
  - A PORTION OF THE SUBJECT PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE AE) PER FEMA FIRM MAP NUMBER 47149C0270H, REVISED JANUARY 5, 2007.
  - FLOODWAY, FLOODLINE AND BASE FLOOD ELEVATION WERE ESTABLISHED BY GRAPHICAL MEANS, SCALING FROM F.E.M.A./F.I.R.M. MAP 47119C0270H, DATED JANUARY 5, 2007.
  - THE RECORDING OF THIS PLAT SUPERSEDES PLAT BOOK 14, PAGE 87, R.O.R.C.

One Vantage Way, Suite E-220 • Nashville, Tennessee 37228-555 • 615/726/4848

**JA** Engineers Planners and Computer Applications

**JAMES + ASSOCIATES, INC.**





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**LEGEND**

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- IRON PIN SET
- CONCRETE MONUMENT FOUND
- UTILITY POLE
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**LINE TABLE**

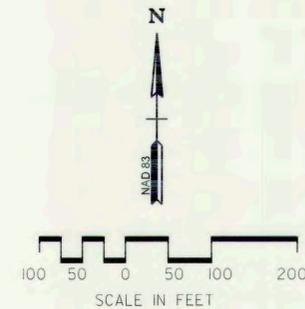
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One Vantage Way, Suite E-220 • Nashville, Tennessee 37228-555 • 615/726/4848  
**JA** Engineers  
 Planners and  
 Computer Applications  
**JAMES + ASSOCIATES, INC.**

**CURVE TABLE**

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**DEED REFERENCE**

TO: GENERAL MILLS OPERATIONS, INC.  
 FROM: THE PILLSBURY COMPANY  
 RECORD: RECORD BOOK 276, PAGE 867, R.O.R.C.

TO: THE INDUSTRIAL DEVELOPMENT BOARD OF RUTHERFORD COUNTY  
 FROM: WILLIAM T. STEPHENSON AND WIFE, CAROLYN M. STEPHENSON  
 RECORD: BOOK 248, PAGE 21, R.O.R.C.

**PLAT REFERENCE**

STEPHENSON SUBDIVISION  
 SECTION III & RESUBDIVISION LOT 1  
 PLAT BOOK 14, PAGE 87, R.O.R.C.

**OWNER/DEVELOPER**

GENERAL MILLS OPERATIONS, LLC,  
 A DELAWARE LIMITED LIABILITY COMPANY  
 MICHAEL NORDSTROM, VP  
 ONE GENERAL MILLS BLVD  
 MINNEAPOLIS, MN 55426

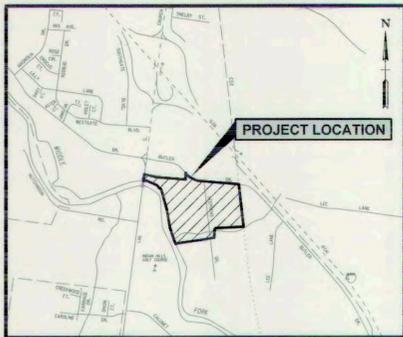
DATE OF RECORDING: \_\_\_\_\_  
 TIME OF RECORDING: \_\_\_\_\_  
 PLAT BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

**FINAL RESUBDIVISION PLAT**  
**STEPHENSON SUBDIVISION**  
**LOT NOS. 3 AND 4 PLAT**  
**BOOK 14, PAGE 87**

13TH CIVIL DISTRICT  
 MURFREESBORO, RUTHERFORD  
 COUNTY, TENNESSEE  
 DATE: 8-1-13(FIELD SURVEY)  
 REVISED: 8-16-13(PLANNING COMMENTS)  
 REVISED: 9-12-13  
 REVISED: 10-10-13  
 REVISED: 10-11-13  
 REVISED: 10-14-13  
 REVISED: 11-11-13  
 REVISED: 03-20-14  
 REVISED: 05-6-15  
 REVISED: 01-18-17  
 JOB# 1642-04

MATCH LINE SHEET 2  
 MATCH LINE SHEET 3

MATCH LINE SHEET 2  
 MATCH LINE SHEET 3



VICINITY MAP

This surveyor has not physically located the underground utilities. Above grade and underground utilities shown were taken from visible appurtenances at the site, public records and/or maps prepared by others. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities are in the exact location indicated. Therefore, reliance upon the type, size, and location of utilities shown should be done so with this circumstance considered. Detailed verification of existence, location and depth should also be made prior to any decision relative thereto is made. Availability and cost of service should be confirmed with the appropriate utility company. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act", that anyone who engages in excavation must notify all known underground utility owners, no less than three (3), nor no more than ten (10) working days prior to the date of their intent to excavate and also to avoid any possible hazard or conflict. Tennessee One Call: 1-800-351-1111

NOTATION OF POSSIBLE FLOODING

DEVELOPMENT OR MODIFICATION OF THE LAND BY OWNERS, DEVELOPERS, OR OTHER PARTIES WITHIN THE FLOODWAY DELINEATED ON THE PLAT IS LIMITED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL FLOOD INSURANCE PROGRAM AND DEVELOPMENT WITHIN THE AREAS OF SPECIAL FLOOD HAZARD SHALL BE PROTECTED IN SUCH A MANNER THAT ANY STRUCTURE SHALL BE PROTECTED AGAINST FLOOD DAMAGE TO AT LEAST THE REGULATORY FLOOD ELEVATION.

NOTATION OF NO-FILL CERTIFICATION

"A "NO-FILL" CERTIFICATION BY A REGISTERED ENGINEER LICENSED BY THE STATE OF TENNESSEE WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY STRUCTURE CONSTRUCTED UPON ANY LOT OR LOTS THAT EXTEND INTO A REGULATORY FLOODWAY OR AREA OF POOLING WATER".

NOTATION OF EASEMENTS FOR FUTURE PROJECTS

"EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION".

DEED REFERENCE

TO: GENERAL MILLS OPERATIONS, INC.  
FROM: THE PILLSBURY COMPANY  
RECORD: RECORD BOOK 276, PAGE 867, R.O.R.C.

TO: THE INDUSTRIAL DEVELOPMENT BOARD OF RUTHERFORD COUNTY  
FROM: WILLIAM T. STEPHENSON AND WIFE, CAROLYN M. STEPHENSON  
RECORD: BOOK 248, PAGE 21, R.O.R.C.

PLAT REFERENCE

STEPHENSON SUBDIVISION SECTION III & RESUBDIVISION LOT 1 PLAT BOOK 14, PAGE 87, R.O.R.C.

OWNER/DEVELOPER

GENERAL MILLS OPERATIONS, LLC, A DELAWARE LIMITED LIABILITY COMPANY  
MICHAEL NORDSTROM, VP  
ONE GENERAL MILLS BLVD  
MINNEAPOLIS, MN 55426

**CURVE TABLE**

LINE	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C1	116°08'04"	440.81'	893.49'	S26°11'00"E	748.20'
C2	01°12'50"	440.81'	9.34'	S84°51'27"E	9.34'
C3	78°59'56"	458.30'	631.90'	S45°57'55"E	583.02'
C4	78°03'16"	378.30'	515.36'	N45°28'32"W	476.35'
C5	00°56'42"	378.30'	6.24'	N84°59'33"W	6.24'
C6	117°20'55"	520.81'	1066.68'	N26°47'27"W	889.78'
C7	90°00'02"	458.30'	719.90'	N51°27'56"W	648.14'
C8	04°28'00"	5363.31'	414.99'	S08°37'07"E	428.30'
C9	58°02'54"	458.30'	464.92'	N53°26'29"W	444.71'
C10	20°59'36"	612.63'	224.47'	S74°13'28"E	223.20'

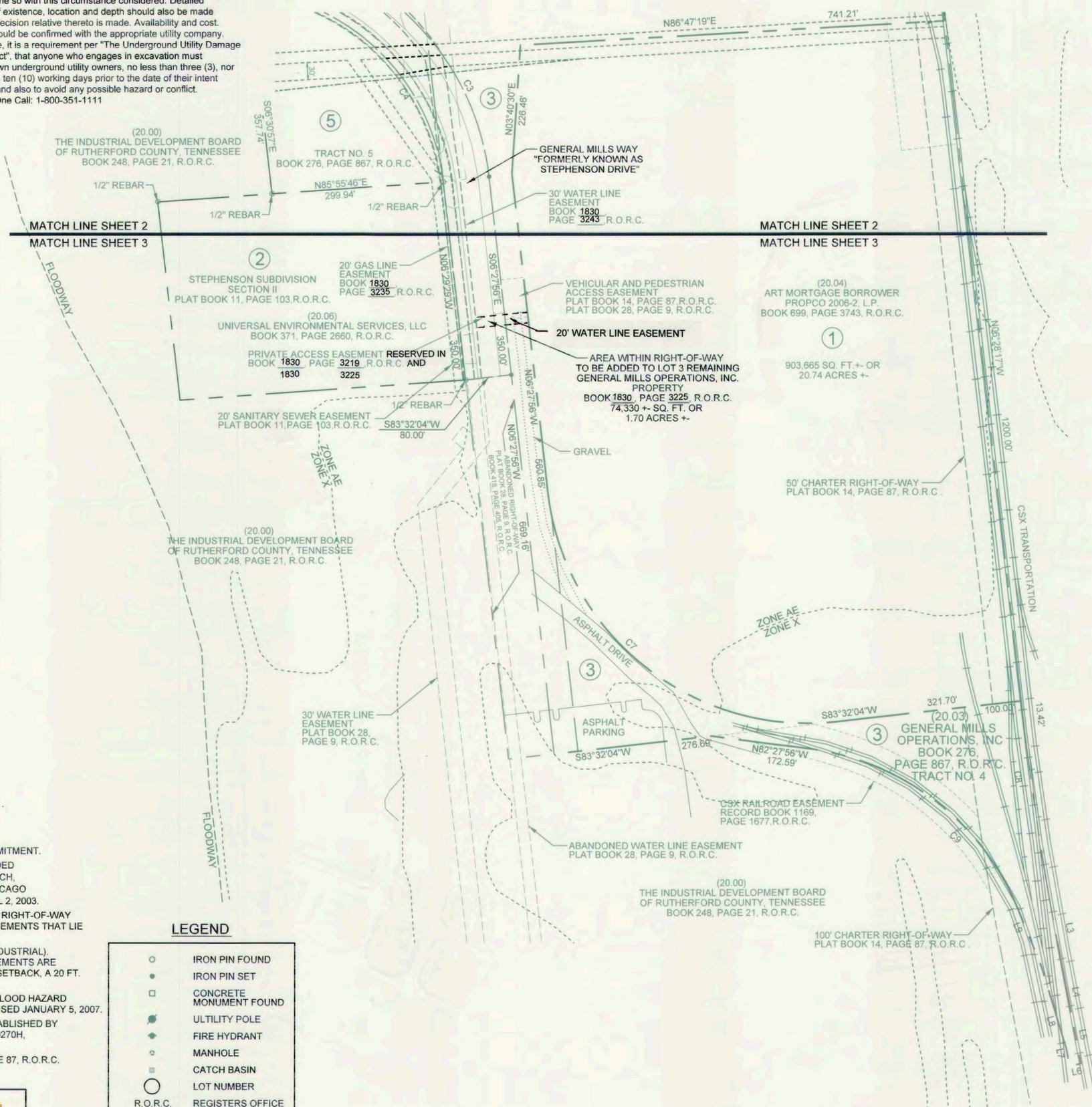
**LINE TABLE**

L1	N68°41'24"E	34.87'
L2	N89°33'26"W	117.89'
L3	S10°54'16"E	100.00'
L4	S10°54'16"E	85.32'
L5	S10°54'16"E	31.25'
L6	S79°05'44"W	20.00'
L7	N10°54'16"W	31.25'
L8	N16°54'55"W	149.31'
L9	N22°13'00"W	126.99'
L10	S58°06'56"E	80.00'
L11	S06°27'43"E	81.65'

- NOTES:**
- BEARING BASE: NAD 83 (TDOT GNSS NETWORK)
  - THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
  - EXISTING EASEMENTS SHOWN TAKEN FROM DOCUMENTS PROVIDED BY CLIENT AS REFERENCE IN A LIMITED ABSTRACTED TITLE SEARCH, EFFECTIVE DATE FROM APRIL 2, 2003 TO MARCH 28, 2013 AND CHICAGO TITLE INSURANCE COMPANY FILE NUMBER CT-10073, DATED APRIL 2, 2003.
  - THE PURPOSE FOR THIS PLAT IS TO SUBDIVIDE THE ABANDONED RIGHT-OF-WAY TO INCLUDE IT AS PARTS OF LOTS 3 AND 4 AND TO DESCRIBE EASEMENTS THAT LIE WITHIN THE ABANDONED RIGHT-OF-WAY.
  - PROPERTY SHOWN HEREON IS CURRENTLY ZONED H-I (HEAVY INDUSTRIAL). PER THE MURFREESBORO ZONING ORDINANCE THE LOT REQUIREMENTS ARE A MIN. 50 FT. LOT WIDTH, A 42 FT. FRONT SETBACK, A 10 FT. SIDE SETBACK, A 20 FT. REAR SETBACK AND A MAX. HEIGHT OF 75 FT.
  - A PORTION OF THE SUBJECT PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE AE) PER FEMA FIRM MAP NUMBER 47149C0270H, REVISED JANUARY 5, 2007.
  - FLOODWAY, FLOODLINE AND BASE FLOOD ELEVATION WERE ESTABLISHED BY GRAPHICAL MEANS, SCALING FROM F.E.M.A./F.I.R.M. MAP 47119C0270H, DATED JANUARY 5, 2007.
  - THE RECORDING OF THIS PLAT SUPERSEDES PLAT BOOK 14, PAGE 87, R.O.R.C.

LEGEND

- IRON PIN FOUND
- ◻ IRON PIN SET
- ◻ CONCRETE MONUMENT FOUND
- UTILITY POLE
- FIRE HYDRANT
- MANHOLE
- ◻ CATCH BASIN
- LOT NUMBER
- R.O.R.C.
- RAILROAD
- x- FENCE LINE
- BOUNDARY LINE



DATE OF RECORDING: \_\_\_\_\_  
TIME OF RECORDING: \_\_\_\_\_  
PLAT BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

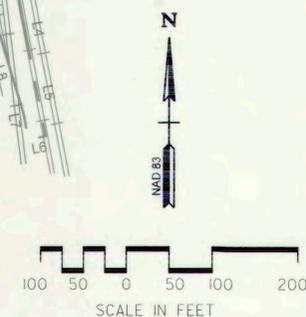
FINAL RESUBDIVISION PLAT

STEPHENSON SUBDIVISION  
LOT NOS. 3 AND 4 PLAT  
BOOK 14, PAGE 87

13TH CIVIL DISTRICT  
MURFREESBORO, RUTHERFORD  
COUNTY, TENNESSEE

DATE: 8-1-13(FIELD SURVEY)  
REVISED: 8-16-13(PLANNING COMMENTS)

- REVISED: 9-12-13
- REVISED: 10-10-13
- REVISED: 10-11-13
- REVISED: 10-14-13
- REVISED: 11-11-13
- REVISED: 03-20-14
- REVISED: 05-6-15
- REVISED: 01-18-17
- JOB# 1642-04



One Vantage Way, Suite E-220 • Nashville, Tennessee 37228 • 615 • 615/726/4848

**JA** Engineers  
Planners and  
Computer Applications

**JAMES + ASSOCIATES, INC.**

# 2021 Murfreesboro Planning Commission Meeting dates

Planning Commission Meetings held at 6:00 pm are reserved primarily for public hearings involving rezoning, annexations and ROW abandonment. Meetings held at 1:00 pm and 2:30 pm are for plats, plans, and new business items and staff reports. Please contact the Murfreesboro Planning Department at (615) 893.6441 or [planning@murfreesborotn.gov](mailto:planning@murfreesborotn.gov) to confirm meeting and submission dates.

Meetings will begin at the times listed below.

-  6:00 P.M. Meetings
-  1:00 P.M. Meetings
-  2:30 P.M. Meetings
-  Holidays

## January

S	M	T	W	T	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

## February

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14	15	16	17	18	19	20
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28						

## March

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## April

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## May

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30	31					

## June

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27	28	29	30			

## July

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24	25	26	27	28	29	30
31						

## August

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29	30	31				

## September

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26	27	28	29	30		

## October

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					1	2
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24	25	26	27	28	29	30
31						

## November

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27	28	29	30			

## December

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12	13	14	15	16	17	18
19	20	21	22	23	24	25
26	27	28	29	30	31	

**2021 PLAN REVIEW CALENDAR**

<b>Initial Submittal Due</b>	<b>Completeness Review Due</b>	<b>Staff Review Meeting</b>	<b>Staff Comments Due</b>	<b>Tech Review Meeting</b>	<b>Resubmittal Due</b>	<b>Staff Review Meeting</b>	<b>Staff Reports Due</b>	<b>Planning Commission Meeting</b>	<b>Planning Commission Meeting</b>
<i>10:00 AM</i>	<i>Noon</i>	<i>1:00 PM</i>	<i>Noon</i>	<i>9:00 AM</i>	<i>10:00 AM</i>	<i>9:00 AM</i>	<i>Noon</i>	<i>1:00 PM</i>	<i>6:00 PM</i>
<i>Thursday</i>	<i>Friday</i>	<i>Thursday</i>	<i>Wednesday</i>	<i>Friday</i>	<i>Wednesday</i>	<i>Monday</i>	<i>Wednesday</i>	<i>Wednesday</i>	<i>Wednesday</i>
December 10, 2020	December 11, 2020	December 15, 2020 <i>Tuesday at 1 pm</i>	December 21, 2020 <i>Monday at Noon</i>	December 23, 2020 <i>Wednesday</i>	January 6, 2021	January 11, 2021	January 13, 2021	Jan 20, 2021 2:30 PM	February 3, 2021
January 14	January 15	January 21	January 27	January 29	February 3	February 8	February 10	February 17	March 3
February 11	February 12	February 18	February 24	February 26	March 3	March 8	March 10	March 17	April 7
March 18	March 19	March 25	March 31	April 2	April 7	April 12	April 14	April 21	May 5
April 15	April 16	April 22	April 28	April 30	May 5	May 10	May 12	May 19	June 2
May 13	May 14	May 20	May 26	May 28	June 2	June 7	June 9	June 16	July 14
June 17	June 18	June 24	June 30	July 2	July 7	July 12	July 14	July 21 2:30 PM	August 4
July 15	July 16	July 22	July 28	July 30	August 4	August 9	August 11	August 18	September 1
August 12	August 13	August 19	August 25	August 27	September 1	September 3 <i>Friday at 9 am</i>	September 8	Sept 15 2:30 PM	October 6
September 16	September 17	September 23	September 29	October 1	October 6	October 11	October 13	October 20	November 3
October 14	October 15	October 21	October 27	October 29	November 3	November 8	November 10	November 17	December 1
November 11	November 12	November 16 <i>Tuesday at 1 pm</i>	November 22 <i>Monday at Noon</i>	November 24 <i>Wednesday</i>	December 1	December 6	December 8	December 15	January 12, 2022
December 9	December 10	December 14 <i>Tuesday at 1 pm</i>	December 20 <i>Monday at Noon</i>	December 22 <i>Wednesday</i>	January 5, 2022	January 10, 2022	January 12, 2022	January 19, 2022	February 2, 2022

# MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020

## MEMBERS PRESENT

Kathy Jones, Chair  
Ken Halliburton, Vice-Chair  
Warren Russell  
Ronnie Martin

## STAFF PRESENT

Greg McKnight, Planning Director  
Matthew Blomeley, Asst. Planning Director  
Margaret Ann Green, Principal Planner  
Marina Rush, Principal Planner  
Carolyn Jaco, Recording Assistant  
David Ives, Deputy City Attorney  
Nate Williams, Parks & Recreation Director  
Sam Huddleston, Exec. Dir. Development Serv.

Chair Kathy Jones called the meeting to order after determining there was a quorum. Mr. Ronnie Martin made a motion to approve the minutes of the August 5, 2020, and August 19, 2020, Planning Commission meetings, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.

## Public Hearings

**Zoning application [2020-410] for approximately 0.4 acres located at 206 Dill Lane to be rezoned from RS-15 to RS-8, The Journey Home, Inc. applicant.** Ms. Margaret Ann Green summarized the zoning application from the staff report which had been provided to the Planning Commission in the agenda packet. Ms. Green explained that the applicant's desire is to continue their mission for housing in our community by creating two lots of record. They want to construct a total of two structures on their property. Staff is in favor of this request even though it is inconsistent with the 2035 Future Land Use Map. These are small lots which would not allow a multi-family residential development due to the property being less than a half-acre.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the zoning application; therefore, Chair Kathy Jones closed the public hearing.

Mr. Scott Foster was in attendance to represent the application. Mr. Foster came forward to state that these homes would be only for families with children.

# **MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020**

**Vice-Chairman Ken Halliburton made a motion to approve subject to all staff comments, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

**Annexation plan of services and annexation petition [2020-503] for approximately 1 acre located along Clays Mill Drive and Sulphur Springs Road, Allison Magna and Elizabeth Helander applicants.** Ms. Margaret Ann Green summarized the annexation petition and plan of services from the staff report which had been provided to the Planning Commission in the agenda packet.

Ms. Green made known this request had been presented to the Rutherford County Road Board Commission and it has consented to the 150 feet of right-of-way of Clays Mill Drive. At this time, all of Clays Mill Drive except the 150 feet of right-of-way is within the City limits. Staff is in favor of this request so the area would be under one jurisdiction to receive City services and to be part of a City subdivision.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the annexation petition; therefore, Chair Kathy Jones closed the public hearing.

**Mr. Warren Russell made a motion to approve the annexation plan of services and annexation petition, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.**

**Annexation plan of services and annexation petition [2020-502] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road, Overall Creek Partners and Somphone Ruangtip applicants.** Ms. Marina Rush summarized the annexation petition and plan of services from the staff report which had been provided to the Planning Commission in the agenda packet. Ms. Rush made known that Staff and the City Legal Department would like to place conditions on this annexation if approved.

# **MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020**

Mr. Clyde Rountree and Mr. Vijay Patel were in attendance for the meeting representing the application.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the annexation petition; therefore, Chair Kathy Jones closed the public hearing.

Mr. David Ives made known he has been in discussions with the applicant's attorney regarding the conditions that would be placed on this request for Planning Commission and for City Council. The applicant is aware of the conditions and are in agreement. The applicant would provide a letter of surety regarding the removal of the dwellings on this property. In addition, an agreement including the following items must be in place prior to second and final reading at City Council:

- The structures would be removed within a period of time after the effective date of annexation;
- The precise time limit for the agreement to remove the structures would be established by the City's Attorney Office, City Council and the Applicant.
- This agreement would be in place by second reading.
- The two parcels are to be platted into one parcel.

Mr. David Ives explained, the purpose of this request is to avoid the possibilities of the two residential structures being retrofitted for commercial uses.

Mr. Matthew Blomeley made known there would be cross connectivity from this property to the adjoining property to the south. Mr. Ronnie Martin wanted to know if there would be only one curb cut for this property. Mr. Clyde Rountree stated they do not have a site plan at this point. The applicant is currently looking at another piece of property to the north to acquire a third lot. Therefore, the applicant does not know how they would have access to all three properties.

# **MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020**

However, they are attempting to gain property at the rear of the sites for additional access along the back of the properties towards Franklin Road.

Mr. Rountree said the applicant would be applying for a liquor license once the annexation and zoning request were approved. Mr. Ives commented that he would continue to work with the applicant's attorney regarding the conditions that would be satisfactory in terms of the length of time removing the structures. If this request is approved by Planning Commission, it would be reviewed again by City Council.

**Mr. Ronnie Martin made a motion to approve to approve the annexation plan of services and annexation petition subject to the following conditions:**

- **The structures would be removed within a period of time after the effective date of annexation;**
- **The precise time limit for the agreement to remove the structures would be established by the City's Attorney Office, City Council and the Applicant.**
- **This agreement would be in place by second reading.**
- **The two parcels are to be platted into one parcel.**

**The motion was seconded by Warren Russell and carried by a unanimous vote in favor.**

**Zoning application [2020-411] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road to be zoned CH simultaneous with annexation, Overall Creek Partners applicant.** Ms. Marina Rush summarized the zoning application from the staff report which had been provided to the Planning Commission in the agenda packet. Ms. Rush stated that applicant has made known their intentions were developing the combined properties with a liquor store and a restaurant. For the record, she made known the two existing residential structures

# MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020

were not occupied. The Commercial Highway zoning is consistent with the Murfreesboro 2035 Comprehensive Plan.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the zoning application; therefore, Chair Kathy Jones closed the public hearing.

Mr. Clyde Rountree and Mr. Vijay Patel were in attendance for the meeting representing the application.

**Vice-Chairman Ken Halliburton made a motion to approve the zoning application subject to all staff comments, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

**Zoning application [2020-412] to amend the PRD zoning (Laurelstone PRD) on approximately 46.5 acres located along Lascassas Pike and DeJarnette Lane, Goodall Homes, LLC applicant.** Ms. Margaret Ann Green summarized the zoning application from the staff report which had been provided to the Planning Commission in the agenda packet. Ms. Green made known the applicant would like to reduce the number of dwelling units from 199 to 186, being a density of 4.0 dwelling units per acre. In addition, the applicant's program book has been revised to include the following changes:

- To introduce a new residential product by adding 31 single-family detached dwelling units facing Lascassas Pike and Old Pitts Lane.
- To reduce the number of Villa units by 4
- To reduce the number of Cottage units by 40.
- To reduce the number of off-street parking spaces by 8.
- To connect to Old Pitts Lane and remove the existing cul-de-sac condition.

# MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020

- To remove 1,331 linear feet of roadway.
- To redesign the site so that the units are further from Bushman Creek.
- To modify the open space plan.

Lastly, Ms. Green stated the Murfreesboro 2035 Land Use Map indicates that Suburban Residential (SR) character is the most appropriate land use character classification for the subject property. This proposal would be more compliance with the 2035 Land Use Map than the currently-approved plan.

Mr. Rob Molchan was in attendance to represent the application. He began a PowerPoint presentation to explain the revisions from the applicant's program book. He explained that fifty percent of the homes would have to be completed with Phase 1. The applicant cannot begin Phase 2 until the new bridge is completed. These are the same commitments that had been approved three years ago.

Mr. Ronnie Martin wanted to know why there was not a stub street connection to Oak View Drive. Mr. Matthew Blomeley stated during a neighborhood meeting there had been opposition made regarding this development tying in to the County subdivision to the north. However, it is not the standard practice to not connect to a stub street. Vice-Chairman Ken Halliburton made known there had been compromise made due to a bridge being built for access that would create two different access points within this development

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the zoning application; therefore, Chair Kathy Jones closed the public hearing.

**Vice-Chairman Ken Halliburton made motion to approve subject to all staff comments, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

# MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020

**Zoning application [2020-409] for approximately 78 acres located along Medical Center Parkway, Robert Rose Drive, Wilkinson Pike and Willowoak Trail to be rezoned from MU, GDO-1 and GDO-2 to PUD, CH, GDO-1 and GDO-2 (Clari Park), Hines Acquisitions LLC applicant.** Ms. Margaret Ann Green summarized the zoning application from the staff report which had been provided to the Planning Commission in the agenda packet. She explained the details that would be expected standards within the Gateway Design Overlay District. The applicant has been working with Staff to make modifications to their original pattern book; however, she made known the areas of concerns that would need to be addressed further before this zoning application moves forward. Ms. Green addressed the following items in her presentation:

- On page 26, in the applicant's pattern book a list has been provided which details public improvement phases.
- Page 13 in the applicant's pattern book details the proposed land use map.
- The internal network of roads should address interconnectivity. There should not be dead-end roads or hammerhead streets within this development.
- The sides of buildings should be improved to address the view from the street.
- Provide on-street parallel parking and guest parking throughout the development.
- Due to the size of this development, it would need to have an owner management team with restrictive covenants and uses due to the future ownership of the commercial parcels.
- The applicant would need to address outdoor lighting spilling over onto undeveloped property.
- Improve the front porch areas to be wide enough and deep enough for residents to use.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 2, 2020

- If the property develops as a mixed-use development, it could be consistent with the Murfreesboro 2035 Future Land Use Map.
- A neighborhood meeting had been conducted for this development on July 28, 2020, at Fire Station #4.

Mr. Walter O'Shea, Mr. Randy Caldwell, Mr. Kevin Guenther, Mr. Wes McGill, and several other members of the design team were in attendance for the meeting representing the application. Mr. Walter O'Shea came forward stating they had been working with Staff and feel they have made great progress. It has been a collaborative process with a development of this size. This development would be located in an important area, with challenges and opportunities. They want to deliver a quality project with excellence, which is Hines' standard. Continuing, Mr. O'Shea wanted to clarify the mixed-use development would be less than twenty-five percent apartments. Page 13 of the pattern book shows that mixed use would be 24.9 percent for apartments on 19.4 acres of land. Also, Mr. O'Shea stated they have been working with Mr. David Ives, Deputy City Attorney, on the restrictions that have been put into place for the commercial uses within the commercial areas which would be recorded with this development. Continuing, Mr. O'Shea stated on page 25 of the pattern book it explains the Wilkinson Pike Berm being installed with Phase 1.

Mr. Kevin Guenther distributed new pattern books to the Planning Commission and Staff to make known the changes since the last time it had been presented to the Planning Commission. Mr. Guenther began a PowerPoint presentation from the revised pattern book by discussing the following:

- Page 12            Master Plan
- Page 13            Proposed Land Use Map
- Page 14 & 15      Land Use Table
- Page 17            Requested Exceptions

# **MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020**

- Page 20            Vehicular Transportation Network
- Page 25            Public Improvements

Mr. Wes McGill with Ragan Smith came forward to discuss the drainage concerns along Wilkinson Pike. On page 25 in the pattern book he explained their plan for managing their on-site drainage with retention ponds and detention ponds and also the Wilkinson Pike berm, which would keep on-site drainage on their property. There would be improvements made to install a swale from the corner of their property to release runoff towards a roadside ditch along Wilkinson Pike to go underneath Willowoak Drive to an area to daylight on a low line flood area. Mr. Guenther continued by discussing the following items from the pattern book:

- Page 27            Green Space Connections Master Plan
- Page 35            Single-Family Attached Conceptual Layout
- Page 37            Architectural Examples – Townhomes (Area 2)
- Page 38            Enhanced Architecture Locations – Townhomes (Area 2)
- Page 39 – 41      Townhome Elevations and Materials (Area 2)
- Page 42            Greenspace Enlargement (Area 2)
- Page 43            Single-Family Attached Private Street Network/Utilities
- Page 44            Architecture Examples – Stacked Flats (Area 6)
- Page 46            Multi-Family Residential – General Description (Area 5 & 7)
- Page 47            Architectural Examples – Multi Family (Area 5 & 7)

# **MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020**

Mr. Kevin Guenther stated they would continue to work with Staff to provide a privacy fence located at the undeveloped Hale property. Also, they would like to preserve the existing tree line for their open green space. For the townhome area they propose for it to be a gated community.

The Planning Commission began discussing the proposal and wanted additional information regarding the following:

- Shutters being optional by the developer for the interior buildings that is outlined on page 38.
- The four units by the pond have been identified as green area that includes enhanced sides with wrap porch on page 38.
- The front porches on page 40 should be designed to provide outdoor seating.
- The multi-family residential buildings would include 4,000 square foot of commercial use at the street level of the building.

Mr. Walter O'Shea came forward to explain the design of the townhome end units would include porches. The middle townhome units would have stoops with an outdoor seating area with hard pavers and landscaping. These areas would provide private outside seating areas in front of the units in addition to the park area with elements such as benches, grills, and firepits to interact with the community. Mr. Warren Russell wanted to know the width of the formal lawn, in which Mr. O'Shea answered fifty feet from building to building and thirty-eight feet between porches and the lawn space would be fifteen to twenty feet.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the zoning application; therefore, Chair Kathy Jones closed the public hearing.

Ms. Green came forward stating the public hearing had been scheduled with the applicant's pattern book. For this meeting tonight, the applicant has distributed a revised pattern book making known

# **MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020**

they have made changes to their development. Ms. Green commented that Staff has not had a chance to review these changes. Therefore, Ms. Green stated the following for the record:

- They have removed the hammerhead road network and do not have dead end streets.
- They are willing to improve the areas without shutters.
- The restrictive covenants are useful tools; however, the Planning Department cannot enforce the restrictive covenants. The City Legal Department would be able to provide more information.
- Stormwater flowing along the Wilkinson Pike right-of-way would have to be reviewed and approved by the City Engineer, Chris Griffith.
- On-street parallel parking would need to be distributed better within the development.
- The City would like to have a street connection to Redstone Bank and the developer has agreed to make a place for it to work. The applicant does not want to work on a commercial site that is not their property.
- Regarding the exceptions for the density, the area of land that is designated to all residential does exceed more than twenty five percent. The applicant only addressed multi-family residential use being 24.9 percent.
- The architecture could be improved, considering it is located in the Gateway area.
- The overall formal open space should meet the five percent minimum with outdoor elements.

The Planning Commission agreed the zoning application is very close to moving forward. What has been discussed at this meeting is not the actual plan that could be approved. Chair Kathy Jones stated that there needs to be an updated pattern book with the detailed changes before it can

# MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020

move to City Council. Vice-Chairman Ken Halliburton commented on how the design team and City Staff have worked very hard with the specifics and have made tremendous progress. He asked for the design team to continue working with Ms. Margaret Ann Green. Mr. Ronnie Martin complimented Ms. Margaret Ann Green and the applicant for this large project. He asked for the applicant to separate the multi-family residential development from the townhome development so he can see the difference. He does not have concerns with density of the multi-family and for-sale townhomes. He feels this development is good being close to The Avenue. The rooftops would be able to support the commercial area, which is a good thing and vice versa. It is important to develop the residential correctly and the product needs to be a premium product considering other things that would occur there. Mr. Warren Russell complimented the applicant and the design team for working with Staff.

Mr. Walter O'Shea came forward and requested for their team to come back to the Planning Commission at the September 16, 2020 day meeting. Ms. Green responded if the design team provides their updated materials by Tuesday, September 9, 2020, this item could be presented at the September 16<sup>th</sup> meeting.

**Mr. Warren Russell made a motion to defer until September 16, 2020, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.**

**Revision to Amendment of McKnight Park Master Plan [2020-S-101], City of Murfreesboro Legal Department applicant.** Mr. David Ives came forward to explain in detail the need for a revision to the currently approved Master Plan for McKnight Park. Due to the number of changes to this property, Staff believes that the surplus property should be re-configured. Mr. Ives provided an exhibit explaining that the proposal is to move the park access road from the East side of the surplus property to the West side. Also, the proposed changes will enlarge the area between the new Maintenance Facility and the Airport along the back of commercial properties which fronts Memorial Boulevard. The surplus property would be used for a back road to the park with gated access and will provide rear access to the commercial businesses along Memorial

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 2, 2020**

Boulevard. This request would have to be reviewed and approved by the State and Federal agencies due to this property being restricted by grants to develop McKnight Park. If the restrictions are lifted by the State and Federal agencies, this surplus property would be incorporated into Murfreesboro Airport property for the development of hangars.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the master plan amendment; therefore, Chair Kathy Jones closed the public hearing.

**Mr. Ronnie Martin made a motion to approve the revision to the Amendment of the McKnight Park Master Plan subject to all staff comments, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

**Mandatory Referral/ROW Abandonment [2020-713] to consider the abandonment of a portion of Esther Lane Right-of-Way, Mid-South Property Acquisitions, LLC and the City of Murfreesboro Planning Department applicants.** Ms. Marina Rush summarized the Mandatory Referral/ROW Abandonment from the staff report which had been provided to the Planning Commission in the agenda packet.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the request; therefore, Chair Kathy Jones closed the public hearing.

**Vice-Chairman Ken Halliburton made a motion to approve the Mandatory Referral/ROW Abandonment subject to all staff comments, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

## **Staff Reports and Other Business**

**Mandatory Referral [2020-716] for the disposition of the Evergreen Cemetery property located along Greenland Drive, City of Murfreesboro Legal Department.** Ms. David Ives summarized the Mandatory Referral from the staff report which had been provided to the Planning Commission in the agenda packet. Mr. David Ives commented that a copy of a survey of

# **MINUTES OF THE MURFREESBRO PLANNING COMMISSION SEPTEMBER 2, 2020**

approximately eighty acres of Evergreen Cemetery had been provided to the Planning Commission in the agenda packet.

Mr. Ives explained that “Evergreen Cemetery Inc. d/b/a Evergreen Cemetery” had recently been incorporated as a Tennessee non-profit corporation and is prepared to assume ownership and operation of the cemetery completely independent of the City. There would be no change in use and it would be managed and operated by a private entity. Staff requests that the Planning Commission consider and recommend approval of its recommendation that the City quitclaim its interest in the Evergreen Cemetery property to this non-profit corporation.

**Mr. Ronnie Martin made a motion to approve the Mandatory Referral subject to staff comments, seconded by Vice-Chairman Ken Halliburton. The motion carried by unanimous vote in favor.**

There being no further business the meeting adjourned at 9:05 P.M.

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**Chair**

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**Secretary**

GM: cj

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

2:30 p.m.

City Hall

## MEMBERS PRESENT

Kathy Jones, Chair  
Ken Halliburton, Vice-Chair  
Warren Russell  
Jennifer Garland  
Chase Salas  
Ronnie Martin

## STAFF PRESENT

Greg McKnight, Planning Director  
Matthew Blomeley, Assistant Planning Director  
Margaret Ann Green, Principal Planner  
Marina Rush, Principal Planner  
Jafar Ware, Planner  
Carolyn Jaco, Recording Assistant  
David Ives, Deputy City Attorney  
Roman Hankins, Assistant City Attorney  
Katie Noel, Project Engineer  
Valerie Smith, MWRD Assistant Director  
Gary Whitaker, Assistant City Manager

Chair Kathy Jones called the meeting to order after determining there was a quorum.

## Old Business

**Zoning application [2020-409] for approximately 78 acres located along Medical Center Parkway, Robert Rose Drive, Wilkinson Pike and Willowoak Trail to be rezoned from MU, GDO-1, and GDO-2 to PUD, CH, GDO-1, and GDO-2 (Clari Park PUD), Hines Acquisitions, LLC applicant.** Ms. Margaret Ann Green began by summarizing the zoning

application for Clari Park from the staff report which had been provided to the Planning Commission in the agenda packet. Ms. Green made known that the Planning Commission had been provided the most recent pattern book in the agenda which had been modified by the applicant. The applicant had addressed some of the concerns that were discussed at the Planning Commission meeting on September 2, 2020. However, Staff requests for the proposed townhomes to be improved by addressing the following:

- Porches – should be well-designed both for usability and aesthetics with minimum depth and width for outdoor seating.

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020**

- Elevated porches – should be elevated grade on front porches and front foundations to create a high-end dwelling designed with Traditional Neighborhood Development elements. The applicant has agreed to increase the minimum elevations from 12-inches to 14-inches. However, Staff has requested the porches to be elevated to 18-inches as is required in the RS-A Type 3 townhomes.
- Wrap-around porches – should be included on the dwellings that have the sides oriented toward the street. In addition, Staff has requested for the porches to be more proportional with the building.
- Shutters – should be included with this development as being a standard in the GDO. The applicant has provided shutters only on the sides and rears of the buildings that are visible. Staff has requested for shutters to be added to all townhomes to provide details for all units.
- HVAC/Utility appurtenance – there should be clarification regarding the utility locations and treatments for the HVAC units for each townhome.
- Hale Property Boundary – the applicant should provide details how the lighting from this development would not spill over to the adjoining Hale property. The applicant has agreed to provide a six-foot tall white vinyl fence with a Type A landscape buffer along the property line. A Type A landscape buffer is only required to be a minimum of 10-feet wide with some landscaping.
- Circulation – The applicant has revised their plan to remove several dead-end alleys. Now, the plan has interconnection to the alleyways.
- Parking spaces – The applicant has revised their guest parking to allow 13 parallel on-street parking spaces along the stormwater pond area. In addition, they have added six 90-degree parking spaces facing the pool that is in Area 2. Staff would like input from the Planning Commission as to whether this is acceptable.

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020**

Ms. Margaret Ann Green commented that the applicant has made changes that had been recommended after the applicant's public hearing. However, Staff is unable to recommend approval or support of this rezoning application because the plan does not satisfactorily address the comments and concerns that have been shared with the development team throughout this process.

Mr. Ronnie Martin wanted additional information regarding the Wilkinson Pike buffer and the proposed white fence to be added at the Hale property. Ms. Green explained that the applicant would install the buffer during Phase 1 of the development. It is in the applicant's pattern book on page 25. However, there had not been a visual concept included in the applicant's pattern book. The proposed fence is a traditional white fence that would look like a residential fence. Mr. Martin wanted to know if the proposed individual courtyards were to be enclosed and would they include a white vinyl fence. Ms. Green stated it could be; however; Staff feels that this development should be elevated to a higher standard due to being in the GDO. What is being proposed is in the applicant's pattern book on page 27.

Chair Kathy Jones asked for additional information regarding elevated porches. Ms. Green explained that Staff is trying to establish a minimum for various elevations in the applicant's pattern book. When the foundation is raised, the whole structure would be raised which would increase the height of the front windows. This would provide an opportunity to add porches which creates separation for the development. In addition, it adds safety due to it being harder for someone to see straight inside the front area. This feature is typical in a high-end development. Ms. Green suggested the 18-inches to be the minimum which would work with the topography and create variations for the elevated porches.

Chair Kathy Jones wanted to know more about the shutter request. Ms. Green stated that townhomes are not permitted by right in the mixed-use district. Townhomes had not been the vision for the Gateway Design Overlay area. Staff has been open to the request for owner-

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

townhome use. This proposal should be a special design that incorporates standards that are not seen in other areas of Murfreesboro.

Mr. Walter O'Shea, Mr. Randy Caldwell, Mr. Kevin Guenther and the rest of the design team were in attendance to represent the application. Mr. O'Shea came forward and distributed new pattern books. He began by stating how they have been working very closely with Staff for the past nine months on the overall planning for Clari Park. Their firm looks to create projects that set the standard for excellence. They are proposing the same standard of excellence with the development of Clari Park. Mr. O'Shea made known that they have made modifications, changes, and accommodations to the development. As considerations have been made, they have agreed to put in additional public improvements, limiting types of development, and putting restrictions on the development. In addition, these changes have had economic impacts on their company, their builder partner, and to the landowner. They have made financial adjustments so their expectations for this project would meet the City's needs. Mr. O'Shea stated that they have done everything possible to get to the point where they are today.

Continuing, Mr. Walter O'Shea stated that he would like to address the master plan and specifically the townhomes with a PowerPoint presentation from the color copies which had been distributed earlier. He began by providing the following:

- On page 2, the entrance to Clari Park would be off Medical Center Parkway and would be replicated with landscaping like what is at The Avenue.
- The entrance drive would take you towards the commercial areas and then to the central lawn area, which is one of the key features in the development.
- On page 2, all the front units facing Robert Rose Drive would include commercial use on the ground level.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

- On page 35, the Garden District is a residential district in which they would preserve the tree line for park space and for linear park space which would all be joined together.
- On page 38, the enhanced architecture for the townhomes has been identified. They are proposing 160 units and only 24 of those units would be fronting public roadway. The areas that would not have the enhanced architecture and shutters would be in areas where two units are side by side and are ten feet apart; and there is no pedestrian circulation provided between the units.
- The parking requirements by code for the 160 townhome units is 458 parking spaces. They are providing 614 spaces.
- The proposed pricing for the smaller townhome units would be \$285,000, and the larger units would be priced around \$310,000.

Mr. Walter O'Shea stated there were four items that could not be worked out between their team and with Staff as being the following:

1. Front porches versus front patios. They have proposed at the corners of their buildings to have a porch element that would be large enough for people to sit outside. The minimum depth from the face of the house to the front of the porch would be six feet. The interior units would not have porches due to porches blocking the sunlight at the interior front windows on the first floor. However, for the interior units they would have an exterior front patio with natural light and would address the common space. This feature is to allow the residents to interact with their neighbors. The details for the exterior patios would be worked out during site plan review.
2. To address raised floor elevations, they have revised their plans to include 14-inches instead of the required 12-inches. It would be much more labor intensive and more

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

expensive to change the foundations to increase the raised floor elevations from 14-inches to 18-inches. The 14-inches would allow two steps up onto the porch of the units. There would not be a significant change in privacy for the front window area allowing the 14-inch standard.

3. Enhanced side elevations would have shutters at high-visibility locations. Shutters would not be located in low visibility locations which are side-by-side buildings. For the present design they are including 1) brick or stone water table for the entire side; 2) windows of varied size creating architectural interest; 3) horizontal trim elements would separate the first and second floor; 4) changes in materials and colors would mirror front elevations; and 5) gable elements with trusses and corbels and louvers at the attic level.
4. Enhanced rear elevations would include shutters on end units in low visibility locations and shutters on all units in high visibility locations. In their present design they have included 1) brick or stone water table along the rear with a roof covering over the garage of the two middle units; 2) roof dormers and horizontal trim elements that would separate the first and second floor; 3) changes in the materials and colors that would mirror the front elevations; and 4) gable elements with trusses and corbels.

Mr. O'Shea explained the architectural elevations for the three different style units to be the Southern Traditional, Farmhouse, and Craftsman. The architectural variety would be intermixed throughout the community. He feels that this product had been designed on par with the quality of architecture and landscaping they have been aiming towards with a high-end development.

Vice-Chairman Ken Halliburton asked where the HVACs would be located. Mr. O'Shea answered the interior units had been designed with a recess to accommodate the unit. For the corner units the HVACs units would be on the side of the units.

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020**

Ms. Jennifer Garland asked if the patios had minimum requirements. Mr. O'Shea stated the patios would be six-foot deep by six to eight-foot wide on average. Ms. Garland stated there should be a size requirement for the front units with landscaping to provide privacy. Ms. Garland wanted to know where the trash receptacles would be kept. Mr. O'Shea answered they would be kept in the garage. The property would be managed by the homeowners' association which would enforce the restrictive covenants. Ms. Garland wanted to know if there were any exceptions for parking. Mr. O'Shea answered there was no parking exceptions being requested. Ms. Garland requested for the design team to try and distribute the guest parking in other areas.

Chair Jones commented that on page 38, there is more opportunity to enhance the nine end units facing Willowoak Drive and Wilkinson Pike. All end units should be enhanced due to them being along a main road.

Ms. Garland commented on how the design team had added higher water table stone with trim details for the side units. Mr. O'Shea stated the side units would not have shutters but would have the higher water table stone with trim details. The proposed colors for the architectural elevations would be addressed during site plan review.

Mr. Ronnie Martin commented that the GDO area is a very special area for those of us in Murfreesboro. He stated that townhomes had not been part of the vision with designing the GDO area. He appreciates all the hard work that had done by Ms. Margaret Ann Green to protect the GDO area. Mr. Martin commented to the design team for Clari Park that what has been presented is not lost.

Vice-Chairman Ken Halliburton commented how much he appreciated the applicant providing pictures of other areas that have been developed that would be similar to this proposal. Based on the pictures that have been provided, he would be willing to allow some of items that have not been agreed upon.

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020**

Mr. Warren Russell complimented the areas where the design had been changed with the orientation of buildings to create additional park space. However, there are no areas provided in the back to allow people to congregate while being outside or areas where some people would like their privacy. He feels that this development does not provide enough private space which is the biggest challenge for him. Therefore, he requested for additional private space to be provided with this development. Mr. O'Shea commented that this type community is not for everyone. There is a segment of people that would like to live in an area that is walkable to amenities such as The Avenue and the national park, be close to neighbors, etc.

Mr. Gary Whitaker came forward to state that he is not for or against this development. He explained that he would like to provide an overview of when Mr. Walter O'Shea and the design team had their first meeting with the City Manager and himself. This meeting had occurred before Clari Park had been presented to the Planning Staff. During the first meeting, the applicant had presented a high-end project. The applicant had provided a lot of pictures of single-family detached homes to be located along Manson Pike, and there were also discussions regarding brownstone townhomes. What originally was proposed for the development on this property was a much less multi-family with single-family detached and commercial uses. Over time the single-family detached had been completely removed. Mr. Whitaker stated that he had met with Mr. O'Shea on several occasions and that he has never changed his position and has remained steadfast in his support of the original proposal. Mr. Whitaker stated that in his opinion he feels that the townhomes should be brownstone which would be a better quality. What is being presented today for the townhomes is not the quality expected in the GDO area. Mr. Whitaker stated to the Planning Commission that this proposal would be their decision and that he respects their decision. He just wanted to make known what had occurred over time from their original meeting with the developer. He does not have a problem with the proposed concept being residential as a walkable community. His concerns are about the architecture for the townhomes. This is a large, visible mass of land along the entrance into the GDO area.

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020**

Mr. Ronnie Martin asked for additional information regarding the brownstone discussion. Mr. Whitaker answered how it is an all brick multi-story product which includes quality architecture that is seen in larger cities. What is in the GDO area is mostly a brick product and the brownstone style would fit nicely within this area.

Mr. Whitaker complimented the City Staff for working so diligently to accommodate the proposal with the materials that had been provided to them. However, what is being presented is not what had been discussed at the beginning.

Mr. Walter O'Shea came forward stating he had met with the City Manager and Mr. Gary Whitaker back in July 2019. They discussed conceptually what this proposal could be with examples of other projects their firm had done. Next, they met with the City Mayor and then they had a contract on the property. Due to the cost of the land, they felt it was not feasible to have single-family detached product at this location. While he was meeting with City Staff about the brownstones, they also had discussions regarding Henley Station. It was made known by Staff that they did not like the Henley Station architecture, and they did not want that type product in Murfreesboro. So, they went with the direction for a design of architecture that they felt was common in Tennessee and that would fit in the area with a quality product. Their townhome proposal is two/three notches above any other townhome community in Murfreesboro. Mr. O'Shea explained that one of the items he had handed out during this meeting is the same package that was presented to the Mayor in December. He feels that there are market limitations on what can be done in this area compared to the development at Berry Hill in Franklin, TN.

Continuing, Mr. O'Shea made known the townhome community would be gated once it is developed. There would be only 24 units out of the 160 townhome units that would be visible from the public street fronting Willowoak and Robert Rose Drive. He stated that he would provide an all brick product for the units facing Robert Rose Drive.

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020**

Ms. Jennifer Garland inquired about the phasing plan on page 24. For Phase 2, she would like additional information for Area 5, being the grand lawn. Mr. O'Shea answered that the infrastructure and utilities would occur the first year. Next would be Phase 1, which would take 18 to 24-months before the grand lawn.

**Mr. Ronnie Martin made a motion to approve the request subject to all staff comments, seconded by Ms. Jennifer Garland. The motion carried by a vote of 5-1 (Vice-Chairman Ken Halliburton voted no.)**

Following the vote there was discussion about whether the Planning Commission actually intended for the approval of the request to be subject to all staff comments. It was determined that additional clarification was needed.

**Mr. Warren Russell made a motion to reconsider the original motion, seconded by Mr. Chase Salas. The motion carried by a unanimous vote in favor.**

**Mr. Ronnie Martin then made a motion to approve the request subject to the following:**

- **To allow porches and patios. It is not required to have porches on all the units that match the applicant's pattern book on page 38, as presented.**
- **To allow a 14-inch elevation instead of the recommended 18-inches.**
- **All the side elevations are not required to have wrap porches; only those that had been presented on page 38 in the applicant's pattern book.**
- **All the rear elevations would not be required to have shutters only those that had been presented on page 38 in the applicant's pattern book.**
- **To provide white fences and the landscape buffer that had been discussed to be added at the adjoining Hale property.**

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

- To allow the parking as presented.
- The minimum size standard for the porches and patios are to be 6 x 8. This information had been in a handout provided during the meeting by Mr. Walter O'Shea from page 24-27.
- The minimum size standard for the porches to be 6 x 8 should be included for the Planned Residential Development in the applicant's pattern book.

Vice-Chairman Ken Halliburton acknowledged Mr. Walter O'Shea and the design team and how the Planning Commission and City Staff had worked with their team as much as possible. Vice-Chairman Ken Halliburton commented that Mr. O'Shea had made the statement that they could add all brick material to the units facing Robert Rose Drive and design them as Brownstones. Vice-Chairman Ken Halliburton requested for the applicant and the design team to work on making the units facing Robert Rose Drive in Area 6 all brick brownstones.

**Vice-Chairman Ken Halliburton seconded by the motion. The motion carried by unanimous vote in favor.**

## **Consent Agenda**

Chair Kathy Jones read the following items to be considered for approval.

**Waites Creek Crossing, Section 1, Phase 1A [2020-2068]** final plat for 18 lots on 3.82 acres zoned RS-A, Type 1 located along Ashers Fork Drive, O'brien Loyd Venture developer.

**Waites Creek Crossing, Section 1, Phase 1B [2020-2068]** final plat for 12 lots on 2.93 acres zoned RS-A, Type 1 located along Ashers Fork Drive, O'brien Loyd Venture developer.

**Sheffield Park, Section 4, Phase 2 [2020-2070]** final plat for 9 lots on 2.75 acres zoned PRD located along Rose Gold Court and Dizzy Dean Drive, Beazer Homes Corporation developer.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

**Evergreen Farms, Section 38 [2020-1019]** preliminary plat for 174 lots on 55.37 acres zoned PRD located along Perlino Drive and Secretariat Trace, Ole South Properties, Inc. developer.

**Redeemer Academy, Resubdivision of Lot 1 [2020-2066]** final plat for 1 lot on 20 acres zoned CF located along Old Salem Road, Redeemer Classical Academy, Inc. developer.

**Caroline Farms, Section 2 [2020-2071]** final plat for 50 lots on 11.92 acres zoned PRD located along Caroline Farms Drive, Caroline Farms, LLC developer.

**The Crossings of Three Rivers, Resubdivision of Lots 8, 15, & 21 [2020-2073]** final plat for 6 lots on 0.57 acres zoned PRD located along Hospitality Lane, Three Rivers Rutherford, LLC developer.

**Carlton Landing, Section 1, Phase 1 [2020-2069]** final plat for 12 lots on 8.46 acres zoned RS-10 located along New Salem Highway, Cornerstone Development, LLC developer.

**Mandatory Referral [2020-715]** to consider the abandonment of an existing sanitary sewer easement located along East Vine Street and First Avenue, Huddleston-Steele Engineering, Inc. applicant.

**Panda Express [2020-3105]** site plan for 2,300 ft<sup>2</sup> restaurant on 1.02 acres zoned CH located along Memorial Boulevard, Panda Express, LLC developer.

**Vice-Chairman Ken Halliburton made a motion to approve the consent agenda, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

## **Gateway Design Overlay**

**Commons at the Gateway (Valvoline) [2020-6004 & 2020-3101] initial design review for 2,078 ft<sup>2</sup> motor vehicle service facility on 14.8 acres zoned MU and GDO-1 located along Medical Center Parkway, Valvoline Instant Oil Change developer.** Ms. Margaret Ann Green

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

summarized the initial design review from the staff report which had been provided to the Planning Commission in the agenda packet.

Mr. Matt Taylor and the design team were in attendance to represent the application. Mr. Taylor explained the design for the building and the materials to be used. In addition, he made known the building would have three bay doors that would not be facing Medical Center Parkway. He explained the location of the new structure that would be a significant distance from Medical Center Parkway due to the existing TVA easement on this property. This project would be consistent with the master plan and other developments that have occurred on this property.

**Vice-Chairman Ken Halliburton made a motion to approve subject to all staff comments, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

**Puckett Creek Station Lot 5 [2020-6005 & 2020-3103] initial design review for 6,103 ft<sup>2</sup> office on 0.83 acres zoned CH and GDO-1 located along Cedar Glades Drive, Regenwood, LLC developer.** Ms. Margaret Ann Green summarized the initial design review from the staff report which had been provided to the Planning Commission in the agenda packet. Ms. Green commented that the anticipated use could be for medical offices or general office space.

Mr. Matt Taylor (engineer), Mr. Scott Wilson (architect), and Mr. Robert Batcheller (developer) were in attendance representing the application. Mr. Matt Taylor said that they had a committed medical office tenant for the left side of the building.

**Mr. Warren Russell made a motion to approve subject to all staff comments, seconded by Ms. Jennifer Garland. The motion carried by unanimous vote in favor.**

## **Plats and Plans**

**Hidden River Estates, Section I [2020-1016] master plan and preliminary plat for 1 lot on approximately 12.4 acres zoned PUD located along Cason Trail, Hidden River Holding**

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

**Company, LLC developer.** Mr. Jafar Ware summarized the master plan and preliminary plat from the staff report which had been provided to the Planning Commission in the agenda packet. Mr. Ware stated if this is approved the developer would be allowed to submit construction plans for Section 1. The master plan and preliminary plat is consistent with the approved planned development.

Mr. Bill Huddleston was in attendance to represent the application.

**Mr. Ronnie Martin made a motion to approve subject to all staff comments, seconded by Vice-Chairman Ken Halliburton. The motion carried by unanimous vote in favor.**

**Hidden River Estates, Section II [2020-1017] preliminary plat for 18 lots on approximately 39.6 acres zoned PUD located along Eastview Drive, Hidden River Holding Company, LLC developer.** Mr. Jafar Ware summarized the preliminary plat from the staff report which had been provided to the Planning Commission in the agenda packet. Mr. Ware stated if this is approved the developer would be allowed to submit construction plans for Section II. The preliminary plat is consistent with the approved planned development.

Mr. Ware explained this plat would allow single family detached homes on estate lots which will back up to Stones River. In addition, this plat would allow a public road to connect to the existing Eastview Drive.

Mr. Bill Huddleston was in attendance to represent the application.

**Vice-Chairman Ken Halliburton made a motion to approve subject to all staff comments, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

## **New Business**

**Zoning application [2020-417] for approximately 1.23 acres located along the east side of Gresham Lane to be rezoned from RS-15 to CH, Tony Emmanuel applicant.**

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

Mr. Matthew Blomeley summarized the zoning request from the staff report which had been provided to the Planning Commission in the agenda packet.

Mr. Bill Huddleston was in attendance to represent the application.

**Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on October 7, 2020, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

**Zoning application [2020-413] for approximately 12.56 acres located along Christie Knob Way to be rezoned from CH to PRD (Tiger Hill Townhomes PRD), Celebration Homes applicant.** Ms. Marina Rush summarized the zoning request from the staff report which had been provided to the Planning Commission in the agenda packet.

Ms. Rush made known that Staff had been working with the applicant for the past six months and concur that this request is the appropriate land use for this area. This is due to apartments and townhomes towards the north of the property and the steep slope/topography. This property would not be conducive for commercial development.

Ms. Rush explained that the Water Resources Department has indicated that the sanitary sewer system would have the capacity to accommodate this project.

Mr. Matt Taylor was in attendance to represent the application.

**Mr. Chase Salas made a motion to schedule a public hearing on October 7, 2020, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.**

**Zoning application [2020-414] for approximately 1.0 acre located along Gresham Lane to be rezoned from CL to PCD (Secure Lawn PCD), Mark Lovinski applicant.** Ms. Marina Rush summarized the zoning request from the staff report which had been provided to the Planning Commission in the agenda packet.

Mr. Bill Huddleston was in attendance to represent the application.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

Ms. Jennifer Garland made a motion to schedule a public hearing on October 7, 2020, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.

**Zoning application [2020-416] for approximately 12.8 acres located along Veterans Parkway to be rezoned from CH to PRD (Sullivan's Retreat PRD), Cornerstone Development applicant.** Ms. Marina Rush summarized the zoning request from the staff report which had been provided to the Planning Commission in the agenda packet.

Ms. Marina Rush stated that Staff has concerns with this request and does not support it. She explained how the request is not consistent with the recommendations of the Murfreesboro 2035 Comprehensive Plan. This property is in a developing commercial corridor, and the use appears to be incongruous with the adjacent uses. This proposal is to be located between commercial uses on three sides, including a grocery store, a veterinary clinic, and a proposed self-service storage facility.

Continuing, Ms. Rush explained that, according to the Water Resources Department (MWRD), the area in the vicinity of the subject property needs to be assessed as to whether it meets the goal of 3.4 single-family unit equivalents per acre and whether the basin currently has greater than 3.6% multi-family uses and 11% medium-density uses (townhomes). MWRD is not supportive of any increases in density until this assessment can be made due to potential limitations regarding sanitary sewer infrastructure in this area and it would not be supportive of any rezonings that would increase density, if it is determined that the stated goals are already being exceeded.

In addition, Mr. Rush stated the site is within the Overall Creek Elementary School zone, a school zone which has seen rapid growth over the last several years. According to Murfreesboro City Schools, the Overall Creek, Scales Elementary, and Salem Elementary schools are all at or near capacity. In conclusion, contrary to the proposed rezoning request, Staff is supportive of the property developing with a commercial use under the existing CH zoning in order to limit impacts to these City services and to minimize incompatible land use.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

Mr. Matt Taylor was in attendance to represent the application. Mr. Taylor came forward to address Staff's comments regarding the property not being in compliance with the Future Land Use Map. Due to the depth of property, the site has little visibility from Veterans Parkway. They have left a portion of the property out of this request to remain for commercial use. One of the areas fronts Veterans Parkway and the second area fronts the proposed townhomes. To address sewer, a study would be completed that would determine the amount of uses for the basin. Mr. Taylor asked for direction to address staff comments regarding the sewer limitations. He commented that any residential development would have some impact on schools. Mr. Taylor stated the proposed townhomes would have one- and two-car garages and all the end units have two-car garages. The interior units would have one-car garages. The architecture would be like the townhome development along Joe B Jackson Parkway and Manchester Pike. These townhomes would not be rentals. The townhomes would be for sale with a robust amenity package.

Vice-Chairman Ken Halliburton wanted to know why this parcel could not be commercial. Mr. Taylor explained due to the depth of the parcel it could be developer with a big box retail store; however, due to the current market, that is not feasible. Mr. Ronnie Martin commented that, when people are driving and cannot see a storefront, it would be difficult to know a storefront was there unless it was a destination location. He is not advocating for townhomes for the entire parcel, but he is not sure if commercial use would be the right use from a practical standpoint.

**Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on October 7, 2020, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

**Zoning Application [2020-415] to amend the PS (Planned Signage) Overlay District zoning for Saint Thomas Rutherford Hospital for approximately 70.7 acres along North Thompson Lane, Medical Center Parkway, and Gateway Boulevard, Ascension Saint Thomas applicant.** Ms. Jennifer Garland announced she would be abstaining from all discussion and vote.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION SEPTEMBER 16, 2020

Ms. Teresa Stevens summarized the zoning request from the staff report which had been provided to the Planning Commission in the agenda packet. She made known the PSO application package had been reviewed and approved by the Design Review Committee on August 4, 2020. The hospital is requesting the PSO amendment to rebrand Saint Thomas Rutherford to Ascension Saint Thomas Rutherford and to increase the visibility of building identification signs. Ms. Stevens began a PowerPoint presentation from the applicant's pattern book.

Ms. Denise Simmons was in attendance to represent the application.

**Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on October 7, 2020, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor with one abstention (Ms. Jennifer Garland).**

## **Staff Reports and Other Business**

**Zoning application [2020-419] to amend the PRD zoning (The Arbors at Compton PRD) for approximately 73.9 acres located along Compton Road, Chad Christiansen and the City of Murfreesboro applicants. WITHDRAWN BY THE APPLICANT**

**There being no further business the meeting adjourned at 5:35 p.m.**

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Chair

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Secretary

GM: cj