

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

**SEPTEMBER 2, 2020
6:00 PM**

**Kathy Jones
Chair**

- 1. Call to order**
- 2. Determination of a quorum.**
- 3. Approve minutes of the August 5, 2020 and August 19, 2020 Planning Commission meetings.**
- 4. Public Hearings:**
 - a.** Zoning application [2020-410] for approximately 0.4 acres located at 206 Dill Lane to be rezoned from RS-15 to RS-8, The Journey Home, Inc. applicant. (Project Planner: Margaret Ann Green)
 - b.** Annexation plan of services and annexation petition [2020-503] for approximately 1 acre located along Clays Mill Drive and Sulphur Springs Road, Allison Magna and Elizabeth Helander applicants. (Project Planner: Margaret Ann Green)
 - c.** Annexation plan of services and annexation petition [2020-502] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road, Overall Creek Partners and Somphone Ruangtip applicants. (Project Planner: Marina Rush)
 - d.** Zoning application [2020-411] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road to be zoned CH simultaneous with annexation, Overall Creek Partners applicant. (Project Planner: Marina Rush)
 - e.** Zoning application [2020-412] to amend the PRD zoning (Laurelstone PRD) on approximately 46.5 acres located along Lascassas Pike and DeJarnette Lane, Goodall Homes LLC applicant. (Project Planner: Margaret Ann Green)
 - f.** Zoning application [2020-409] for approximately 78 acres located along Medical Center Parkway, Robert Rose Drive, Wilkinson Pike and Willowoak Trail to be rezoned from MU, GDO-1 and GDO-2 to PUD, CH, GDO-1 and GDO-2 (Clari Park), Hines Acquisitions LLC applicant. (Project Planner: Margaret Ann Green)

MURFREESBORO PLANNING COMMISSION AGENDA

PAGE 2

September 2, 2020

- g.** Revision to Amendment of McKnight Park Master Plan [2020-S101], City of Murfreesboro Legal Department applicant.
- h.** Mandatory Referral/ROW Abandonment [2020-713] to consider the abandonment of a portion of Esther Lane Right-of-Way, Mid-South Property Acquisitions, LLC and the City of Murfreesboro Planning Department applicants. (Project Planner: Marina Rush)

5. Staff Reports and Other Business:

- a.** Mandatory Referral [2020-716] for the disposition of the Evergreen Cemetery property located along Greenland Drive, City of Murfreesboro Legal Department applicant.

6. Adjourn.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
SEPTEMBER 02, 2020**

(Project Planner: Margaret Ann Green)

4.a. Zoning application [2020-410] for approximately 0.4 acres located at 206 Dill Lane to be rezoned from RS-15 to RS-8, The Journey Home, Inc. applicant.

The subject property is located along the west side of Dill Lane, just south of the Dill Lane apartments. The study area is approximately 0.4 acres and it is identified on Tax Map 103B, Group B Parcel 007.02. The property has two existing single-family houses that were constructed in 1934 and 1973. The subject property was acquired by Journey Home from the City of Murfreesboro in 2014.

The request is to rezone the property from RS-15 (Single Family Residential District, minimum lot size 15,000 square feet) to RS-8 (Single Family Residential District, minimum lot size 8,000 square feet). The Journey Home wishes to remove the existing structures on the property to create two separate lots of record and cannot meet minimum lot requirements under the RS-15 district. The applicants plan to build two residential buildings on these future lots as part of their services to the local community. These homes will allow them to continue their mission.

This RS-8 district is intended to permit the development and continued maintenance of single family residential areas characterized by relatively low overall density with lots of at least 8,000 square feet per dwelling unit. Other uses such as schools, churches, and specified services associated with or compatible with the residential uses allowed in this district are also permitted subject to site plan review and approval or the issuance of a special permit therefor. It is also intended that the relatively low density of this district will permit, to the extent possible, the preservation of open space and natural amenities.

Future Land Use Map

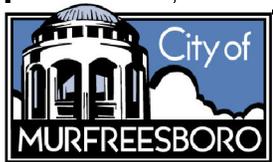
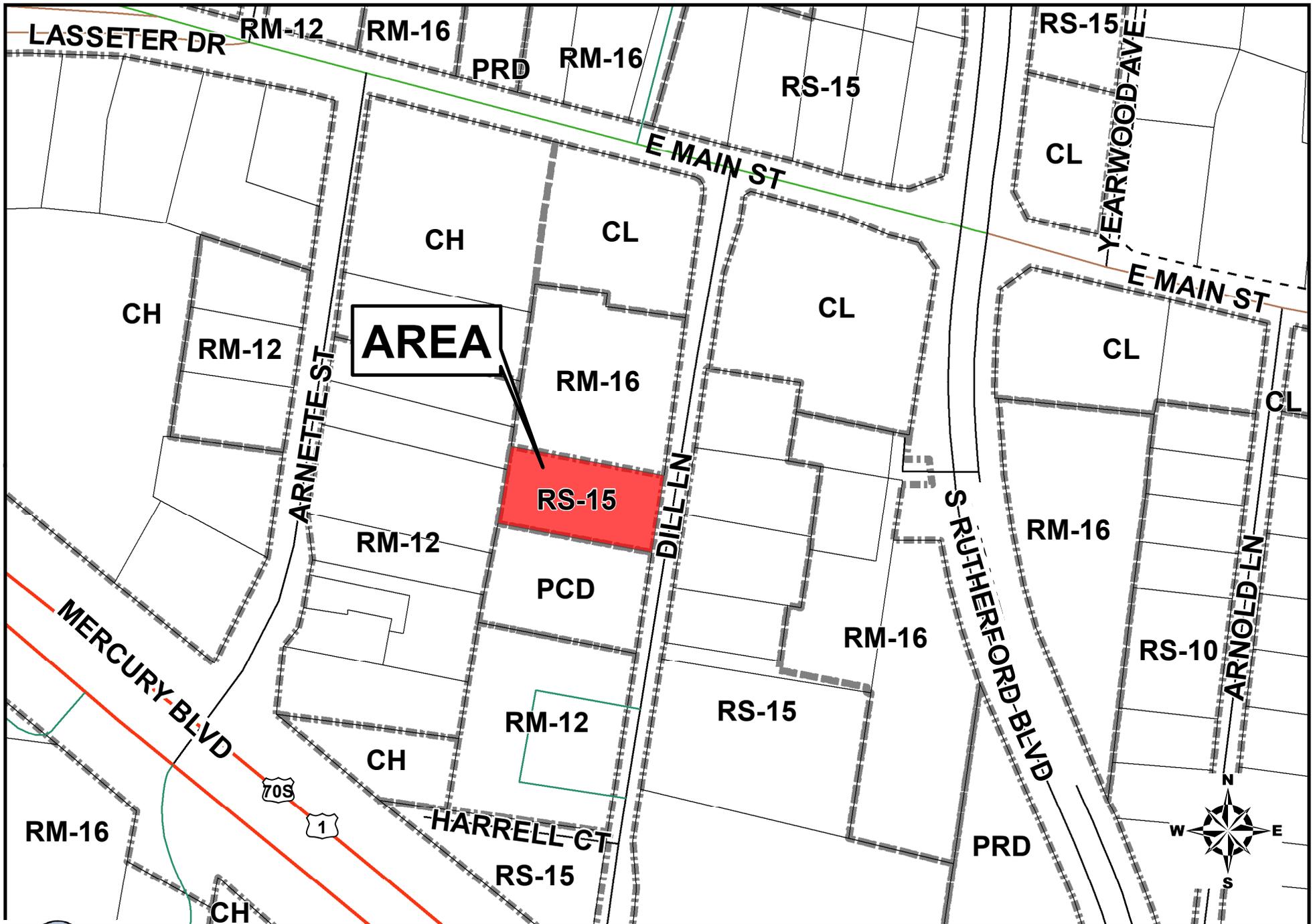
The Murfreesboro 2035 Future Land Use Map indicates that Auto-Urban Multi-Family Character uses are the most appropriate land use for the subject property. Higher density residential uses such as attached and multiple-family housing (up to three stories in height), and manufactured home communities also have this character due to their density, limited open space, relative amount of impervious surface devoted to buildings and parking lots, and increased building enclosure. Multi-family residential developments are typically setback from road frontages, with buildings surrounded by surface parking lots and oriented inward toward recreational / social amenities, such as swimming pools, cabanas, etc. The characteristics of this area are:

- Gated automobile and pedestrian entrances;
- Internal orientation;
- Designated recreational areas, often with pool house and pool;
- Shared stair wells and elevators, depending on the number of stories;
- Perimeter buildings heights are typically reduced compared to internal buildings.
- Surface parking lots.



Public Hearing

The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning. The Planning Commission should conduct a public hearing, discuss the matter, and formulate a recommendation to the City Council.



**Zoning Request for Property Along Dill Lane
RS-15 to RS-8**



Planning Department
City of Murfreesboro
111 W. Vine St.
Murfreesboro, TN 37130
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**Zoning Request for Property Along Dill Lane
RS-15 to RS-8**



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SEC, Inc.

SITE ENGINEERING CONSULTANTS

Engineering • Surveying • Land Planning • Landscape Architecture
850 Middle Tennessee Blvd, Murfreesboro, TN 37129
www.sec-civil.com • 615-890-7901 • fax 615-895-2567

July 16, 2020

Mr. Greg McKnight
City of Murfreesboro Planning Department
111 West Vine Street
Murfreesboro, TN 37130

RE: Rezoning Cover Letter
The Journey Home Property at 206 Dill Lane
Murfreesboro, TN
SEC No. 20056

Dear Mr. McKnight,

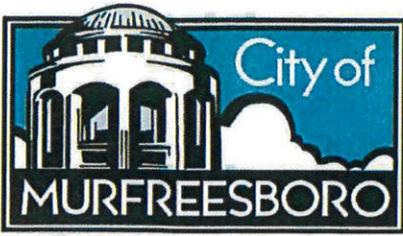
Please accept this letter along the attached exhibit and application as The Journey Home's official request to the City of Murfreesboro to rezone their property at 206 Dill Lane. The request is to rezone the property from RS-15 to RS-8. The Journey Home is planning on removing the existing structures on the property to create two residential lots. They plan to build two residential buildings on these future lots as part of their services to the local community. These homes will allow them to continue their mission to help those in need get back on their feet.

If you should have any questions concerning this request, please feel free to call at 615-890-7901, or via email at rmolchan@sec-civil.com.

Sincerely,



Rob Molchan, P.L.A.
Landscape Architect & Land Planner
SEC, Inc.



T E N N E S S E E

Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Table with 2 columns: Application Type and Fee. Includes 'Zoning & Rezoning Applications - other than rezoning to planned unit development' for \$700.00 and 'Zoning & Rezoning Applications - Planned Unit Development, initial or amended' for \$950.00.

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

- 1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: The Journey Home Inc

Address: PO Box 331025 City/State/Zip: Murfreesboro, TN 37133

Phone: 615-867-4040 E-mail address: ascotffoster@comcast.net

PROPERTY OWNER: The Journey Home Inc

Street Address or property description: 206 Dill Ln

and/or Tax map #: 103B Group: B Parcel (s): 7.02

Existing zoning classification: RS-15

Proposed zoning classification: RS-8 Acreage: 0.4

Contact name & phone number for publication and notifications to the public (if different from the applicant): Matt Taylor 615-890-7901

E-mail: mtaylor@sec-civil.com

APPLICANT'S SIGNATURE (required): [Signature]

DATE: 7-16-2020

*****For Office Use Only*****

Date received: MPC YR.: MPC #:

Amount paid: Receipt #:



Dill Ln

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
SEPTEMBER 2, 2020**

PRINCIPAL PLANNER MARGARET ANN GREEN

4.b. Annexation plan of services and annexation petition [2020-503] for approximately 1 acre located along Clays Mill Drive and Sulphur Springs Road, Allison Magna and Elizabeth Helander applicants.

The subject property is located along Sulphur Springs Road and Clays Mill Drive. The property consists of approximately 1 acre and is identified as follows:

Owners: Crescent Homes, Elizabeth Helander and Allison Magna

- Tax Map 058P, Group G Parcel 001.00 (2223 Clays Mill Drive) approximately 0.48 acres
- Tax Map 058P, Group G Parcel 002.00 (2222 Clays Mill Drive) approximately 0.45 acres

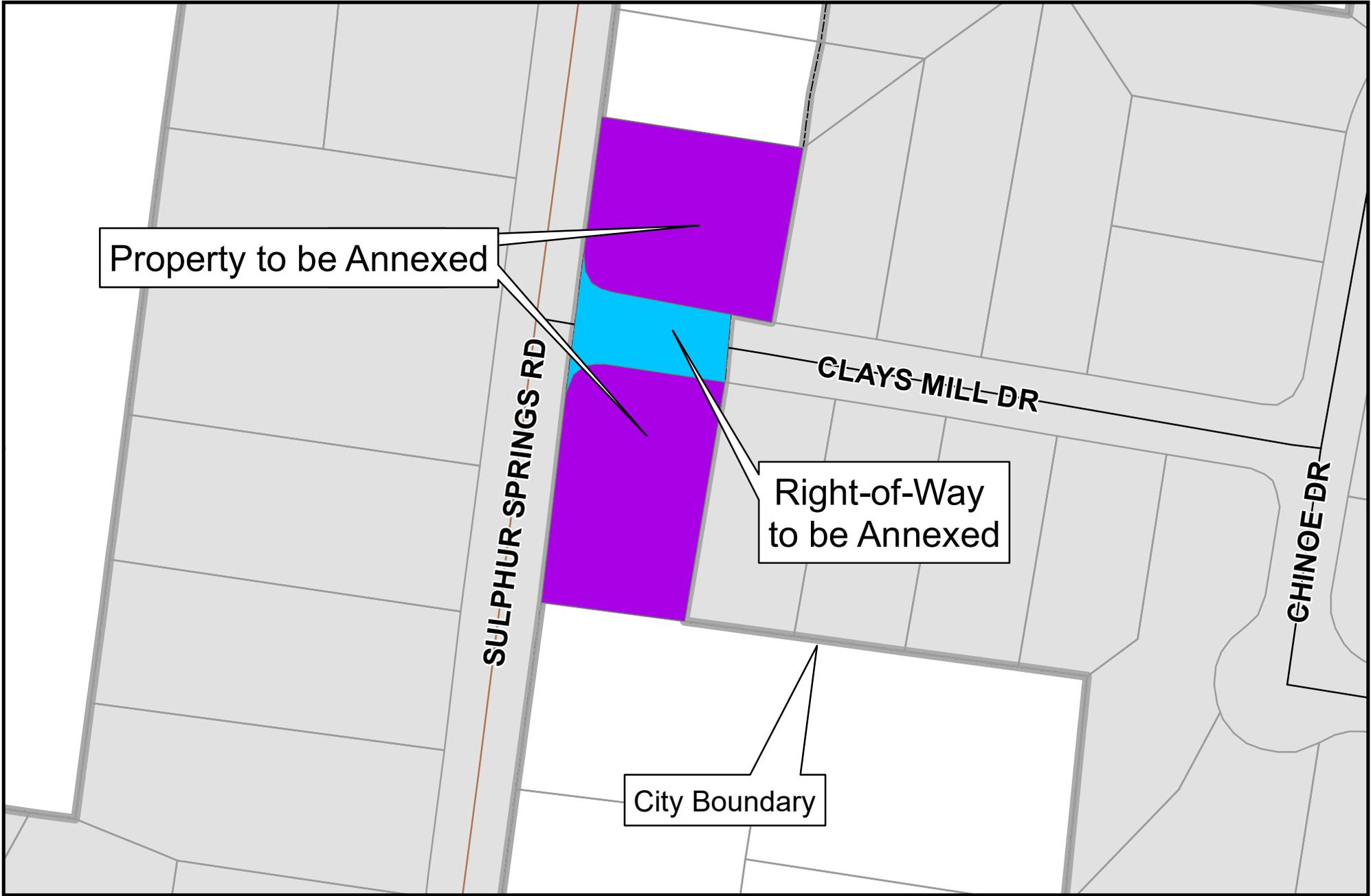
Right(s)-of-way

- Approximately 150 linear feet of Clays Mill Drive right-of-way (approximately 0.17 acres)

The study area consists of two lots that are a part of the Estates of Primm Springs, a developed, single-family subdivision. Written petitions requesting annexation have been filed with the City by the property owners. This annexation request was initiated by one of the homeowners who has received a waiver from Murfreesboro City Schools to send their child(ren) to Erma Siegel Elementary this Fall conditioned upon annexation of the property. The property will be zoned RS-15 (Single-Family, Residential District) if incorporated within City limits.

The subject property is located within the City's Urban Growth Boundary and is contiguous with the current City limits. It appears that the City will be able to extend most City provided services immediately upon the effective date of annexation. Included with this staff report is an *Annexation Feasibility Study and Plan of Services* that outlines a timeframe for the extension of services for consideration and adoption.

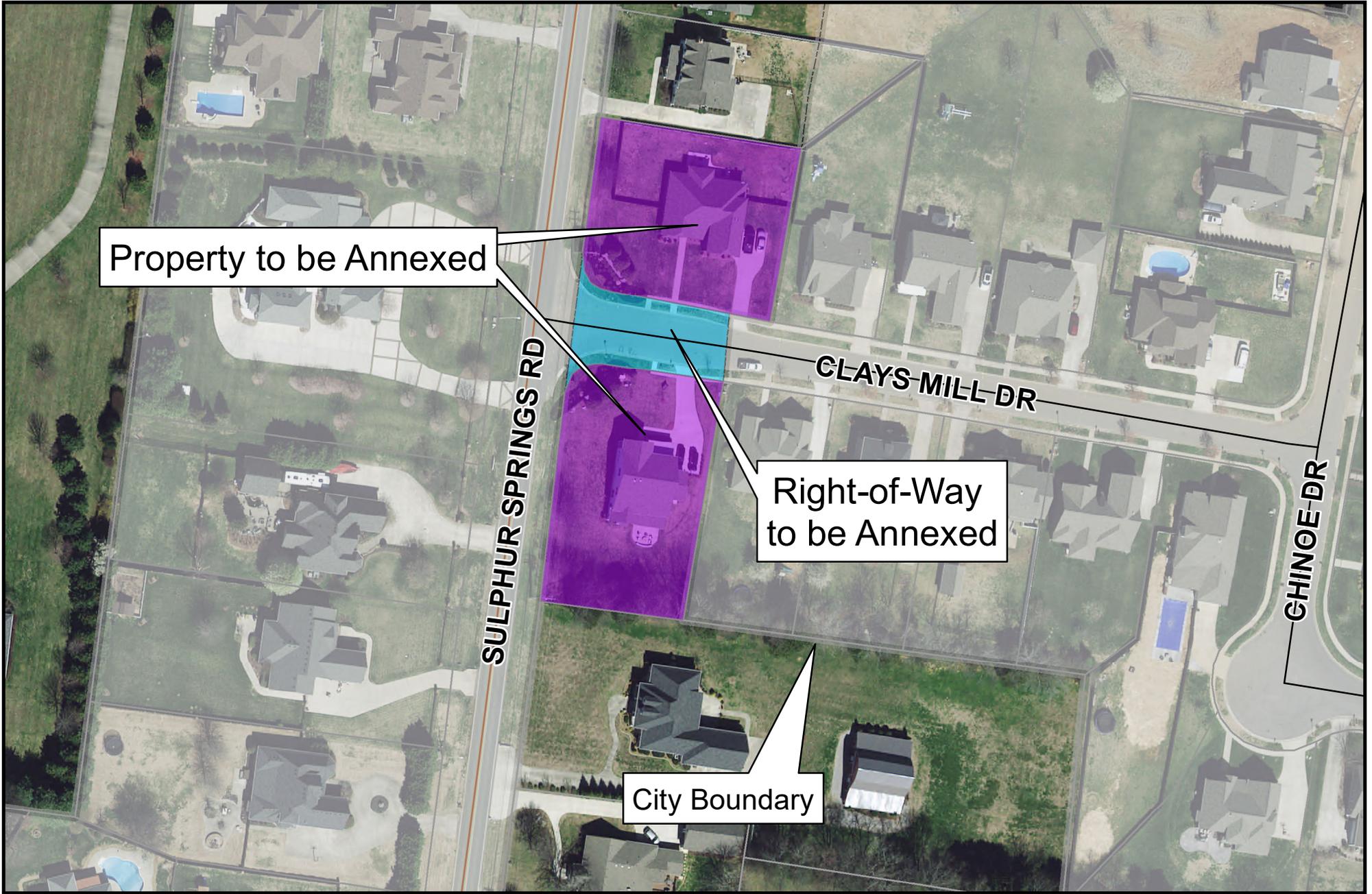
The Planning Commission will need to conduct a public hearing on the matter of the annexation petition and Plan of Services, after which it will need to formulate a recommendation for City Council.



Annexation Request for Property Along
Clays Mill Drive and Sulphur Springs Road



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Property to be Annexed

Right-of-Way to be Annexed

City Boundary

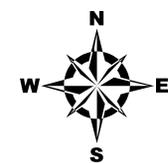
SULPHUR SPRINGS RD

CLAYS MILL DR

CHINOE DR



Annexation Request for Property Along Clays Mill Drive and Sulphur Springs Road

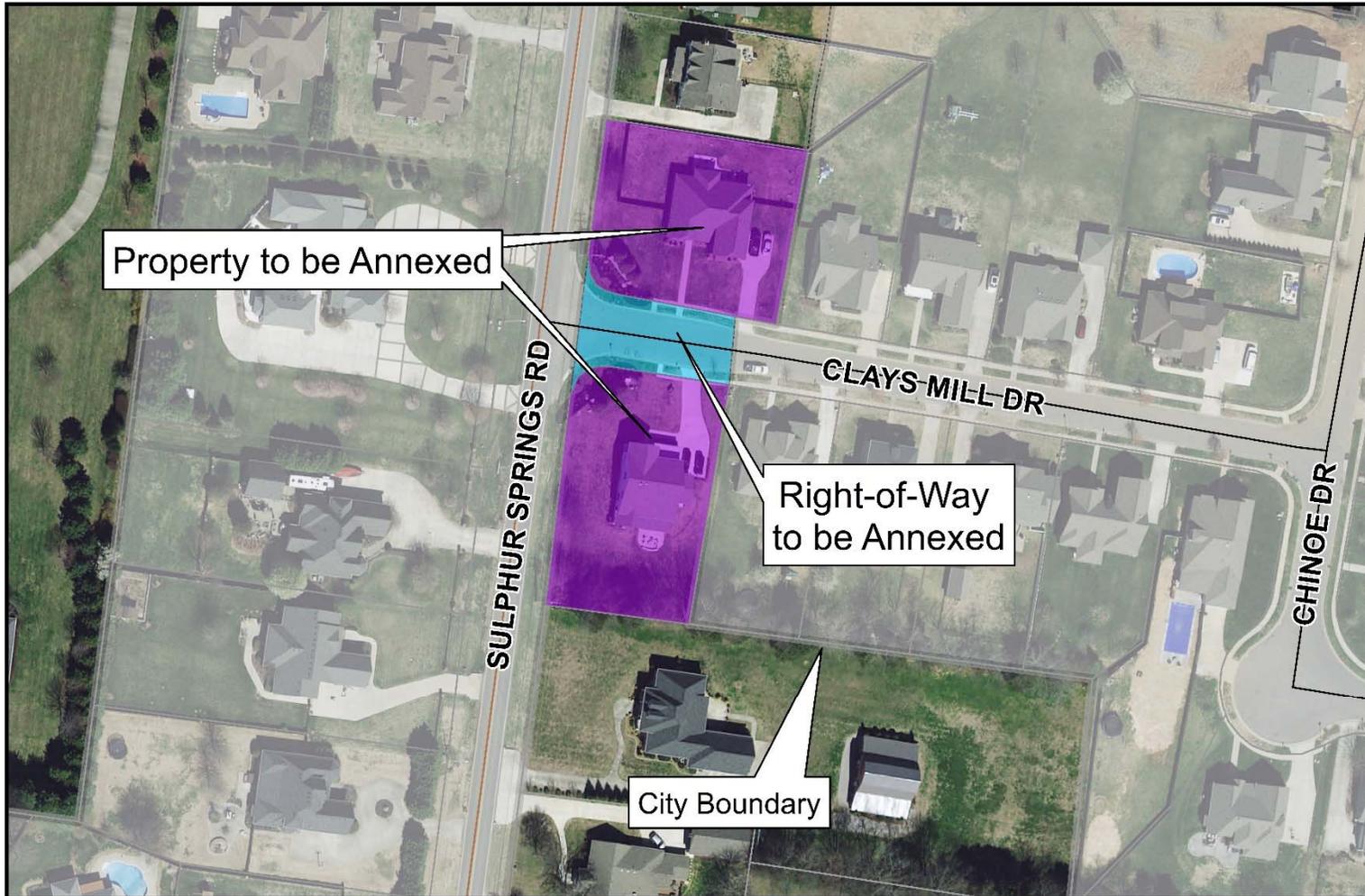


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**ANNEXATION REPORT FOR PROPERTY LOCATED
ALONG SULPHUR SPRINGS ROAD AND
CLAYS MILL DRIVE
INCLUDING PLAN OF SERVICES**



PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
September 2, 2020



Property to be Annexed

Right-of-Way to be Annexed

City Boundary

SULPHUR SPRINGS RD

CLAYS MILL DR

CHINOE DR



Annexation Request for Property Along Clays Mill Drive and Sulphur Springs Road



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INTRODUCTION

OVERVIEW

The area studied in this Plan of Services consists of two separate parcels located along Sulphur Springs Road and Clays Mill Drive (Tax Map 058P, Group G Parcel 001.00 and Tax Map 058P, Group G Parcel 002.00). Written petitions requesting annexation have been filed with the City by the property owners. This annexation request was initiated by one of the homeowners who received a waiver from Murfreesboro City Schools to send their child(ren) to Erma Siegel Elementary this Fall. That waiver was made contingent upon the resident filing an application for annexation of the property. The second parcel was added at the request of Planning Staff.

The subject property is located within the City's Urban Growth Boundary and is contiguous with current City limits. This annexation will result in an unincorporated area of Rutherford County being completely surrounded by the City of Murfreesboro.



Annexation Request for Property Along
Clays Mill Drive and Sulphur Springs Road

0 75 150 300 450 Feet



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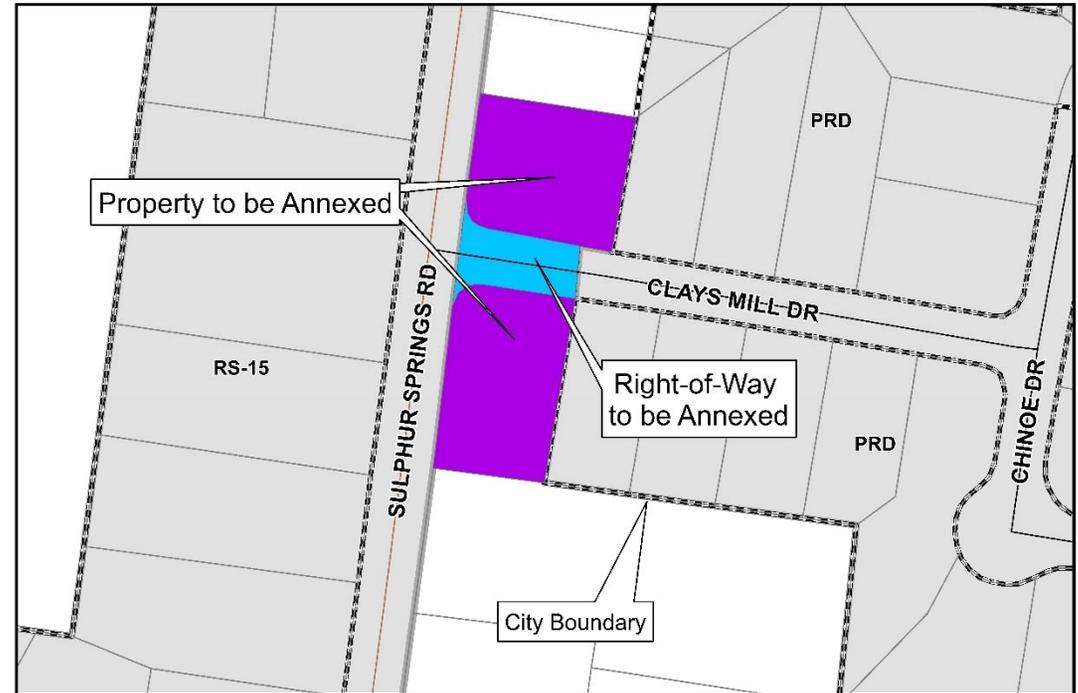
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CITY ZONING

The applicants have not requested a zoning change simultaneous with the properties' annexation.

The subject area is currently zoned RM (Residential – Medium Density) in the County. Both properties are developed with single-family dwelling units. These two lots are a part of the Estates of Primm Springs subdivision and are provided sanitary sewer service as an Outside the City Sewer customers.

Because the property owners have not made an application for zoning change, the properties will be zoned RS-15 (Single-Family, Residential District) upon the annexation becoming effective. In their current configuration, the lots appear to conform with the minimum lot size, width and setbacks established in the RS-15 district.



Annexation Request for Property Along
Clays Mill Drive and Sulphur Springs Road

0 75 150 300 450 Feet



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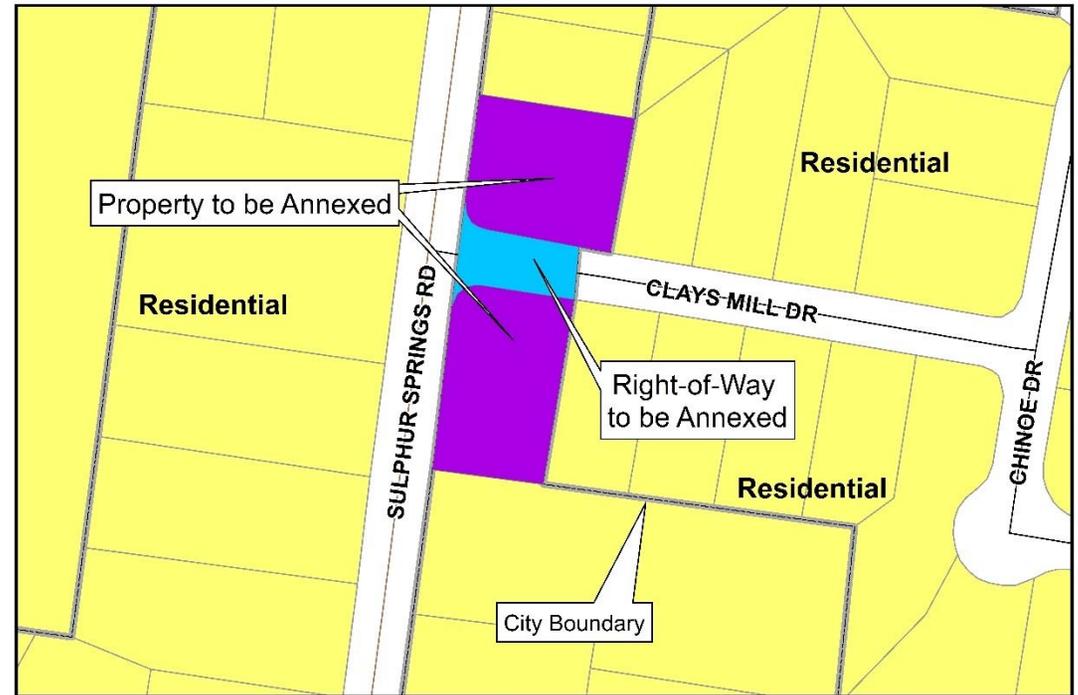
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PRESENT AND SURROUNDING LAND USE

The area being considered for annexation has two single-family dwellings. Each of these parcels is a corner lot and a part of the Estates at Primm Springs subdivision. Access to the study area is from Clays Mill Drive. The area surrounding the study area is characterized by large lots with residential uses.

The majority of the Estates of Primm Springs subdivision is within City limits and zoned PRD (Planned Residential District). The RS-15 lots located across Sulphur Springs Road are a part of the Oakleigh single-family subdivision.

The property will be zoned RS-15 (Single-Family, Residential District) if incorporated within City limits



Annexation Request for Property Along
Clays Mill Drive and Sulphur Springs Road



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TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2020 will be due on December 31, 2021. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor’s Office. The current tax rate for the City of Murfreesboro is \$1.2894/\$100 assessed value. Residential property is assessed at a rate of 25% of its appraised value and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected, if the property were to be annexed in its present state.

***Table I
Estimated Taxes from Site***

Owner of Record	Acres	Land Value	Improvements Value	Total Assessment	Estimated City Taxes
Allison Lynn Magna	0.45	70,000	248,900	\$79,725	\$1,027.97
CRESCENT HOMES TN LLC	0.479	70,000	373,800	\$110,950	\$1,430.59

These figures are for the property in its current state.

The City of Murfreesboro is also projected to receive additional revenue from state-shared taxes. Table II below shows the 2020-2021 per capita state revenue initial estimates for the City of Murfreesboro once the development is built out.

Table II
Per Capita State Revenue Estimates

General Fund	Per Capita Amount
State Sales Tax	\$86.00
State Beer Tax	\$0.48
Special Petroleum Products Tax (Gasoline Inspection Fee)	\$1.99
Gross Receipts (TVA in-lieu taxes)	\$12
<i>Total General Revenue Per Capita</i>	\$100.47
State Street Aid Funds	Per Capita Amount
Gasoline and Motor Fuel Taxes	\$35.00
<i>Total Per Capita (General and State Street Aid Funds)</i>	\$135.47
Total State-Shared Revenues (based on 2.58 per dwelling unit for 2 units)	\$677.35

The per capita state revenue estimates apply only to new residents.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police service through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE and other community crime prevention programs to the subject parcels immediately upon the effective date of annexation. This annexation will have no negative impact on the Murfreesboro Police Department. No additional costs to the department are expected. This property is located in Police Zone #6.

ELECTRIC SERVICE

The study area is currently served by Middle Tennessee Electric Membership Corporation (MTEMC).

STREET LIGHTING

Decorative street lights currently exist within the Estates at Primm Springs subdivision. MTEMC has not indicated streetlights will be added to Sulphur Springs Road.

CITY SCHOOLS

The Murfreesboro City School system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. The study area will be within the Siegel school zone.

SOLID WASTE COLLECTION

The City will provide weekly curbside solid waste collection service immediately upon the effective date of annexation, as well as brush/debris removal every two to three weeks. The initial day of service will be Friday. In its current state, no additional manpower will be needed to serve the study area. The city will provide two trash carts at a cost of \$106.60 (\$53.30 x 2).

Each of the two properties included in the annexation study area will be charged \$7.50 per month for garbage pickup which will be collected with their monthly Consolidated Utility District water bill.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to residents of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro tax payers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

STREETS AND ACCESS

The parcels included in the study area have direct access to Clay Mills Road. Upon annexation, the remaining 150 linear feet of Clays Mill right-of-way will become the responsibility of the City of Murfreesboro. This portion of Clays Mill Drive was built to City Standards.

The parcel has frontage, but no access to, Sulphur Springs Road. Sulphur Springs Road is a substandard street and is identified on the Major Transportation Plan as a future 5-lane street. There is \$23,985 in escrow paid by the developer of Estates of Primm Springs as fees in lieu for improvements for Sulphur Springs Road. There will be no future public roadway facilities to serve the study area, the study area is two lots developed with single family homes.

STORMWATER MANAGEMENT

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area and existing and new improvements will be subject to the Stormwater Utility Fee. The study area currently has 2 single family residences and will generate approximately \$78 per year in revenue for the Stormwater Utility Fee.

Existing public drainage systems are located in Clays Mill Drive and drain to the detention pond located in Estates of Primm Springs.

SANITARY SEWER SERVICE

The study area being considered for annexation is already connected to and receiving sanitary sewer service from the Murfreesboro Water Resource Department (MWRD). The infrastructure was installed with the Estates at Primm Springs, Section I Subdivision. Therefore, the annexation of the property will not affect the MWRD.

The monthly sewer rate for these customers will be reduced to the "inside city" sewer rate instead of "outside city" sewer rate.

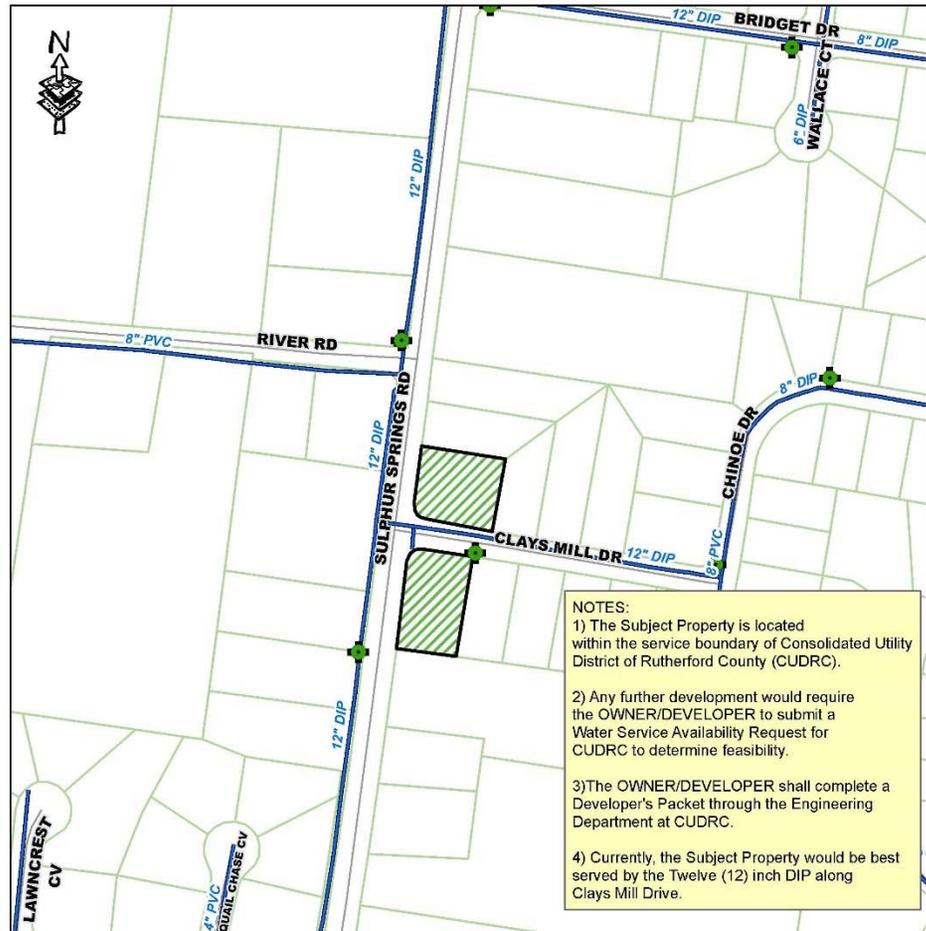
Each of the two properties included in the annexation study area will be charged \$3.25 per month for the stormwater fee which will be added to their monthly Consolidated Utility District water bill.

WATER SERVICE

The study area is served by a 12-inch Consolidated Utility District (CUD) water line along Clays Mill Road. This line is adequate for providing domestic water service and for maintaining the proper fire flows for the proposed development.

Each of the two properties included in the annexation study area will be charged \$7.50 per month for garbage pickup as well as \$3.25 per month for the stormwater fee which will be added to their monthly Consolidated Utility District water bill.

2222 and 2223 Clays Mill Drive Annexation Request



-  CUD FIRE HYDRANT
-  CUD WATER MAIN
-  SUBJECT PROPERTY

AUGUST 6, 2020

TAX MAP: 58P GROUP: G
PARCELS: 1.00, 2.00

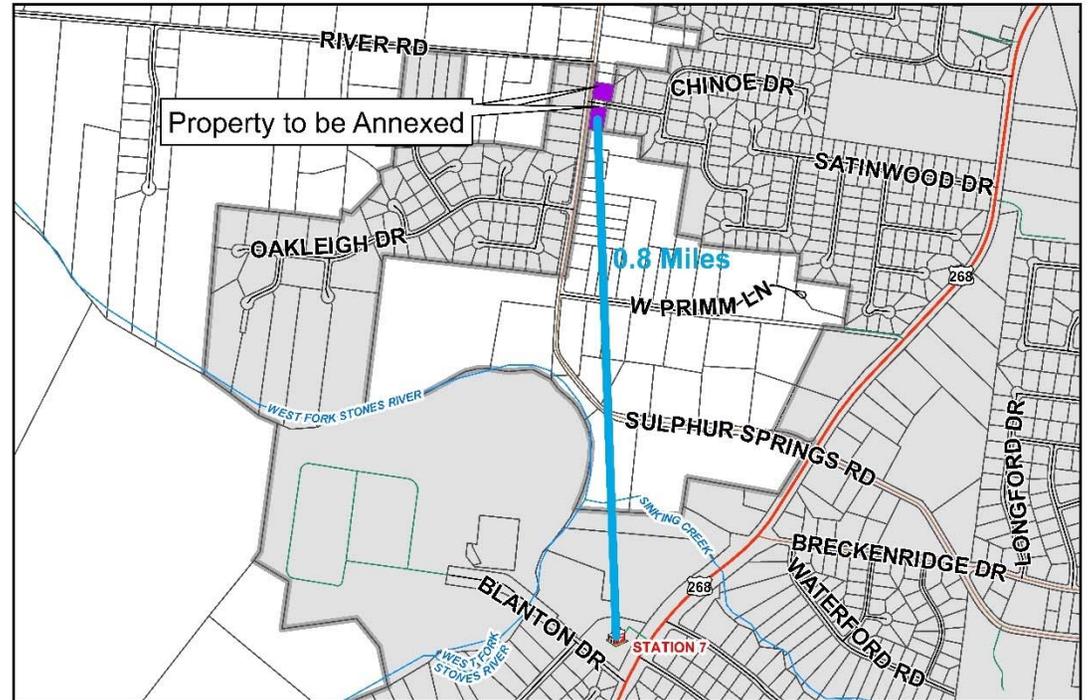


FIRE AND EMERGENCY SERVICE

The Murfreesboro Fire and Rescue Department will begin providing fire protection and medical first responder service to the study area immediately upon the effective date of annexation. This annexation will have no negative impact on the Murfreesboro Fire and Rescue Department (MFRD).

There is a 12-inch Consolidated Utility District water line that serves the subject property. This line is adequate for maintaining the proper fire flows for the proposed development.

The closest operating fire station to the subject property is Fire Station #7, located at 2715 North Thompson Lane, approximately 1.1 miles from the study area. Fire Station #6, located at 2302 Memorial Boulevard, is approximately 4.9 miles from the study area. The MFRD can provide ISO Class One (1) fire protection.



Annexation Request for Property Along Clays Mill Drive



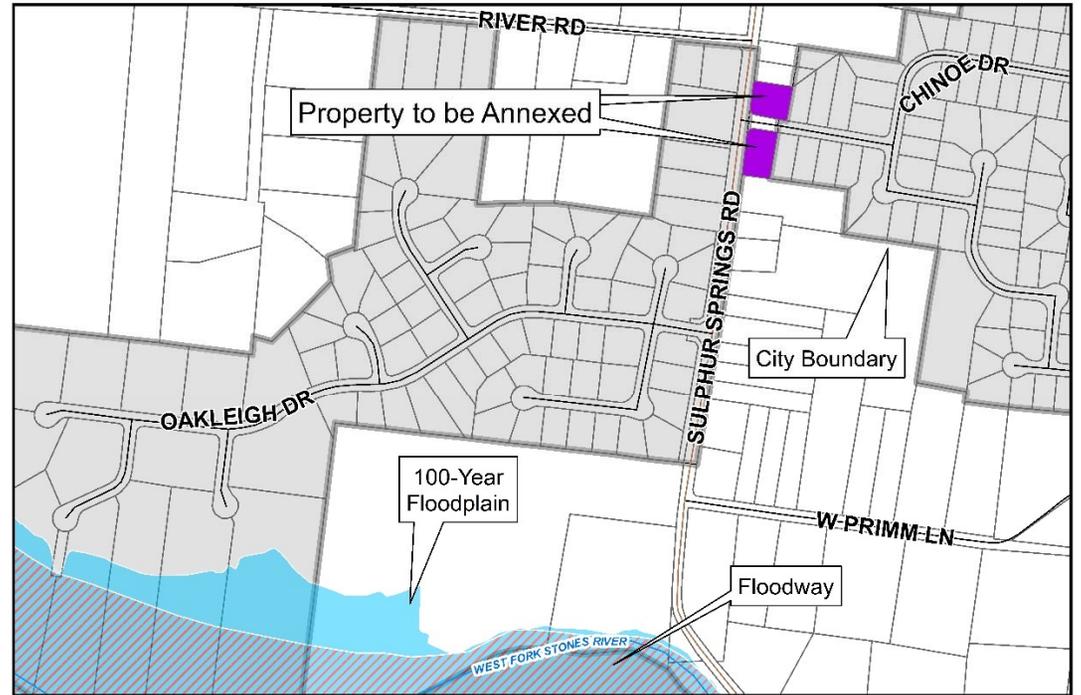
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FLOODWAY

The study area is not located within a floodway or 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA).

The adjacent map shows the West Fork Stones River floodway and the 100-year floodplain boundary in blue.



Annexation Request for Property Along Clays Mill Drive and Sulphur Springs Road



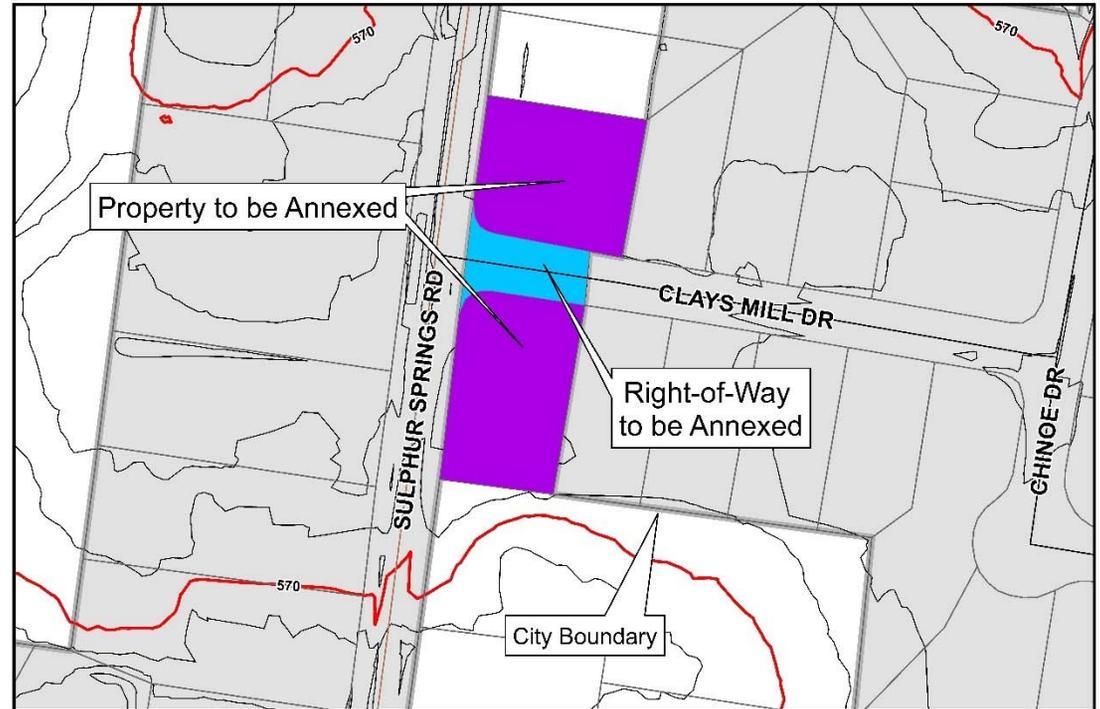
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DRAINAGE

Existing public drainage systems are located in Clays Mill Drive and drain to the detention pond located in Estates of Primm Springs. .

The red lines on the adjacent map represent ten-foot contours. The black lines represent two-foot intervals.



Annexation Request for Property Along Clays Mill Drive and Sulphur Springs Road

0 75 150 300 450 Feet



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PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to Public Chapter 1101 passed by the Tennessee Legislature, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

BUILDING AND CODES

The property will immediately come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

PLAT NOTES

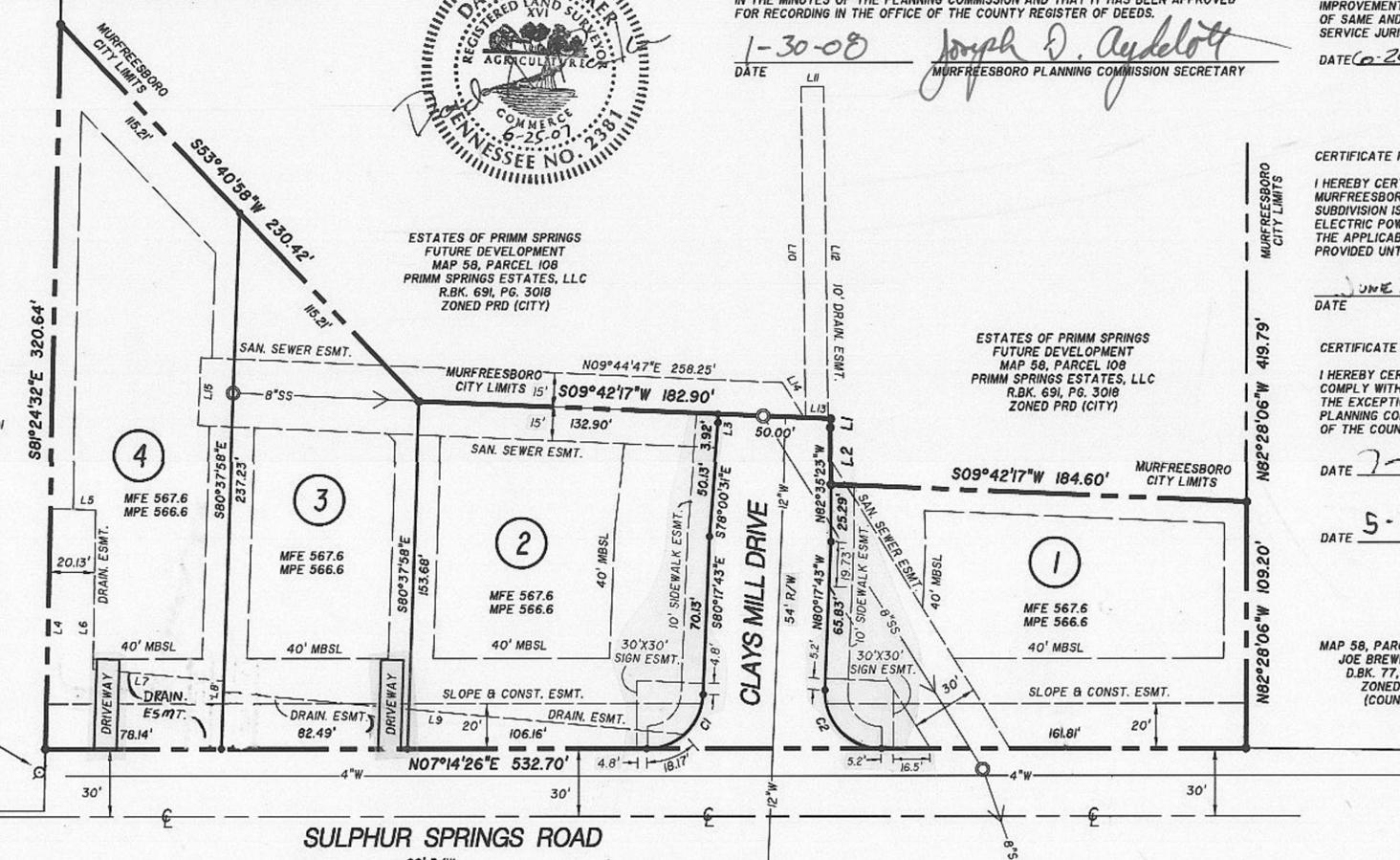
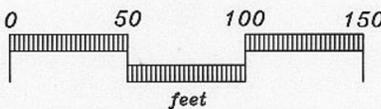
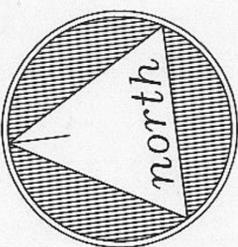
- THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE A PORTION OF MAP 58, PARCEL 108 INTO 35 SINGLE FAMILY LOTS.
- IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE HOUSE, FROM HIS STRUCTURE TO THE DRAINAGE CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- PARCELS MAY BE SUBJECT TO ADDITIONAL EASEMENTS AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- PUBLIC UTILITY EASEMENTS, IF AND WHERE SHOWN HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES AND DRAINAGE WAYS, INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- IN TENNESSEE IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUED AREAS WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN 15 DAYS TO THE DENUED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 60 DAYS.
- PROPERTIES ADJACENT TO THE SITE OF LAND SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, THIS MAY BE ACCOMPLISHED BY PRESERVING A WELL-VEGETATED BUFFER STRIP AROUND THE LOWER PERIMETER OF THE LAND DISTURBANCE; BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENT BARRIERS, FILTERS OR DIKES, OR SEDIMENT BASINS; OR BY A COMBINATION OF SUCH MEASURES.
- NO FILL MATERIAL, RUBBISH, OR BUILDING MAY BE PLACED IN ANY NATURAL DRAINAGE WAY, SUCH AS STREAM BEDS, SINKHOLES, UNDERGROUND STREAMS OR CHANNELS, OR WET WEATHER STREAM BEDS OR FLOODWAYS.
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN THE 100 YEAR FLOODPLAIN, PER FEMA FIRM MAP NO. 47149C045 H, EFFECTIVE DATE JANUARY 5, 2007.
- MINIMUM SETBACKS FOR LOTS AS SHOWN HEREON UNLESS NOTED OTHERWISE:
FRONT - 40 FT.
SIDE - 10 FT.
REAR - 20 FT.
- PROPERTY IS CURRENTLY ZONED R-15.
- BEARING SYSTEM IS STATE PLANE COORDINATES BASED ON THE CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENT UG802-083.
- ALL FIRE HYDRANTS SHALL BE PLACED IN COORDINATION WITH CONSOLIDATED UTILITY DISTRICT.
- NO DRIVEWAY ACCESS TO SULPHUR SPRINGS ROAD FROM LOTS 1 & 2.
- LOTS 1-4 ARE NOT WITHIN A FLOOD ZONE; HOWEVER, MINIMUM PAD & FLOOR ELEVATIONS HAVE BEEN ESTABLISHED TO PROTECT THE HOMEOWNER FROM POSSIBLE HIGH WATER IN NEARBY DRAINAGE DITCHES.
- MAINTENANCE OF THE DRAINAGE EASEMENT FOR LOTS 2-4 IS THE RESPONSIBILITY OF THE HOMEOWNERS FOR THESE LOTS.
- AGREEMENT FOR SEWER SERVICE OUTSIDE THE CITY LIMITS.
RECORD BOOK 762 PAGES 3476-3480
BENCHMARK
RR SPIKE IN POWER POLE
ELEV=567.26
- HOA docs. recorded in
RB 774, pg. 2383
RB 782, pg. 2877

LOT AREAS

LOT	SQ FT	ACRES
1	20,882	0.479
2	19,619	0.450
3	16,112	0.370
4	22,302	0.512

LINE DATA

LINE	BEARING	DISTANCE
L1	N80°17'43"W	3.92'
L2	N82°35'23"W	24.66'
L3	S80°17'43"E	3.92'
L4	S81°24'32"E	106.51'
L5	S08°35'28"W	20.00'
L6	N81°41'02"W	70.64'
L7	S12°28'46"W	58.60'
L8	N77°31'14"W	5.00'
L9	S12°28'46"W	205.19'
L10	S83°27'23"E	145.94'
L11	S06°32'37"W	10.00'
L12	N83°27'23"W	146.85'
L13	N09°42'17"E	11.85'
L14	N65°25'13"E	18.15'
L15	N80°15'13"W	30.00'



CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	87°32'08"	25.00'	38.19'	23.95'	34.59'	S36°31'38"E
C2	92°27'52"	25.00'	40.35'	26.10'	36.11'	S53°28'22"W

LEGEND

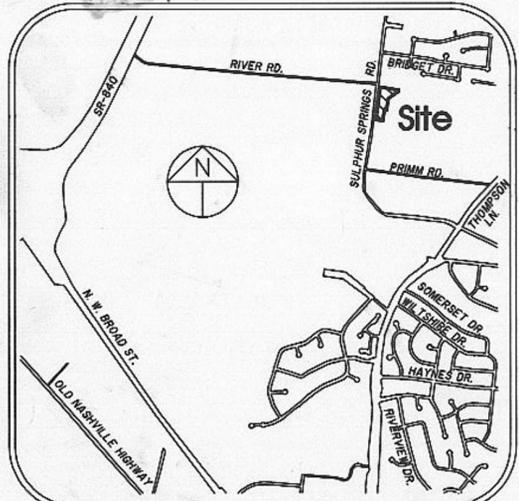
- IRON PIN (FOUND)
- IRON PIN SET (NEW)
- 8"W — WATER LINE w/ FIRE HYD.
- ○ — SEWER LINE w/ MANHOLE

I hereby certify that this plat has been reviewed and payment received for the Rutherford County Development Tax.
Tax Certificate No. 1787 EN 5-9-08
Rutherford County Regional Planning Commission

SITE DATA:

TOTAL AREA SECTION I = 1.997 ACRES
AREA IN 4 LOTS = 1.811 ACRES
AREA IN RIGHT-OF-WAY = 0.186 ACRES
ZONING = R-15

PLAT BOOK 34, PAGE 48
TIME OF RECORDING: 3:27 P.M.
DATE OF RECORDING: May 14, 2008



LOCATION MAP
N.T.S.

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE
I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, AND DRAINAGE IMPROVEMENTS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE 1-29-08
CITY ENGINEER *Chris [Signature]*

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE LOCAL HEALTH AUTHORITY.

DATE 7/2/07
MURFREESBORO WATER AND SEWER OFFICIAL *Ram W. Gore*

CERTIFICATE OF APPROVAL FOR RECORDING (MURFREESBORO)

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER OF DEEDS.

DATE 1-30-08
MURFREESBORO PLANNING COMMISSION SECRETARY *Joseph D. Aydelott*

CERTIFICATE OF ACCURACY
I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE 6/26/07
RECORD BOOK 691, PAGE 3018
PRIMM SPRINGS ESTATES, LLC
RICK BLACKBURN, SECRETARY

CERTIFICATE OF APPROVAL FOR WATER

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE RUTHERFORD COUNTY, TENNESSEE, PLANNING COMMISSION, THAT THE PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1/10,000, AND THAT MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE COUNTY ROAD COMMISSIONER OR COUNTY ENGINEER.

SEC. INC. 6-25-07
DATE 6-25-07
TENN. R.L.S. No. 2381
David A. Parker
REGISTERED SURVEYOR

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME AND THAT THE LAND SHOWN TO BE SUBDIVIDED HEREON IS WITHIN THE WATER SERVICE JURISDICTION OF MURFREESBORO WATER AND SEWER DEPARTMENT.

DATE 6-26-07
CONSOLIDATED UTILITY DISTRICT
OF RUTHERFORD COUNTY

CERTIFICATE OF APPROVAL FOR RECORDING (RUTHERFORD COUNTY)

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT (MED) FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLYING WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

DATE JUNE 25, 2007
ELECTRIC POWER OFFICIAL *Will [Signature]*

CERTIFICATE OF APPROVAL FOR RECORDING (RUTHERFORD COUNTY)

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE 7-9-07
CHAIRMAN, PLANNING COMMISSION
RUTHERFORD COUNTY
DATE 5-14-08
SECRETARY, PLANNING COMMISSION
RUTHERFORD COUNTY

MAP 58, PARCEL 108.03
JOE BREWER EST.
D.B.K. 77, PG. 15
ZONED R15
(COUNTY)

OWNER/DEVELOPER:
PRIMM SPRINGS ESTATES, LLC
CONTACT: RICK BLACKBURN
6026 NOLENSVILLE RD.
NASHVILLE, TN 37211
DEED REFERENCE:
RECORD BOOK 691, PG. 3018, R.O.R.C.
TAX MAP 58, PARCEL 108

FINAL PLAT

SECTION I
ESTATES OF PRIMM SPRINGS
SUBDIVISION

9th CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

SEC, Inc. **SITE ENGINEERING CONSULTANTS**
ENGINEERING • SURVEYING • LAND PLANNING
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 05232	DATE: 06-07-07	FILE: PRIMMSPRGS PLATI	DRAWN BY: ACAD/LP	SCALE: 1" = 50'	SHEET I OF 1
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07-2102 06-156

06-156

06-156

Consent for Annexation of Public Right-of-Way by the City of Murfreesboro

The City of Murfreesboro, Tennessee has initiated an annexation study of public right-of-way as shown on the attached Exhibit, which specifically includes that section of Clays Mill Drive directly in front of 2223 Clays Mill Drive, totaling approximately 150 linear feet (“County Right-of-Way”), such section being a portion of the prescriptive/platted right-of-way for Clays Mill Drive shown in the current Rutherford County Highway Department Road Book. The undersigned, a duly authorized official of Rutherford County, Tennessee, hereby certifies that, at a public meeting held on August 3, 2020 and in furtherance of the requirements set forth in Tenn.Code Ann. § 6-51-1014, the Rutherford County Highway Commission consented to the annexation of the County Right-of-Way by the City of Murfreesboro, Tennessee.

WITNESS MY HAND this ___ day of _____ 2020.

Greg Brooks
Rutherford County Road Superintendent

Sworn to and subscribed before me, a notary public in and for said county and state in Murfreesboro, Tennessee on the ___ day of _____.

NOTARY PUBLIC

My Commission Expires: _____

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Crescent Homes Realty, LLC - Ted Terry
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: [Signature] Status: President & CEO Date: 6-29-2020

101 Forrest Crossing Blvd. , Suite 107. Franklin, TN 37064
Mailing Address (if not address of property to be annexed)

2.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ **Yes**

Power of Attorney applies and is attached: _____ **Yes** **No**

\$ 500.00 pd 7/16 Receipt 279 238

20-503

2223 CLAYS MILL DR Murfreesboro TN 37130
ESTATES of PRIMMSPRINGS

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

Chris and Elizabeth Helander/New Owners as of 7/22/2020

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Christopher Helander Status: OWNERS Date: 07/22/2020

Mailing Address (if not address of property to be annexed)

2. Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3. Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4. Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: ON FILE Yes

Power of Attorney applies and is attached: _____ Yes X No

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Allison Lynn Magna
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: [Signature] Status: M Date: 7/10/20
Mailing Address (if not address of property to be annexed)

2. BOBBY MAGNA JR.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: [Signature] Status: M Date: 7/20/20
Mailing Address (if not address of property to be annexed)

3.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____
Mailing Address (if not address of property to be annexed)

4.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____
Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes _____ No

1

WARRANTY DEED	STATE OF TENNESSEE, COUNTY OF DAVIDSON
	<p>THE ACTUAL CONSIDERATION OR VALUE, WHICHEVER IS GREATER FOR THIS TRANSFER IS \$130,000.00</p> <p><i>[Signature]</i> Affiant</p> <p>Subscribed and sworn to me on August 4,</p> <p><i>[Signature]</i> NOTARY PUBLIC</p> <p>My Commission Expires: 03-07-17</p>

THIS INSTRUMENT WAS PREPARED BY:
 Richard W. Sebastian
 ORTALE, KELLEY, HERBERT & CRAWFORD
 330 Commerce Street, Suite 110
 Nashville, TN 37201
 Our File #29392CSP

NAME/ADDRESS OF NEW OWNER:	SEND TAX BILLS TO:	MAP - PARCEL #
Crescent Homes TN, LLC 572 Savannah Highway Charleston, SC 29407	SAME ADDRESS AS NEW OWNER	058P-G-001 (Lot 1) 058P-G-004 (Lot 4)

FOR AND IN CONSIDERATION of Ten (\$10.00) Dollars, cash in hand paid by the hereinafter named Grantee, and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, McGowan Family Limited Partnership, a Tennessee limited partnership, hereinafter called "**GRANTOR**," has bargained and sold, and by these presents does transfer and convey unto Crescent Homes TN, LLC, a Delaware limited liability company, hereinafter called "**GRANTEE**," its successors and assigns, a certain tract or parcel of land in Rutherford County, State of Tennessee, described as follows:

Land in Rutherford County, Tennessee, being Lot Nos. 1 & 4, as shown on the Final Plat of Section One, Estates of Primm Springs Subdivision, of record in Plat Book 34, page 48, in the Register's Office for Rutherford County, Tennessee, to which plat reference is hereby made for a more complete legal description.

Being a portion of the same property conveyed to McGowan Family Limited Partnership, a Tennessee limited partnership by Deed from Primm Springs Estates, LLC, of record in Record Book 1357, page 2366 as corrected in Record Book 1361, page 2412, in the Register's Office for Rutherford County, Tennessee.

The conveyance of the above-described parcel of land is subject to the following:

1. 2016 Rutherford County and City of Murfreesboro taxes which have been prorated by the parties and assumed by the Grantee.
2. Matters shown on plan of record in Plat Book 34, page 48, Register's Office for Rutherford County, Tennessee.
3. Declaration of Covenants, Conditions and Restrictions, of record in Record Book 774, page 2383, as amended of record in Record Book 782, page 2877 and Record Book 1399, page 3188 as corrected by Record Book 1435, page 2397 and as further amended in Record Book 1482, page 3174, Register's Office for Rutherford County, Tennessee.

Heather Dawbarn, Register
 Rutherford County Tennessee

Rec #: 877873	Instrument #: 2035885
Rec'd: 15.00	
State: 481.00	
Clerk: 1.00	Recorded
Other: 2.00	8/10/2016 at 9:10 AM
Total: 499.00	in
	Record Book 1492 Pgs 2747-2749

4. Consent for Drainage granted to City of Murfreesboro of record in Record Book 166, page 1231, said Register's Office.
5. Right-of-Way Easement to Middle Tennessee Electric Membership Corporation of record in Deed Book 280, page 763, said Register's office.
6. Subdivision and Street Grant Easement of record in Record Book 843, page 1805, in the Register's Office for Rutherford County, Tennessee.
7. Permanent Drainage Easements conveyed to the City of Murfreesboro of record in Record Book 798, pages 3560 and 3564, in the Register's Office for Rutherford County, Tennessee.
8. Agreement for Water and Sewer Service to Property Outside City Limits of record in Record Book 762, page 3476, in the Register's Office for Rutherford County, Tennessee.
9. Subject to any and all zoning regulations, building restrictions, setback lines, if any, and easements and rights of way for public utilities applicable to this property.

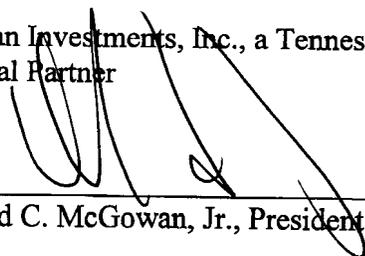
These properties are also known as Lots 1 & 4, Sulphur Springs Road, Estates of Primm Springs, Murfreesboro, Rutherford County, TN 37127.

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title and interest thereto belonging to the said GRANTEE, its successors and assigns, forever, and GRANTOR does covenant with the said GRANTEE that it is lawfully seized and possessed of said land in fee simple, has a good right to convey it, and the same is unencumbered, unless otherwise herein set out; and GRANTOR does further covenant and bind itself, its successors and assigns, to warrant and forever defend the title to the said land to the said GRANTEE, its successors and assigns, against the lawful claims of all persons whomsoever. Wherever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

WITNESS my hand on August 4, 2016.

McGowan Family Limited Partnership, a Tennessee
Limited Partnership

By: McGowan Investments, Inc., a Tennessee Corporation,
its General Partner

By: 

David C. McGowan, Jr., President

STATE OF TENNESSEE, COUNTY OF DAVIDSON

Personally appeared before me, the undersigned, a notary public for the state and county aforesaid, David C. McGowan, Jr., with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged himself to be the President of McGowan Investments, Inc., which entity is a General Partner of McGowan Family Limited Partnership, a Tennessee limited partnership, the within named bargainer, and that he as such President executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation as General Partner in his capacity as President of McGowan Investments, Inc.

Witness my hand and official seal on August 4, 2016.

June E. Rowell
Notary Public

My Commission Expires: 1-9-18



NOTARY PUBLIC
June E. Rowell
My Commission Expires
January 9, 2018
STATE OF TENNESSEE

Heather Dawbarn, Register
Rutherford County Tennessee

Rec #: 1056907 Instrument #: 2284647
Rec'd: 20.00 Recorded
State: 1324.60 6/29/2020 at 9:38 AM
Clerk: 1.00 in Record Book
Other: 2.00 1923
Total: 1347.60

Pages 1000-1003

This instrument prepared by:
Momentum Title, LLC
630 W. Burton Street
Murfreesboro, TN 37130
File Number: 3-20-7571

STATE OF TENNESSEE
COUNTY OF Hindsboro

The actual consideration or value, whichever is greater, for this transfer is \$358,000.00.

[Signature]
Affiant

Subscribed and sworn to before me, this the 26th day of June, 2020.

[Signature]
Notary Public
My Commission Expires: 6-11-21



Address New Owner(s)	Send Tax Bills To:	Map-Parcel Number(s)
Allison Lynn Magna and Robert Sebastian Magna, Jr. 2222 Clays Mill Drive Murfreesboro, TN 37129	Acopia, LLC 306 Northcreek Blvd Suite 100 Goodlettsville, TN 37072	058P-G-002.00-000

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten and no/100 Dollars (\$10.00), cash in hand paid by the hereinafter named Grantee(s), and other good and valuable consideration, the receipt of which is hereby acknowledged, I/we, **Delfonta Kelly and Reshonda Kelly, husband and wife**, hereinafter called the Grantor(s), have bargained and sold, and by these presents do transfer and convey unto **Allison Lynn Magna and Robert Sebastian Magna, Jr., wife and husband**, hereinafter called the Grantee(s), his/her/their heirs and assigns, a certain tract or parcel of land in Rutherford County, State of Tennessee, described as follows, to wit:

Lot 2, Section 1, Estates of Primm Springs Subdivision, as shown on plat of record in Plat Book 34, Page 48, in the Register's Office, Rutherford County, Tennessee, to which plat reference is hereby made for a more particular description of said property.

Being the same property conveyed to Delfonta Kelly and Reshonda Kelly, husband and wife, by Warranty Deed from Landmark Homes of Tennessee, Inc., of record in Record Book 1371, Page 1768, in the Register's Office of Rutherford County, Tennessee, dated March 27, 2015 and recorded on April 30, 2015.

This Instrument executed on behalf of Delfonta Kelly and Reshonda Kelly ("Principal") by Reshonda Kelly pursuant to the Power of Attorney of record in Book 1922, Page 3995, Register's Office for Rutherford County, Tennessee. The affidavit of said Attorney in Fact is attached as Exhibit "A" to this instrument and incorporated herein by reference.

This is improved or unimproved property located at: **2222 Clays Mill Drive, Murfreesboro, TN 37129**

This conveyance is made subject to 1) Property taxes for the year 2020 a lien not yet due and payable. Said taxes have been prorated between the parties as of the date of this instrument, with the Grantor paying their prorated share thereof to the Grantee who will be responsible for payment of said taxes; 2) all applicable zoning ordinances; 3) utility, sewer, drainage and other easements of record; 4) all subdivision/condominium assessments, covenants, bylaws, restrictions, declarations and easements of record; 5) building restrictions; and 6) other matters of public record.

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title and interest thereto belonging to the said GRANTEES, their heirs and assigns forever, and we do

covenant with the said GRANTEES that we are lawfully seized and possessed of said land in fee simple, have a good right to convey it and the same is unencumbered, unless otherwise herein set out; and we do further covenant and bind ourselves, our heirs and representatives, to warrant and forever defend the title to the said land to the said GRANTEES, their heirs and assigns, against the lawful claims of all persons whomsoever. Whenever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, Grantor has executed this instrument on this 26th day of June, 2020.

GRANTOR:

Delfonta Kelly
Delfonta Kelly by Reshonda Kelly, his Attorney-In-Fact

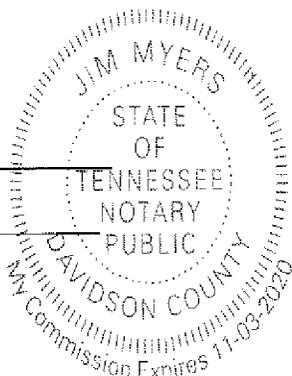
Reshonda Kelly
Reshonda Kelly

STATE OF TENNESSEE
COUNTY OF Rutherford

Before me, the undersigned, a Notary Public of the State and County aforesaid, personally appeared Delfonta Kelly and Reshonda Kelly, the within named bargainer(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged that he/she/they executed the foregoing instrument for the purposes therein contained.

WITNESS my hand and seal at office this 26th day of June, 2020.

Jim Myers
Notary Public
My Commission expires: _____



STATE OF TENNESSEE
COUNTY OF Rutherford

Before me, the undersigned, a Notary Public of the State and County aforesaid, personally appeared Reshonda Kelly the within named bargainer(s), with whom I am personally acquainted (or whose identity was proved to me on the basis of satisfactory evidence), and who acknowledged the execution of the within instrument on behalf of Delfonta Kelly ("Principal"), as Attorney-in-Fact and as the free Act and Deed of the said Principal.

WITNESS my hand and seal at office this 26th day of June, 2020.

Jim Myers
Notary Public
My Commission expires: _____

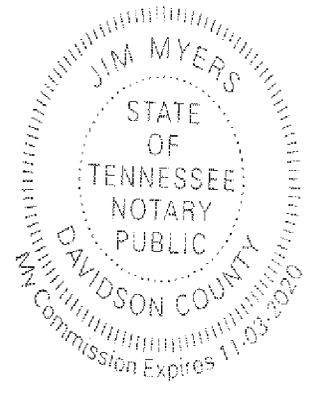


EXHIBIT "A"
TO Warranty Deed
From: Delfonta Kelly and Reshonda Kelly
To: Allison Lynn Magna and Robert Sebastian Magna, Jr.

STATE OF TENNESSEE
COUNTY OF Davidson

The undersigned Affiant, being first duly sworn, deposes and says as follows:

1. That the document to which this affidavit is exhibited is executed by the undersigned as Attorney in Fact for the Principal(s) thereon shown.
2. That this execution is proper and within the scope of the Power of Attorney referenced in the instrument.
3. Pursuant to the provisions of Tennessee Code Annotated, Section 34-6-105(c), of the Uniform Durable Power of Attorney Act, the undersigned Affiant certifies that at the time of execution of said documents the Affiant had no knowledge or notice of the termination of the Power-of-Attorney, either by revocation or by the principal's death, disability, or capacity.

Further the Affiant Saith not.

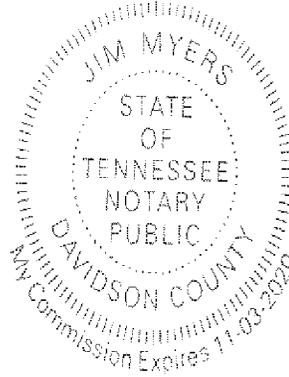


Affiant

WITNESS my hand and seal at office this 26th day of June, 2020.

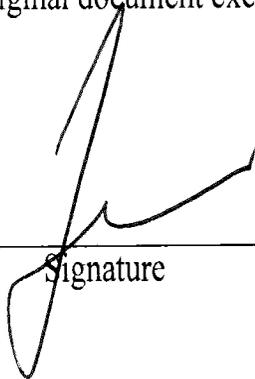


Notary Public
My Commission Expires: _____



True Copy Certification

I, Trudy Milliken, do hereby make oath that I am a licensed attorney and/or the custodian of the electronic version of the attached document tendered for registration herewith and that this is a true and correct copy of the original document executed and authenticated according to law.

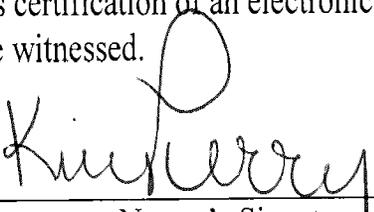


Signature

State of Tennessee

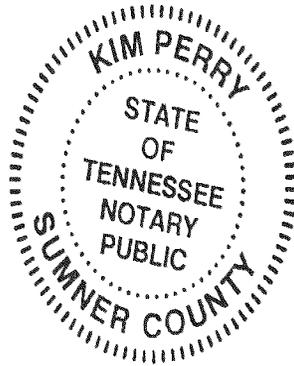
County of Sumner

Personally appeared before me, Kim Perry, a notary public for this county and state, Trudy Milliken who acknowledges that this certification of an electronic document is true and correct and whose signature I have witnessed.



Notary's Signature

My Commission Expires: 3/2/21
Notary' Seal (if on paper)



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
SEPTEMBER 2, 2020
PROJECT PLANNER: MARINA RUSH**

4.c Annexation Plan of Services and Annexation Petition [2020-502] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road, Overall Creek Partners and Somphone Ruangtip applicants.

The subject property is located along the west side of Veterans Parkway north of Franklin Road. The study area includes two parcels, each is developed with a single-family residence. The annexation study area does not include any Right-of-Way (ROW). The total annexation area is 2.12 acres and identified as follows:

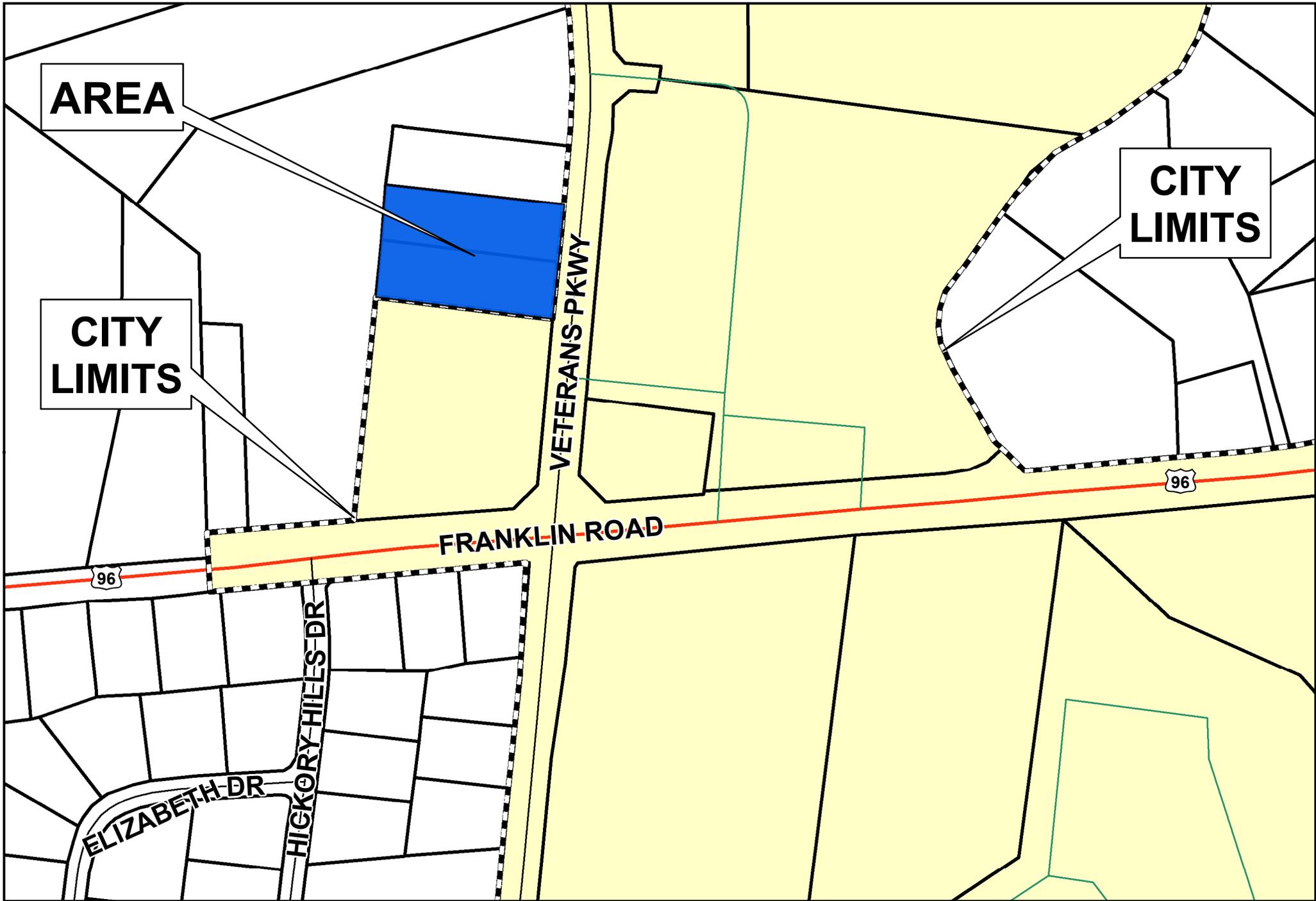
- Tax Map 93N, Group B, Parcel 6.00 (4431 Veterans Parkway), owner Overall Creek Partners (1.02 acre)
- Tax Map 93N, Group B, Parcel 7.00 (4441 Veterans Parkway), owner, Somphone Ruangtip (1.10 acres)

The property owners have filed written petitions with the City requesting annexation. In addition, the owner of 4431 Veterans Parkway (Overall Creek Partners) has filed a request to have the properties zoned to CH (Commercial Highway) District simultaneous with the annexation, and this request will be the subject of the next agenda item (File 2020-411). Overall Creek Partners currently has 4441 Veterans Parkway under a purchase contract and intends to combine the two parcels into one lot of record and demolish both houses prior to the second and final reading of the rezoning ordinance. Overall Creek Partners has stated that it is their intention to develop the combined properties with a liquor store and restaurant.

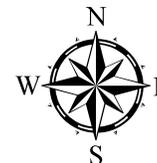
The study area is located within the City of Murfreesboro's Urban Growth Boundary and is contiguous with the City limits along the south and eastern property lines as shown on the attached Annexation Request map. Staff has prepared the Plan of Services, which outlines the services the City will provide and the timeframe for which those services can be provided. The Plan of Services identifies no major challenges in providing services to the study area.

Action Needed:

The Planning Commission will need to conduct a public hearing on this annexation petition and plan of services, after which it will need to discuss this matter and then formulate a recommendation for the City Council.



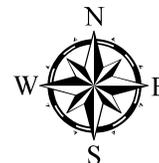
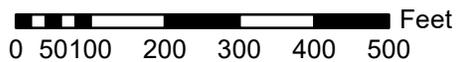
**Annexation Request for Property Along
Veterans Parkway**



Planning Department
 City of Murfreesboro
 111 West Vine Street
 Murfreesboro, TN 37130
murfreesborotn.gov/planning



Annexation Request for Property Along Veterans Parkway



Planning Department
 City of Murfreesboro
 111 West Vine Street
 Murfreesboro, TN 37130
murfreesborotn.gov/planning

**ANNEXATION REPORT FOR PROPERTY LOCATED AT
4431 AND 4441 VETERANS PARKWAY
INCLUDING PLAN OF SERVICES
(FILE 2020-502)**



**PREPARED FOR THE
MURFREESBORO PLANNING COMMISSION
SEPTEMBER 2, 2020**



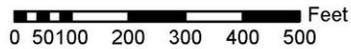
AREA

CITY LIMITS

CITY LIMITS



**Annexation Request for Property Along
Veterans Parkway**



Planning Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, TN 37130
murfreesborotn.gov/planning

INTRODUCTION

OVERVIEW

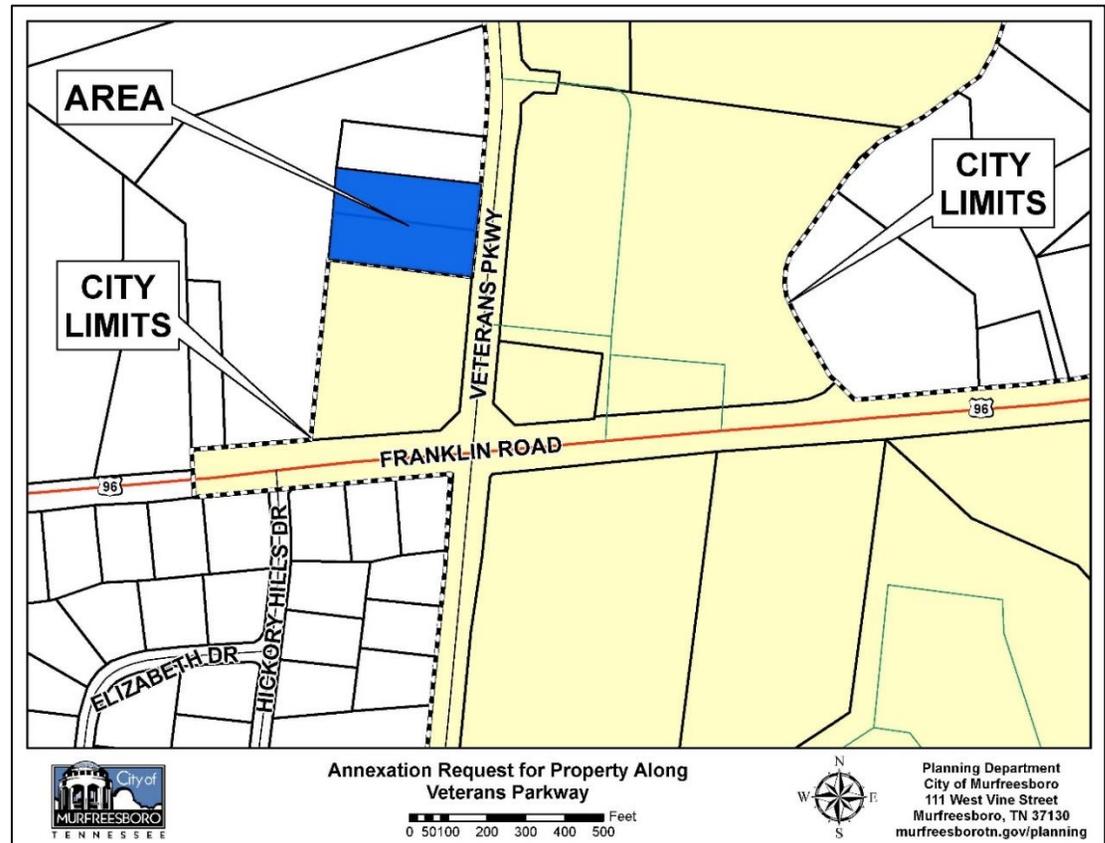
The property owners, Overall Creek Partners, represented by Mr. Vijay Patel, and Somphone Ruangtip, have submitted petitions requesting annexation by the City of Murfreesboro. The annexation area is located along the west side of Veterans Parkway north of Franklin Road. The total annexation area is approximately 2.12 acres and includes following properties:

- Tax Map 93N, Group B, Parcel 06.00 (1.02 acres)
- Tax Map 93N, Group B, Parcel 07.00 (1.10 acres)

The annexation area does not include any additional right-of-way. Both parcels are developed with single-family residences (addressed 4431 and 4441 Veterans Parkway).

Overall Creek Partners has submitted a companion zoning change request for both parcels to Commercial Highway (CH) simultaneous with the annexation. However, there is no proposal for development of the property at this time.

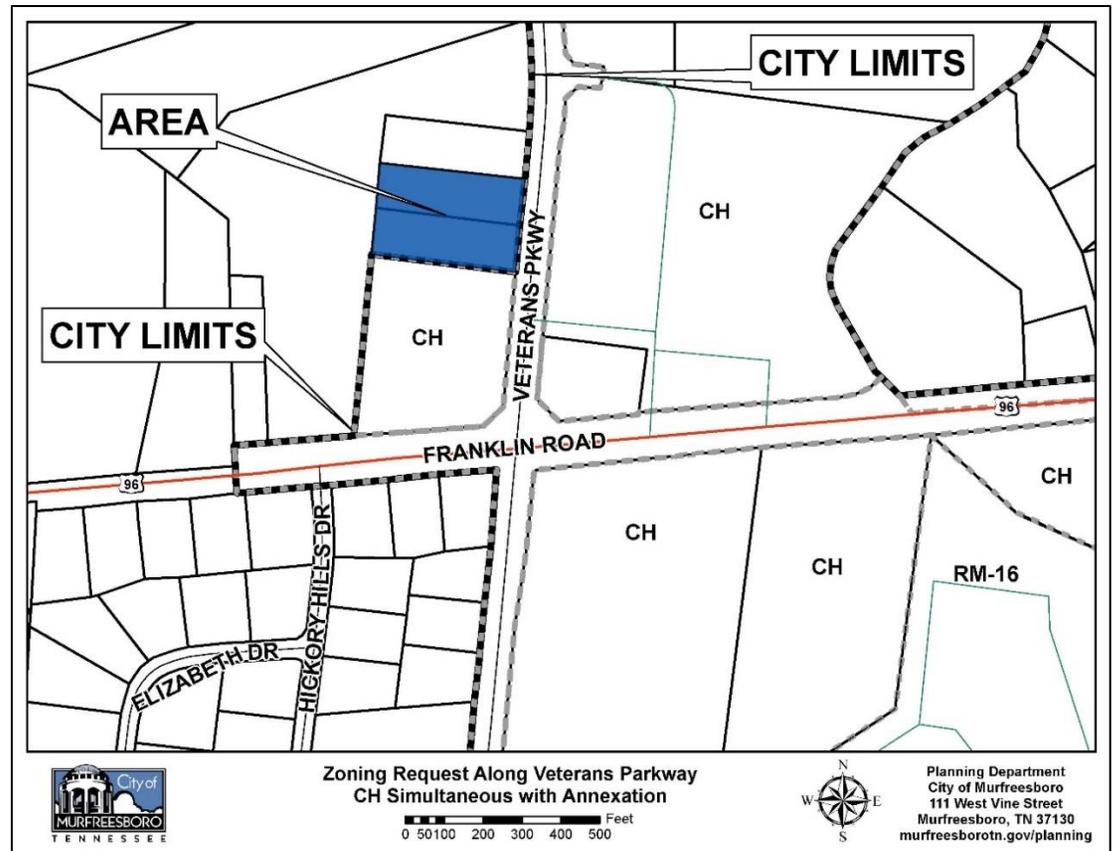
The study area lies within the City of Murfreesboro's Urban Growth Boundary and adjoins the City on its south and east sides.



CITY ZONING

A separate application has been submitted by Mr. Vijay Patel requesting CH (Commercial Highway) zoning for the subject parcels. Both properties are within the unincorporated portion of Rutherford County. The southerly parcel is currently zoned Commercial Services (CS) and the northerly parcel is zoned Medium Residential (RM).

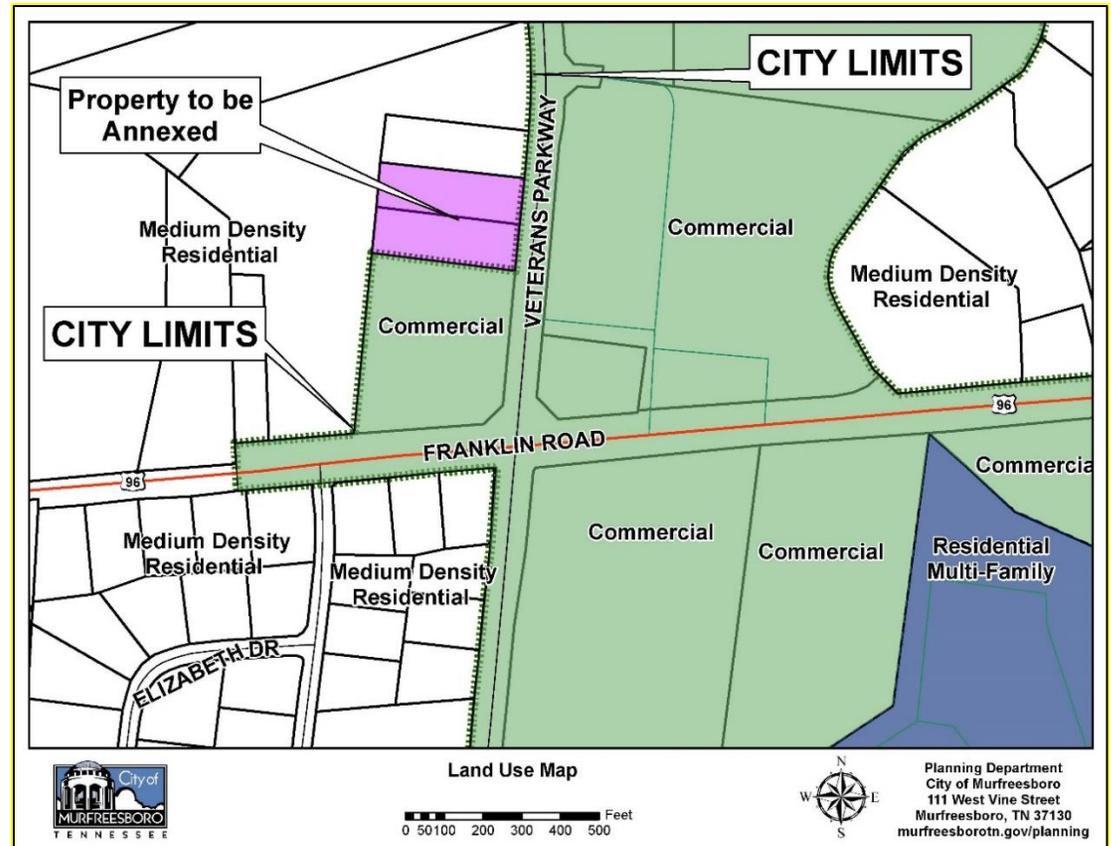
The adjacent zoning on the properties to the east and south is CH. The adjacent properties to the north and west are in the unincorporated portion of Rutherford County and are zoned RM.



PRESENT AND SURROUNDING LAND USE

The study area is developed with a single-family residence on each parcel. Surrounding land uses include:

- Single family residences to north;
- Undeveloped land to the west;
- Commercial shopping center to the east; and
- Vacant land to the south. This property has an approved Site Plan (Veterans Plaza) for future development of a gas station, convenience market, and commercial center.



TAXES AND REVENUE

The first City tax bill for all property annexed during the calendar year of 2020 will be due on December 31, 2021. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$1.2894/\$100.00 assessed value. Residential property is assessed at a rate of 25% of its appraised value, and commercial property is assessed at a rate of 40% of its appraised value. The properties are each developed with a single-family residence. Table I below shows total assessment and estimated City taxes that would be collected if the property were to be annexed in its present state.

***Table I
Estimated Taxes from Site***

Owner of Record	Acres	Land Value	Improvements + Yard Item Value	Total Assessment	Estimated City Taxes
Overall Creek Partners	1.02	\$50,000	\$226,400	\$69,100	\$890.97
Somphone Ruangtip	1.10	\$50,000	\$213,300	\$65,825	\$848.75
TOTAL:					\$1,739.72

These figures are for the property in its current state. There is no development proposed at this time.

PLAN OF SERVICES

POLICE PROTECTION

At present, the study area receives police services through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE, and other community crime prevention programs to the subject parcels immediately upon the effective date of annexation. The Murfreesboro Police Department will be able to provide services immediately upon the effective date of annexation. This property is in Police Zone #2.

ELECTRIC SERVICE

The study area is presently served by Middle Tennessee Electric Membership Corporation (MTEMC). The existing residences are currently served by MTEMC and any future development in the study area will be served by MTEMC as well, as adequate capacity is available. All new electrical infrastructure installed to serve the proposed development will be required to adhere to MTEMC standards.

STREET LIGHTING

Street lighting maintained by MTEMC exists along the west side of Veterans Parkway along the property frontage.

SOLID WASTE COLLECTION

The Murfreesboro Solid Waste Department will be responsible for providing a cart to the existing single-family home. The day of the week for service will be Thursday. However, because future development will be commercial, a private solid waste management service will be required at that time.

RECREATION

Murfreesboro's Parks and Recreation facilities will be immediately available to residents of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro taxpayers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees. The property is proposed to be zoned and developed as commercial and therefore will likely have minimal impact on the City Recreation Department.

CITY SCHOOLS

The Murfreesboro City School system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. There are two existing residences on the subject property. Any elementary school-age children residing there will be eligible to attend Murfreesboro City

Schools. The property is located within the Overall Creek Elementary School zone.

BUILDING AND CODES

The property will come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

PLANNING, ENGINEERING, AND ZONING SERVICES

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary plats, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new

construction of streets and drainage structures for compliance with the City's development regulations.

GEOGRAPHIC INFORMATION SYSTEMS

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

STREETS AND ACCESS

The annexation study area has access to an existing public roadway, Veterans Parkway. The annexation study area does not include any additional public roadway systems. Veterans Parkway was constructed to Tennessee Department of Transportation (TDoT) standards in a partnership between TDoT, the City of Murfreesboro, and Rutherford County. By agreement with Rutherford County, the City of Murfreesboro provides operation and maintenance of this roadway. Any future public roadway facilities to serve the study area must be constructed to City standards.

REGIONAL TRAFFIC & TRANSPORTION

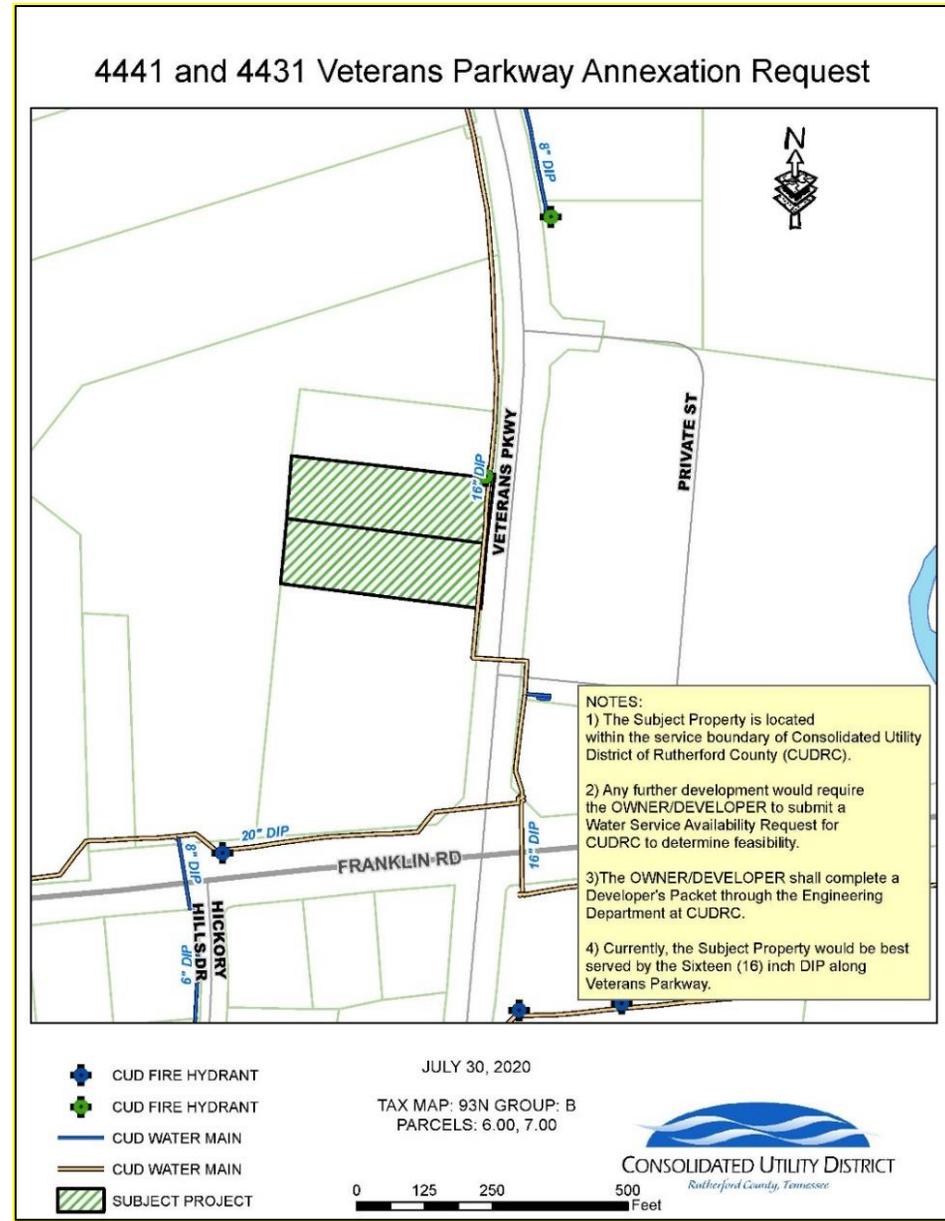
The study area is currently served by Veterans Parkway as the major roadway facility. Veterans Parkway intersects with Blackman Road/Shores Road to the north and Franklin Road to the south. The 2014 Level of Service Model in the 2040 Major Transportation Plan (MTP) indicates Veterans Parkway to be operating at a Level of Service B in the study area based on average daily traffic (ADT). The 2040 Level of Service Model shows that Veterans Parkway, Blackman Road, and Franklin Road all fall to undesirable levels of service of D and F without the proposed improvements recommended in the 2040 MTP.

Blackman Road is the first major intersection to the north. Both Blackman Road and Veterans Parkway are operating at a Level of Service B at the intersection. Franklin Road is the first major intersection to the south. Veterans Parkway is operating at a Level of Service B at the intersection while Franklin Road is at a Level of Service C.

WATER SERVICE

The study area is located within Consolidated Utility District's (CUD) service area. A 20-inch ductile iron water main (DIP) is located south of the study area along Franklin Road. In addition, there is a 16-inch DIP in front of the subject property along Veterans Parkway serves the study area. The existing CUD water lines are shown on the adjacent map.

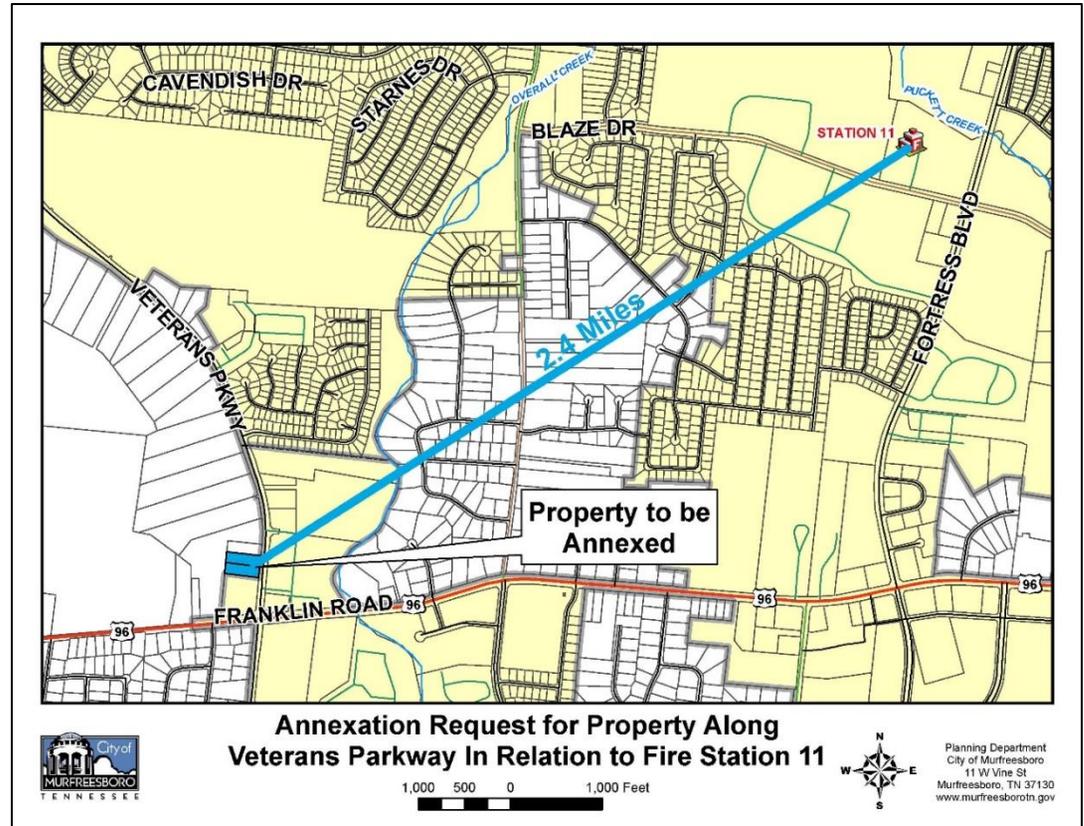
Prior to any future development, the developer of the property will be required to submit a Water Availability Application to determine feasibility and to complete CUD's Developer Packet through CUD's Engineering Department prior to entering the construction phase. Any new water line development must be done in accordance with CUD's development policies and procedures.



FIRE AND EMERGENCY SERVICE

The study area includes two existing single-family residences. The Murfreesboro Fire and Rescue Department (MFRD) can provide medical first responder and fire protection to the study area immediately upon the effective date of annexation. Per MFRD, the existing CUD water supply is adequate and there is a fire hydrant available to serve the study area.

Currently the study area is located 2.4 miles from Fire Station #11 (3924 Blaze Drive) and 3.4 miles from Station #10 (2563 Veterans Parkway). The blue lines on the adjacent map represent linear distance ranges from the nearest fire station.

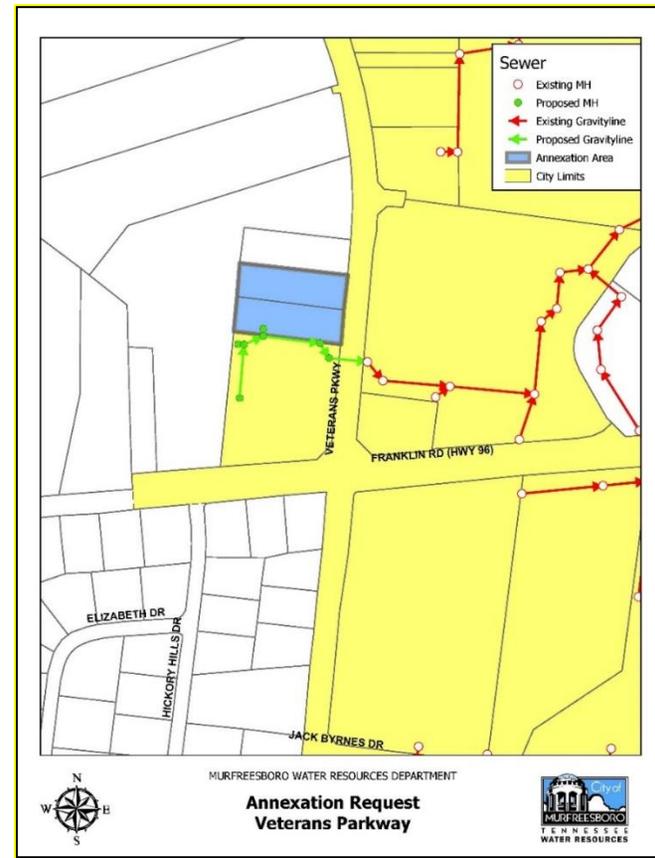


SANITARY SEWER SERVICE

In order for the Murfreesboro Water Resources Department (MWRD) to serve the property, an extension of the closest sewer line will be required. The developer will be responsible for extending sewer service through the proposed development. Currently there is a 10" sewer main on the adjacent property to the south and the City will require the adjacent property owner to extend sewer to his north and west property lines. Should these properties wish to develop prior to this extension, an off-site sewer easement from this adjacent property to the south will be required.

This development will be required to comply with the Sewer Allocation Ordinance. Land zoned CH allows for 2.5 single-family unit equivalents per acre giving the potential for an approximate flow of 1,500 gallons per day, if the properties are combined into one lot of record. Should the proposed development exceed this flow, a request for a variance must be submitted for approval by the City Council. To reserve capacity, a will-serve letter request must be submitted to MWRD.

This property is also within the Overall Creek Sanitary Sewer Assessment District. In addition to the standard sewer connection fee of \$2,550 per single-family unit equivalent, a charge of \$1,000 will also be assessed for each single-family unit equivalent. All main line extensions and off-site sewer easements are the financial responsibility of the developer and may be extended in accordance with the Development Policies and Procedures of MWRD.



DRAINAGE

Public Drainage System

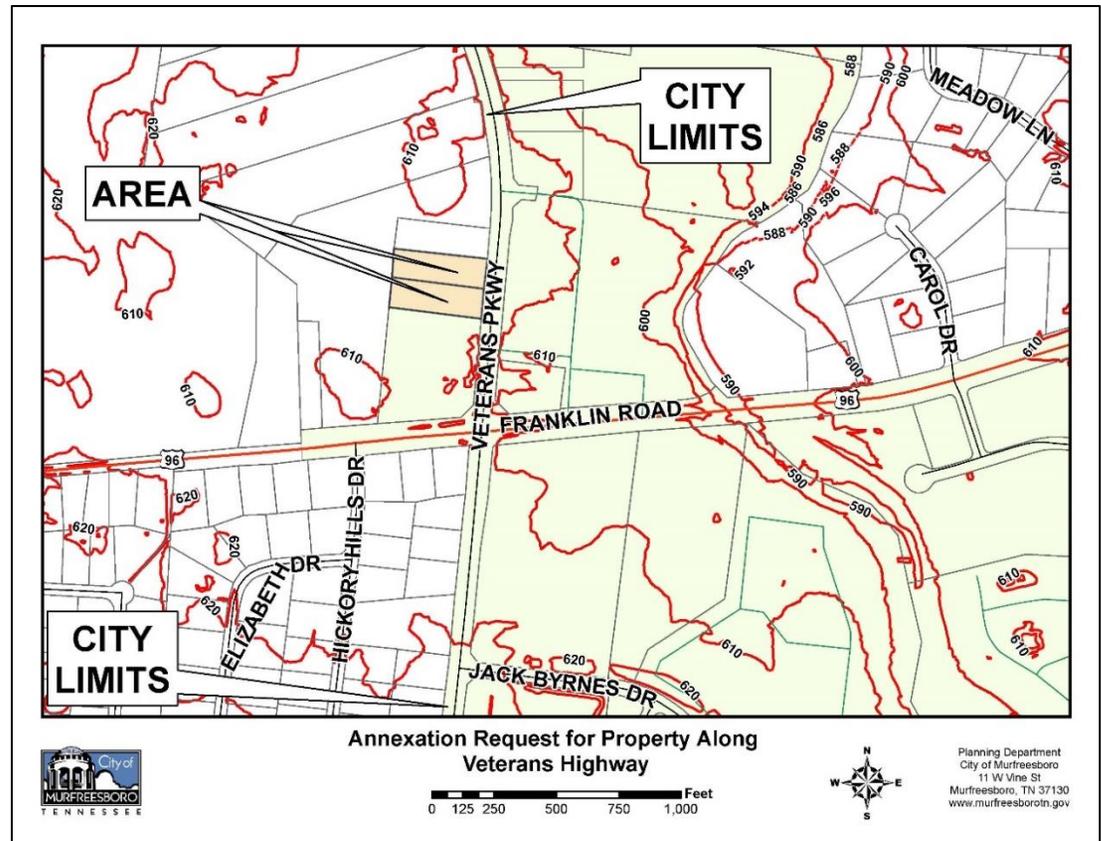
No new public drainage facilities are included in the study area. Access to public drainage facilities are within the right-of-way (ROW) of Veterans Parkway. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

Regional Drainage Conditions

A review of a topographic map shows that the property drains to the southeast side of the property to the ROW of Veterans Parkway and from there to Overall Creek. No portion of this property is located in the 100-year flood plain.

Stormwater Management and Utility Fees

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The study area currently has 1 single-family residence on each lot and will generate approximately \$78 per year in revenue for the Stormwater Utility Fee. Based on a commercial development scenario, it is anticipated that the site will generate approximately \$440 in additional revenue per year into the Stormwater Utility Fund upon full build out.

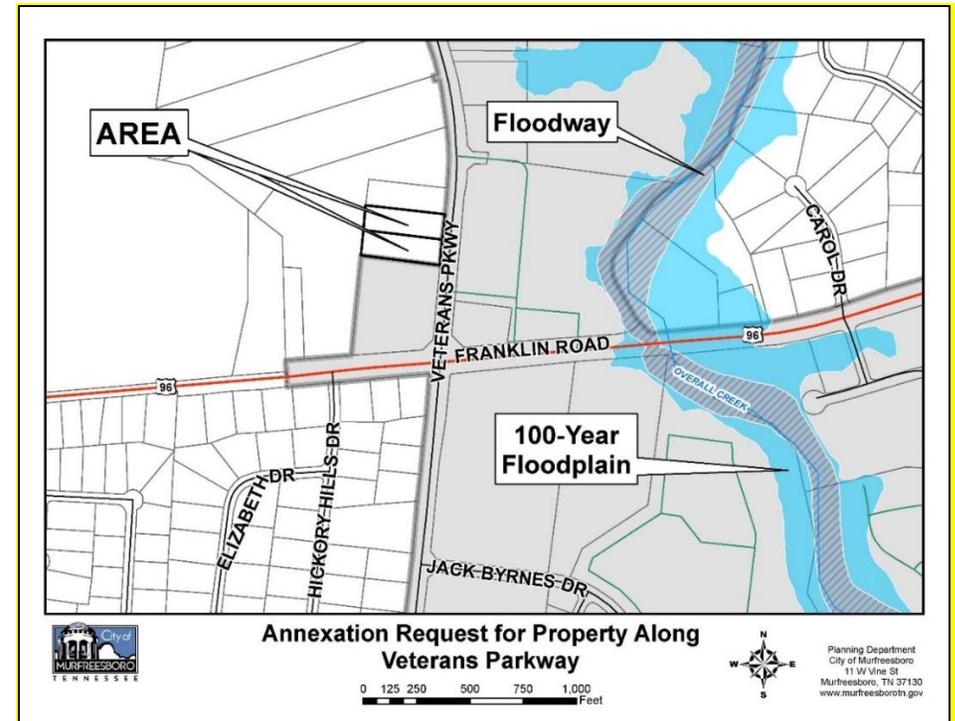


FLOODWAY

The study area is not located within a floodway or 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA). The adjacent map shows the floodway boundary in red hatched area and the 100-year floodplain boundary in blue.

ANNEXATION FOLLOW-UP

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
SEPTEMBER 2, 2020
PROJECT PLANNER: MARINA RUSH**

4.d. Zoning application [2020-411] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road to be zoned CH simultaneous with annexation, Overall Creek Partners applicant.

The subject property consists of two parcels located at 4431 and 4441 Veterans Parkway, north of Franklin Road. The applicant, Mr. Vijay Patel with Overall Creek Partners, has submitted an application to zone the subject property to Commercial Highway (CH) simultaneous with the request for annexation into the City. The properties are identified as:

- Tax Map 93N, Group B, Parcel 6.00 (4431 Veterans Parkway), owner Overall Creek Partners (1.02 acre)
- Tax Map 93N, Group B, Parcel 7.00 (4441 Veterans Parkway), owner, Somphone Ruangtip (1.10 acres)

Both parcels are presently developed with occupied single-family residences. The owner of 4431 Veterans Parkway, Overall Creek Partners, has 4441 Veterans Parkway under a purchase contract. Overall Creek Partners has stated that it is their intention to develop the combined properties with a liquor store and restaurant. Staff is concerned about the limitations posed by the dimensions of each of these lots if redeveloped individually. Staff is also concerned about the repurposing of residential structures along a major arterial roadway for commercial uses. In response to these concerns, the applicant intends to combine the two parcels into one lot of record and demolish both houses prior to the second and final reading of the rezoning ordinance.

Previously in 2019, Mr. Patel applied for annexation and zoning of 4431 Veterans Parkway. The Planning Commission conducted a public hearing on the matter and commented that, due to the long narrow shape of the parcel, additional lot(s) should be combined with it to make it a buildable commercial site. This current application, which includes an additional parcel, is in response to the comments made in 2019.

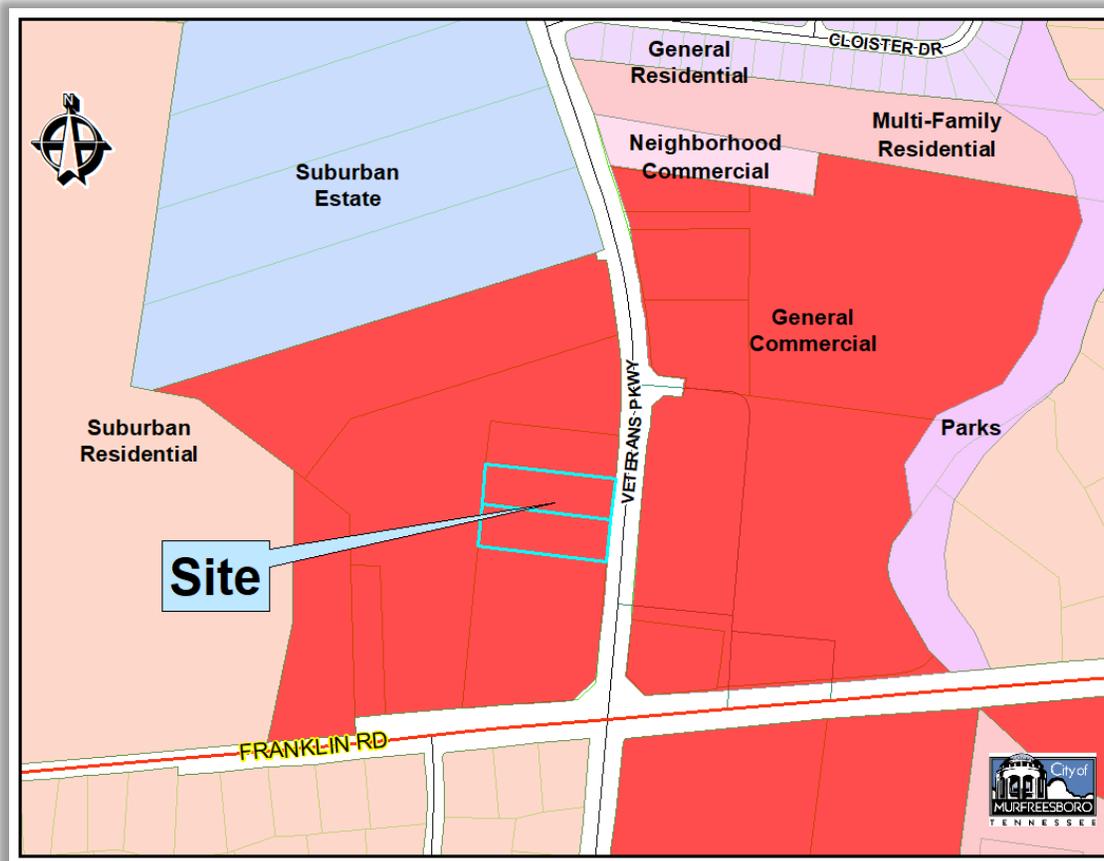
Adjacent Zoning and Land Uses

4431 Veterans Parkway is currently zoned CS (Commercial Services) in the unincorporated County, while 4441 Veterans Parkway is zoned RM (Medium- Density Residential). The adjacent zoning on the properties to the east and south is CH. The properties to east across Veterans Parkway are developed with various commercial uses, while the property to the south is undeveloped but has an approved plan for a commercial development called Veterans Plaza. The adjacent properties to the north and west are in the unincorporated portion of Rutherford County and are zoned RM.

The properties to the north are developed with single-family residences, and properties further north and west are primarily vacant land.

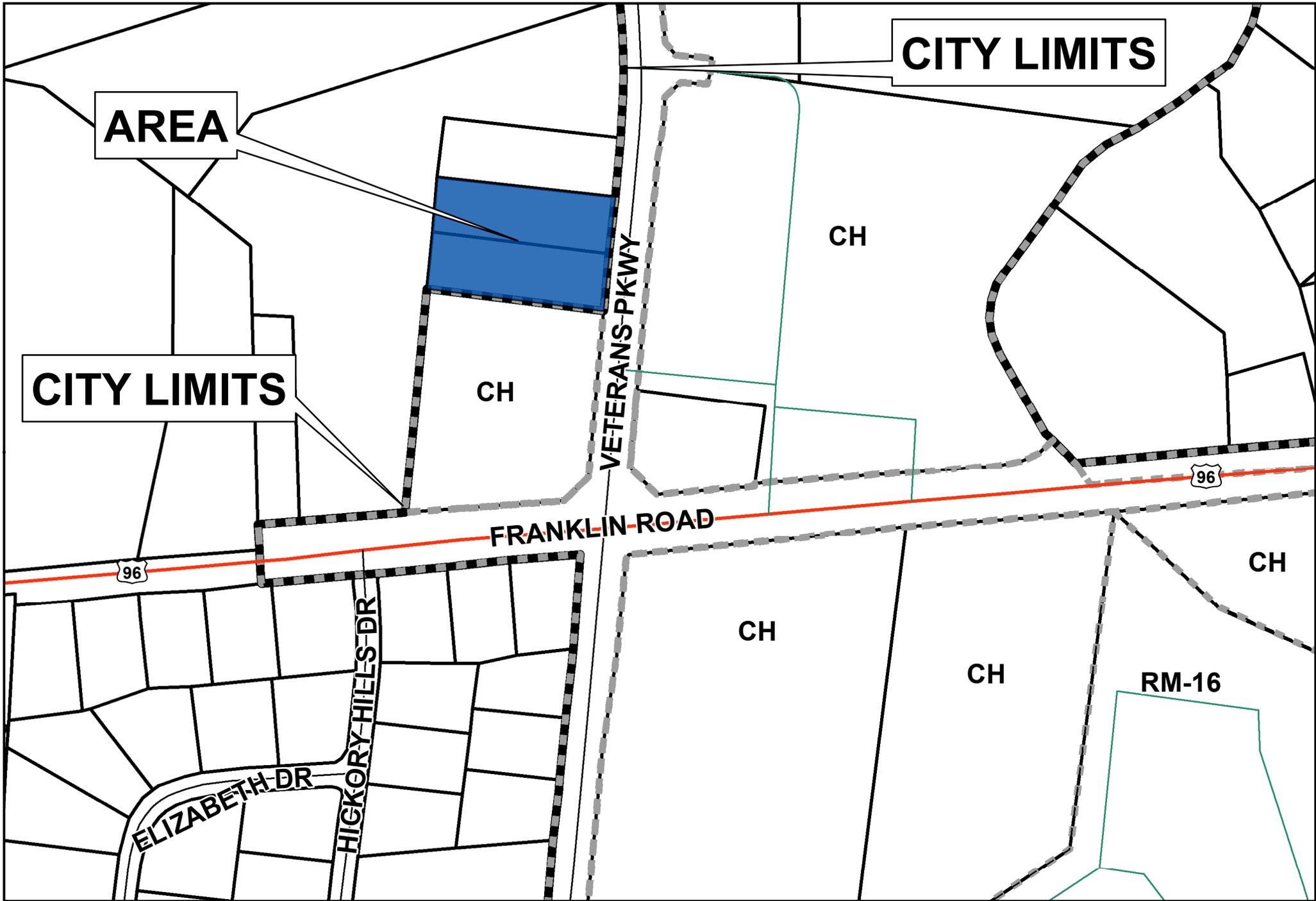
Future Land Use Map

The future land use map of the Murfreesboro 2035 Comprehensive Plan (excerpt below) indicates that Auto-Urban (General) Commercial is the most appropriate land use character for the subject property. Auto-Urban (General) Commercial character is typically high-intensity commercial businesses with a large amount of land area for operations and is typically developed with strip commercial, commercial centers, auto-focused uses, restaurants, etc. CH zoning is consistent with the Auto-Urban (General) Commercial land use designation.

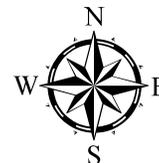


Action needed

The applicant will be available at the Planning Commission hearing to discuss the proposed rezoning request. The Planning Commission will need to conduct a public hearing on this matter and then make a recommendation to the City Council. If approved by the Planning Commission and City Council, Staff recommends that second and final reading not move forward until such time as both of the existing houses have been demolished and the two parcels have been combined into one lot of record via a subdivision plat.



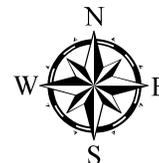
**Zoning Request Along Veterans Parkway
CH Simultaneous with Annexation**



Planning Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, TN 37130
murfreesborotn.gov/planning



**Zoning Request Along Veterans Parkway
CH Simultaneous with Annexation**



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murfreesborotn.gov/planning

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS
SEPTEMBER 2, 2020**

Principal Planner: Margaret Ann Green

- 4.e. Zoning application [2020-412] to amend the PRD zoning (Laurelstone PRD) on approximately 46.5 acres located along Lascassas Pike and DeJarnette Lane, Goodall Homes LLC applicant..**

The subject property is located along Lascassas Pike, Pitts Lane, Cushing Avenue and south of Oakview Drive. This property was annexed and zoned PRD (Planned Residential District) in 2017 and is known as Laurelstone PRD.

Adjacent Zoning and Land Uses

Directly to the north of the subject property is the Emory Estates single-family residential subdivision, which is located in the unincorporated County. Also to the north is the developing Pebblecreek single-family residential subdivision, which is zoned PRD and consists of lots a minimum of 8,000 square-feet. To the west is the Huntington Place single-family residential subdivision, which is zoned RS-10 (Single-Family Residential District 10) and RS-15 (Single-Family Residential District 15). Oakland High School, Oakland Middle School, and John Pittard Elementary are also located to the west/southwest of the subject property. Directly to the south of the subject property across East Pitts Lane is a church and a single-family residence, both located in the unincorporated County. To the east across Lascassas Pike are several single-family residential estate lots in the unincorporated County as well as a church and a Dollar General store. A significant portion of development is encumbered by Bushman Creek and its floodway/floodplain.

Laurestone PRD as approved in 2017 (existing standards)

In 2017, the City Council approved the Laurelstone PRD, which is a single-family residential attached development. The existing Laurelstone PRD consists of 199 total dwelling units in two different housing types, *cottages* and *villas*. As proposed, there will be 149 cottage units, some of which will be located in three-unit buildings and some in four-unit buildings. All cottage units contain two bedrooms and a minimum of 1,200 square-feet of living area. Also proposed are 50 villa units, all of which are located in two-unit buildings. All villa units consist of either two or three bedrooms and a minimum of 1,400 square-feet of living area. The exterior materials of both housing types will consist of brick, stone, and cementitious siding. Vinyl siding will be allowed on certain elevations but will comprise no more than 15% of those elevations. Each unit will be located on its own lot of record and will be for sale.

The development as is approved will have public street access to Lascassas Pike on its east side and to Cushing Avenue on its west side. Additionally, two public street stubs

are proposed, one to the north and one to the south. A bridge crossing Bushman Creek is proposed as a part of the development. The villa units will have driveway access from the public street. However, all cottage units will be accessed via private alleys that will be owned and maintained by the homeowners association. The applicant received an exception to being required to have four driveway parking spaces per unit; all units except for the “perimeter cottage lots” only have two driveway parking spaces. All units also have two garage spaces, and the applicant is committing to restricting the use of the garages so that they will be available for the parking of two vehicles at all times. In addition, 145 guest parking spaces are proposed to be scattered through the development.

Request for Laurelstone PRD zoning amendment

The developer of the Laurelstone project has submitted an application for a zoning amendment to the PRD. The applicants have provide a letter which identifies the proposed revisions. Below is a short list of some of the changes identified by staff:

- To introduce a new lot style by adding 31 single-family, detached lots
- To reduce the number of Villa units by 4
- To reduce the number of Cottage units by 40, primarily fronting Lascassas Pike.
- To reduce the number of off-street parking spaces- lose 8 spaces overall
- To connect to Pitts Lane and remove the existing cul-de-sac condition
- To remove 1,331 linear feet of roadway
- To redesign the site so that more units are further from Bushman Creek
- To modify the open space plan.

The single-family lots are proposed to be a minimum of 6,500 square feet (41-foot wide and 160 feet deep) with 40-foot front setback, 35-foot rear setback and 4-foot side setbacks. The minimum heated square feet of each home is 1,500 square feet (3 bedrooms) and range from one to two stories tall. Each unit shall have an alley loaded, 2-car garage and a driveway sized to accommodate 4 off-street parking spaces.

Staff provided the design team with a list of comments mostly in regards the traffic and transportation network within this development, required street improvements both on and off-site, service delivery and access conflicts, and architecture. Included with this staff report are the responses to those comments.

Future Land Use Map

The *Murfreesboro 2035* Land Use Plan indicates that Suburban Residential Character [SR] is the most appropriate land use character classification for the subject property. As new development continues around the City’s periphery, a lower density Suburban Residential (SR) development will help to transition rural and urban development. This character type includes small acreages or large lot estate development, or may also be smaller lots clustered around common open space.

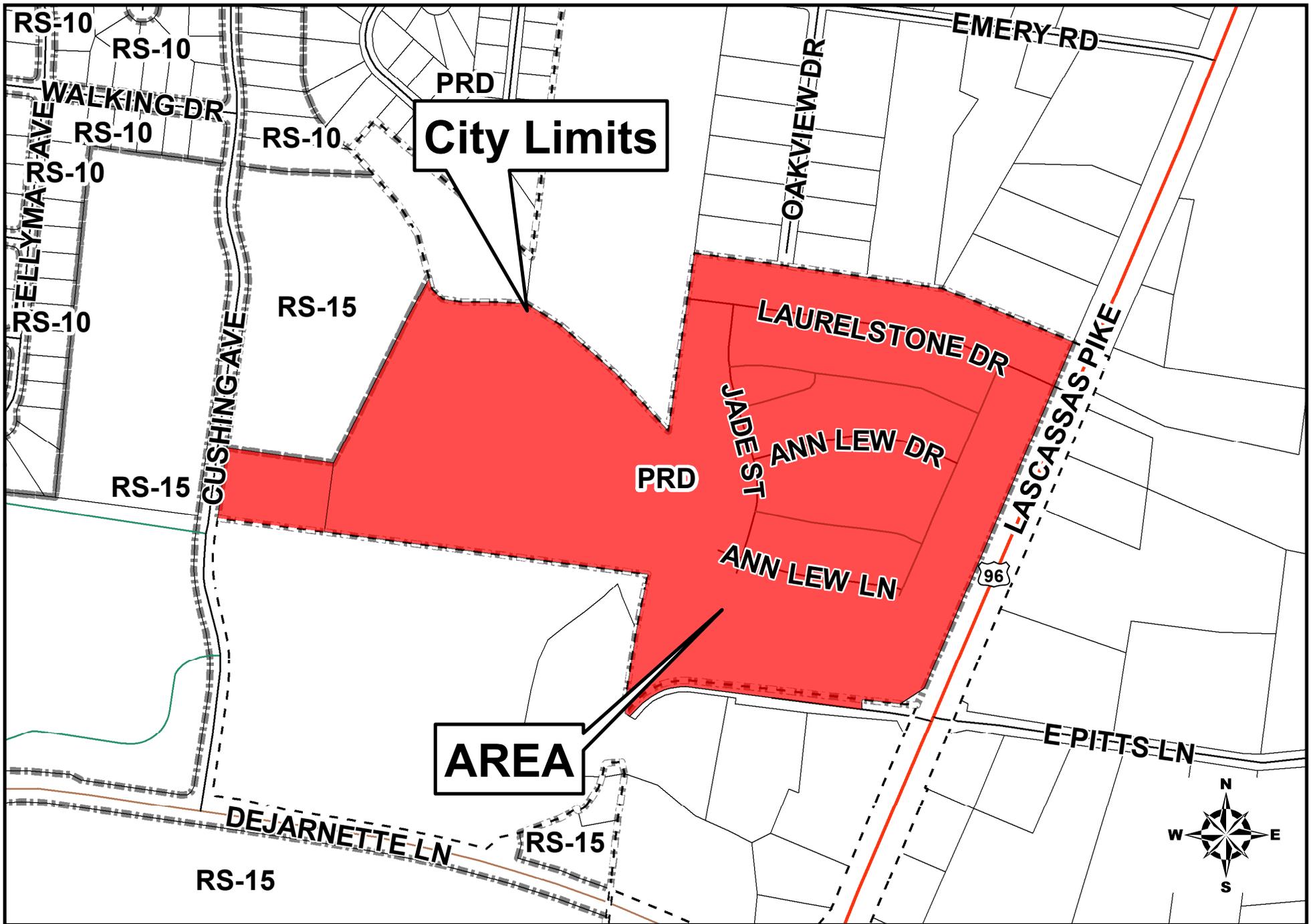
The developing residential uses are not consistent with the Land Use Plans' recommendations, however the addition of single-family detached lots, especially along Lascassas Pike, is more in line with the SR character classification than the previously approved housing types. The applicant should discuss how this rezoning request ultimately supports the goals of *Murfreesboro 2035*.

Murfreesboro 2035 – Future Land Use Map



Public Hearing

The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning. The Planning Commission should conduct a public hearing, discuss the matter, and formulate a recommendation to the City Council. A recommendation prepared by the Commission shall be for approval, disapproval, or approval subject to special conditions.

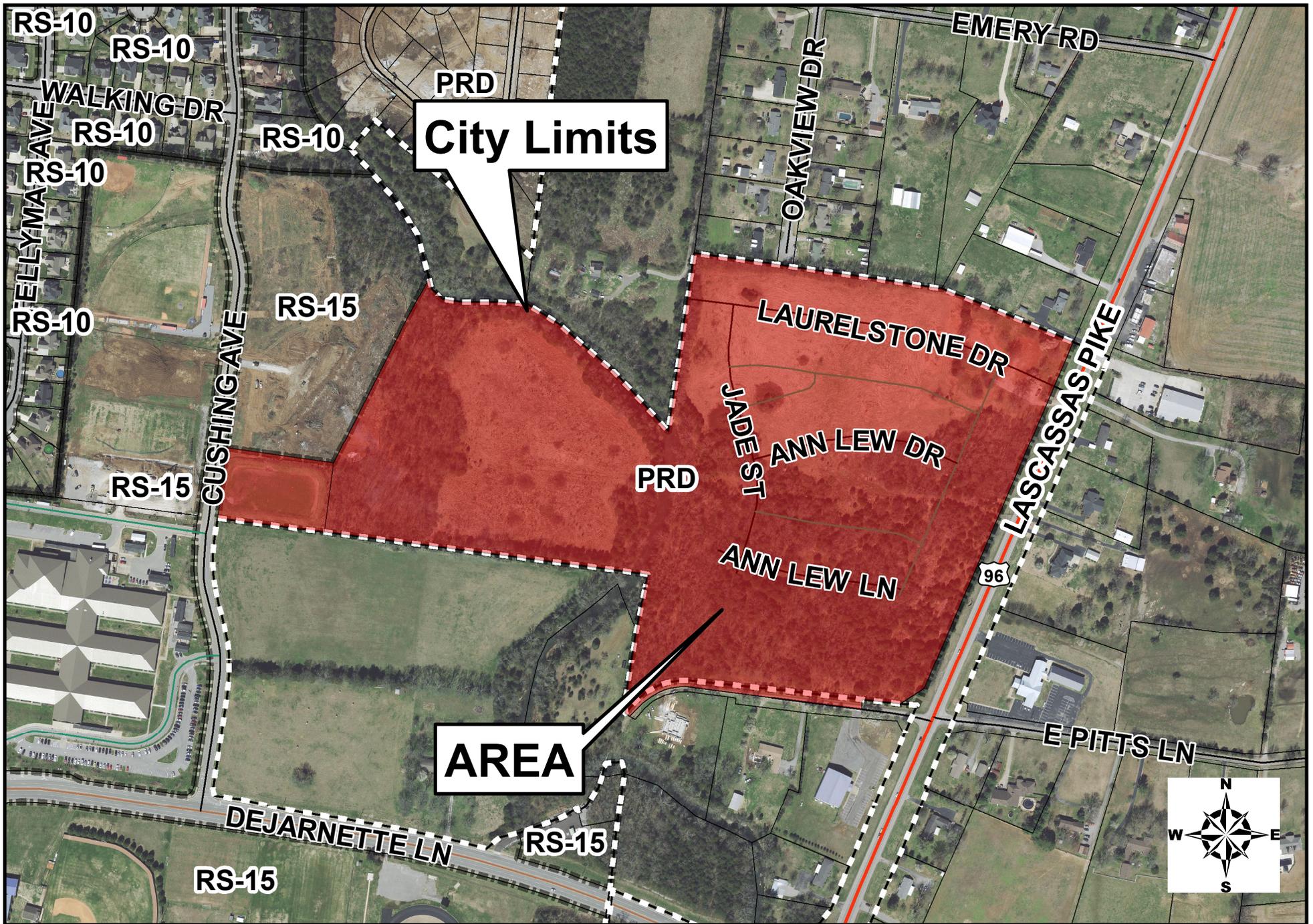


T E N N E S S E E

Zoning Request for Property Along Lascassas Pike PRD Amendment (Laurelstone PRD)



Planning Department
City of Murfreesboro
111 W. Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov



City Limits

AREA



**Zoning Request for Property Along Lascassas Pike
PRD Amendment (Laurelstone PRD)**



Planning Department
City of Murfreesboro
111 W. Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov



City of Murfreesboro
Planning and Engineering Department
 111 W. Vine Street, P.O. Box 1139
 Murfreesboro, TN 37133-1139
 (615) 893-6441 Fax (615) 849-2606
 www.murfreesborotn.gov

Creating a better quality of life

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

Laurel Stong

To be completed by applicant:

APPLICANT: Goodall Homes, LLC c/o Maverick Green

Address: 393 Maple Street, Suite 100 **City/State/Zip:** Gallatin, TN 37066

Phone: 931-205-2435 **E-mail address:** mgreen@goodallhomes.com

PROPERTY OWNER: Clayton Properties Group, Inc. and Rutherford County

Street Address or property description: 2699 Lascassas Pike

and/or Tax map #: 68 **Group:** _____ **Parcel (s):** 116.00 and 116.01

Existing zoning classification: PRD

Proposed zoning classification: PRD **Acreage:** 46.48 acres

Contact name & phone number for publication and notifications to the public (if different from the applicant): SEC, Inc. c/o Rob Molchan 615-890-7901

E-mail: rmolchan@sec-civil.com

APPLICANT'S SIGNATURE (required): *Laurel Stong*

DATE: 7-16-2020

*****For Office Use Only*****

Date received: _____ **MPC YR.:** _____ **MPC #:** _____

Amount paid: _____ **Receipt #:** _____

August 17, 2020

Margaret Ann Green
City of Murfreesboro Planning Department
111 West Vine Street
Murfreesboro, TN 37130

RE: Summary of Revisions to the Concept Plan and Rezoning Booklet
Laurelstone PRD
Murfreesboro, TN
SEC No. 16106

Dear Margaret Ann,

This letter is to outline the revisions that have been made to the Concept Plan and Rezoning Booklet for Laurelstone PRD since it was approved back in 2017. The revision outline below reflects the revisions by the developer submitted for review and comment on July 16, 2020, and Staff Comments issued on August 7, 2020.

The major changes to the plan and booklet are:

- The main explanation for this request to amend the PRD, is the introduction of the single-family detached product. As this project has evolved over the past three years, Goodall Homes has seen a shift in home buying marketplace. Their market analysis has pointed to the need for a small/narrow single-family detached lot product. They felt like including this product would provide another housing option for the age targeted buyers in this area. Plus, they already have the attached cottage product on the ground here in Murfreesboro at Cottages at Valleybrook. Which is not that far away on Compton Road, and they did not want to over saturate this market. So, Goodall has proposed adding the small single-family detached product to broaden the product they have here in Murfreesboro.
- The amended master plan has been revised to show the (31) single-family lots are located along the frontage of Lascassas Pike and Old Pits Lane. These lots will be displacing (41) cottages in those locations on the previously approved master plan. These homes will be rear alley loaded, just like the approved cottages in this location. There shall be no driveways to either of these existing roadways.
- The overall unit count has been reduced from 199 units to 186 units (-13 units) based on the inclusion of the single-family detached lots and the other changes to the master plan outlined below. The overall density has been reduced from 4.28 un/ac to 4.00 un/ac (-0.28 un/ac).
- The amended master plan has increased the amount of common open space by 1.23 acres to cover more than 33% of the project with open space. While reducing the length of roadways by over 1,300 LF.
- Another area of the approved master plan to change is the portion of site located to the west of Bushman Creek. The amended master plan shows that we have removed the northern portion of Road 'F' and all of Road 'G' from the previous plan. As the construction plans have developed over the past three years, it was not going to be feasible to construct those roads and homes due to the 100-Year Floodplain. The revised design has less impact on the 100-Year Floodplain, and also moves more of the proposed lots out of areas that would have

needed to be raised up to keep the finished floor elevations out of the floodplain elevations along Bushman Creek. In removing the roads and pushing the revised lots up to Road 'C', the common open space and detention areas were relocated behind the proposed lots on Road 'C'. That way those elements of open space would be located where the potential flooding may occur, and not have any adverse effects on personal property, aside from common open space.

- The last change to the master plan occurs on the southside of Road 'C' is on the portion of site located to the west of Bushman Creek. The revised master plan has relocated the common open space that was next to the detention pond on the County property to the west of the southern leg of Road 'F'. This allowed for moving Road 'F' over to the western boundary of the site and allow for moving the private alley further away from the Floodway at the bridge crossing of Bushman Creek.

The following pages outline the variety of changes made to each page since it was approved back in 2017, and the initial submittal of this version book on July 16, 2020 addressing Staff Comments.

Cover Page

- Revised cover for new submittal and PC Workshop meeting dates.
- Updated elevation image.

Page 1

- Updated density and acreage numbers.
- Added language to describe the new single-family detached product.

Page 2

- Revised previously approved plan land use data table to outline approved numbers more clearly from 2017 plan.

Page 3 (New Page)

- This page was added to the 2020 booklet to allow for comparison between the approved 2017 master plan, and the 2020 amendment plan.
- Updated land use data per the changes outlined earlier in this letter.
- Updated master plan as per the changed outlined earlier in this letter.
 - Introduction of single-family detached lots
 - Revisions to the development west of Bushman Creek
- Revised master plan to show the approved cul-de-sac north of Old Pitts Lane, showing we are still honoring the commitment to the residents on Old Pitts Lane for there not to be a connection to that quiet dead-end residential street.

Page 4 (Previously Page 3)

- Revised electric service provider to MTEMC.

Page 5 (Previously Page 4)

- Updated photos and background aerial photo.

Page 6 (Previously Page 5)

- Updated photos and background zoning map.

Page 7 (Previously Page 6)

- Added single-family product and counts.
- Updated density numbers.
- Updated language related to what market segment this project is being pitched to.
- Updated parking requirements and number of parking spaces provided, showing compliance with the requirements of the zoning ordinance.
- Update guest parking space counts, showing it being reduced from 145 spaces to 113 spaces (- 32 spaces). Reduction based on overall lot and density reduction and change in product type.

Page 8 (Previously Page 7)

- Added notation regarding HVAC units shall not be permitted in the front and side yards of homes.
- Changed language related to mail now being served from CBU versus mailboxes at the curb.
- Added language related to outlining the minimum driveway depth for single-family detached lots, which shall not be less than 35-feet deep and 16-feet wide.
- Replaced MED with MTEMC in lighting bullet.

Page 9 (Previously Page 8)

- Revised lot diagrams to show minimum and typical lot dimensions.
- Added Minimum Lot Size to chart.

Page 10 (Previously Page 9)

- Revised Phasing Plan to update it with the currently under construction phase limits of Phase 1A, as well as background master plan.
- Added notation regarding the timing of amenities being constructed.

Page 11 (Previously Page 10)

- Updated master plan to reference product on the property.
- Removed 2-story option.
- Revised language regarding deliberate design features to market to the 55 and older resident.
- Revised language related to style of garage doors.

Page 12 (Previously Page 11)

- Updated master plan to reference product on the property.
- Added optional third bedroom.
- Updated building renderings and elevations.

Page 13 (New Page)

- New page to outline the design parameters of the new single-family detached lots.

Page 14 (Previously Page 12)

- Updated cottage floorplan to show location of garbage can location in the courtyards.

Page 15 (Previously Page 13)

- Update master plan key to better show location of amenity elements.
- Moved dog park across street to be part of overall amenity center program which includes the community gardens and clubhouse.

Page 16 (Previously Page 14)

- Update master plan to reflect changes to roadway network outlined in the major changes bullets earlier in this letter.
- All of the off-site roadway improvements have been designed and approved with the construction plans for Phase 1A. Those are a northbound dedicated left turn into the development, and a dedicated right turn lane into the development for southbound traffic on Lascassas Pike.

Page 17 (Previously Page 15)

- Update master landscape plan showing the general landscape design intent for the development.

Page 18 (Previously Page 16)

- Update landscape plans for each of the home types within the development. This to show overall general landscape design intent for the areas in and around the home types.

Page 19 (Previously Page 17)

- Updated page numbers to which the information relates back to.
- Updated chart to reflect the previously outlined changes to the plan.

Page 20 (Previously Page 18)

- Updated page numbers to which the information relates back to.
- Updated chart to reflect the previously outlined changes to the plan.

Page 21 (Previously Page 19)

- Updated page numbers to which the information relates back to.
- Updated Development team and their representatives.

If you have any questions or if I may be of further assistance, I can be contacted by phone at 615-890-7901. My email address is rmolchan@sec-civil.com. Our fax number is 615-895-2567.

Sincerely,



Rob Molchan, P.L.A.
Landscape Architect & Land Planner
SEC, Inc.

Laurelstone

LAURELSTONE



A Berkshire Hathaway Company

A Request for Amendment to an Existing PRD

Submitted July 16, 2020

Resubmitted August 14, 2020 for the August 19, 2020 Planning Commission Workshop

Resubmitted August 27, 2020 for the September 2, 2020 Planning Commission Public Hearing

Table of Contents

Introduction

Synopsis	1
Previously Approved Plan	2
Proposed Plan	3

Existing Conditions

Utilities, Topography, and Right-of-Way	4
Aerial and On-Site Photos	5
Surrounding Zoning and Development	6

Proposed PRD

Development Standards	7-8
Setback Diagrams	9
Phasing Plan	10
Proposed Villas	11
Proposed Cottages	12
Proposed Single Family Detached Homes	13-14
Floorplan Examples	15
Amenities	16

Ingress/ Egress

Synopsis	17
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Landscape

Conceptual Master Landscape Plan	18
Conceptual Residential Landscape Plan	19

Chapter 13

Subsection D Item 2a

Items 1 thru 6	20
Items 7 thru 10	21
Items 11 thru 15	22

Introduction

Synopsis

The Request

Goodall Homes respectively requests an amendment to the previously approved Laurelstone PRD. The project is comprised of two properties. The main portion of the proposed development is located on Tax Map 68 Parcel 116.00 and is approximately 46.10 acres in size. This property is owned by the Clayton Properties Group Inc., d.b.a Goodall Homes. The project will also utilize a 0.38 acre portion of property owned by Rutherford County, to provide public street access to Cushing Avenue. The county property is located on Tax Map 68 Parcel 116.02. Laurelstone is located along the west side of Lascassas Pike just north of Dejarnette Lane.

The previously approved PRD consists of 199 residential units on 46.48 acres for a density of 4.28 dwelling units per acre. The previously approved PRD also proposed a mixture of 149 alley loaded cottages and 50 villas with front entry garages, all of which are age targeted.

The proposed amended PRD utilizes the same 46.48 acres with a total of 186 residential units for a lower density of 4.00 dwelling units per acre. The 186 dwelling units are a combination of 31 single family detached lots, 109 cottages, and 46 villas, all of which are age targeted homes. The cottages shall continue to range from 1,200-1,500+ s.f., and the villas shall continue to range from 1,400-1,800+ s.f. The single-family units shall range in sizes from 1,500-2,200 s.f. Single-family and Cottages shall have rear, alley-loaded, two car garages, while the villas shall be front loaded. All dwelling units shall be for purchase on separate lots of record.

Cottages shall be defined as one or two level homes with at least one zero-step entry point to serve the needs of the target demographic. The exterior of these homes provides each owner with a gated courtyard. All exterior maintenance shall be provided by the HOA. Overall, the Cottages shall remain consistent with the previously approved PRD.

Villas have the same characteristics of the Cottages with a few design differences to meet a slightly different target market. The Villas offer more square footage, larger rear patios and yards, and the option of a bonus room or third bedroom. They incorporate easy living interiors via at least one zero-step entry, and maintenance free exteriors. Overall, the Villas shall remain consistent with the previously approved PRD.

Single family lots shall be defined as 1, 1½, and 2 story homes. These homes will add an additional product for those seeking a larger living space and privacy. These homes shall be marketed to consumers that are 55 years wise or older but shall not be age restricted. Exterior spaces and landscapes shall be maintained by the H.O.A.

All units provided are designed towards an age targeted (a move down) buyer demographic. This demographic no longer desires the weekly responsibility of mowing the lawn, trimming shrubs, and other upkeep needs. The target market is not exclusive to a move down buyer. It could also include single parents, widows/widowers, or other buyer groups that desire easy living with little maintenance in a respected community.



Previously Approved Plan
Land Use Data

Total Land Area:	46.48 Acres
Villa Units:	50 Units
Cottage Units:	149 Units
Total Number of Units:	199 Units
Yield: 1 Units/46.48 Acres =	4.28 Units/Acre
Total Open Space:	14.11 Acres (30%)
Length of New Roadways and Alleys:	10,811 LF

Previously Approved Plan



SITE DATA CHART:

SITE ACREAGE:	2,028,700 SF / 46.57 AC
LOT COVERAGE:	896,777 SF / 20.55 AC
ROW AREA:	402,124 SF / 9.23 AC
LENGTH OF ROADS:	6,435 LF
LENGTH OF ALLEYS:	4,376 LF
OPEN SPACE:	614,827 SF / 14.11 AC
PARKING SPOTS:	145

NUMBER OF VILLAS:	50
NUMBER OF COTTAGES:	149

- VILLAS
- COTTAGES
- 8 PARKING SPACES



Not To Scale

R.O.W. TO BE DEDICATED

R.O.W. TO BE DEDICATED
ALONG NORTH SIDE OF
PITTS LANE

Proposed Plan Amendment

Proposed Amendment Land Use Data

Total Land Area:	46.48 Acres	
Single Family Lots:	31 Lots	(+31 Units)
Villa Units:	46 Units	(-4 Units)
Cottage Units:	109 Units	(-40 Units)
Total Number of Units:	186 Units	(-13 Units)
Yield: 186 Units/46.48 Acres =	4.00 Units/Acre	(-0.28 Units/AC)
Total Open Space:	15.65 Acres (34%)	(+1.24 Acres)
Length of New Roadway:	9,240 LF	(-1,571 LF)
Total Guest Parking Provided:	108 Spaces	(-41 Spaces)

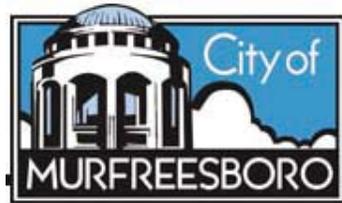


Legend

 Existing Trees to Remain	 Roadway/Driveway
 Existing Creek	 Single Family Lots
 Open Space	 Villas
 Detention	 Cottages

 Not to Scale

*Landscaping shown is strictly conceptual and does not dictate or delineate the location or quantity of proposed landscaping

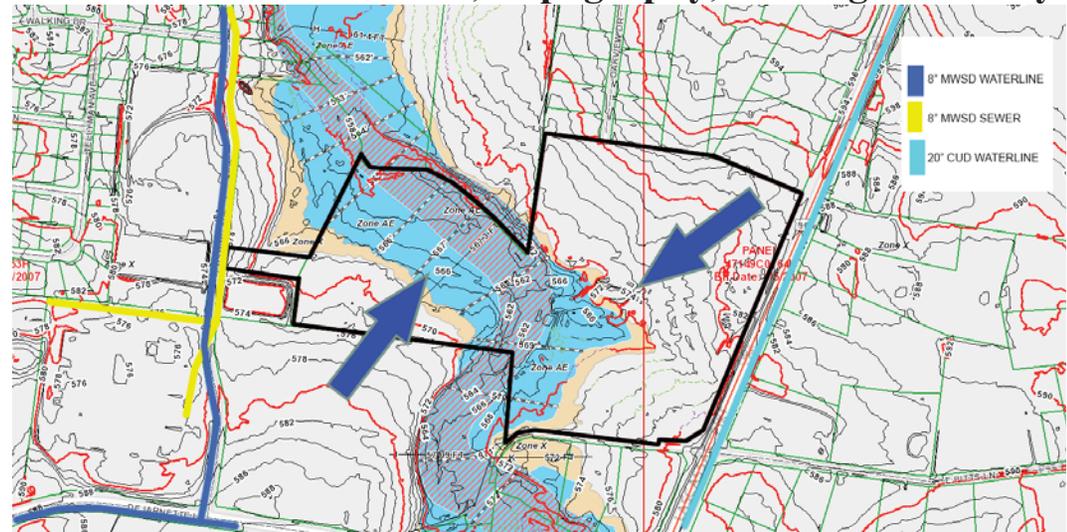


Existing Conditions

Utilities, Topography, and Right-of-Way

Sanitary sewer service will be provided by the Murfreesboro Water & Sewer Department. MWSD will provide water for the portion of the development located on the west side of Bushman Creek. A 8" waterline is located in the R.O.W. of Cushing Avenue, and a 12" sanitary sewer main is located in the ROW of Cushing Avenue on the west side of this property. The developer will be responsible for extending the water and sewer into this property.

The property has/will have access to public right-of-way at two locations. One access point is Lascassas Pike and the other is Cushing Avenue. In addition to these existing connections, there are several other proposed connections via future roadway extensions toward properties located to the south and west to allow for adequate connectivity in the area.



Not To Scale



Middle Tennessee Electric Membership Corporation

Electric shall be provided by Middle Tennessee Electric Membership Corporation from Lascassas Pike. The Developer shall be responsible for extending electric into the site. All electric service shall be underground.

Consolidated Utility District of Rutherford County



Water service will be provided by the Consolidated Utility District of Rutherford County for the portion of the development located on the east side of Bushman Creek. A 20" waterline is located on the east side of Lascassas Pike. The developer will be responsible for extending the line into this property and into the site for domestic and fire water service.

The existing topography is divided into two areas due to Bushman Creek running through the heart of the site from south to north. Stormwater on the east side of the creek generally flows from Lascassas Pike down to the creek. While stormwater on the western side of the Bushman Creek flows from the south to north into the creek. The site currently is covered in pasture with patches of dense trees, and tree in the fence lines along most of the project boundaries. The central portion of the site has floodway and floodplain along both sides of Bushman Creek

Existing Conditions

Aerial & On-site Photographs



Picture #1
Lascassas Pike with site to the right.



Picture #2
Cushing Avenue with site to the right.



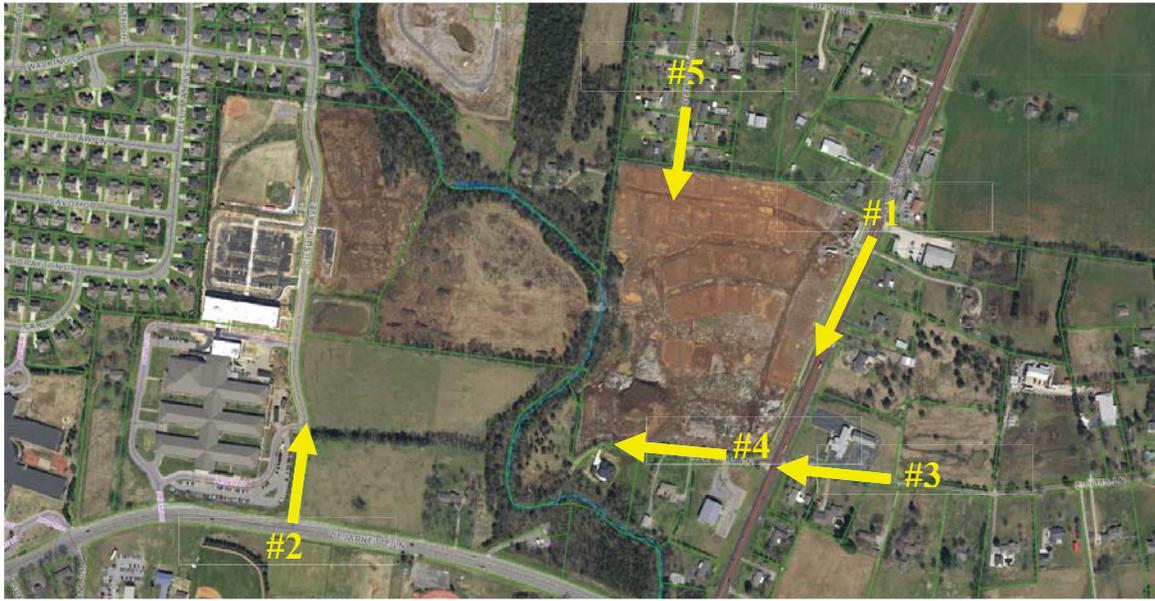
Picture #3
East Pitts Lane with site to the right.



Picture #4
End of Old Pitts Lane with site to the right.



Picture #5
View from Oakview Drive towards the site



 *Not To Scale*

Existing Conditions

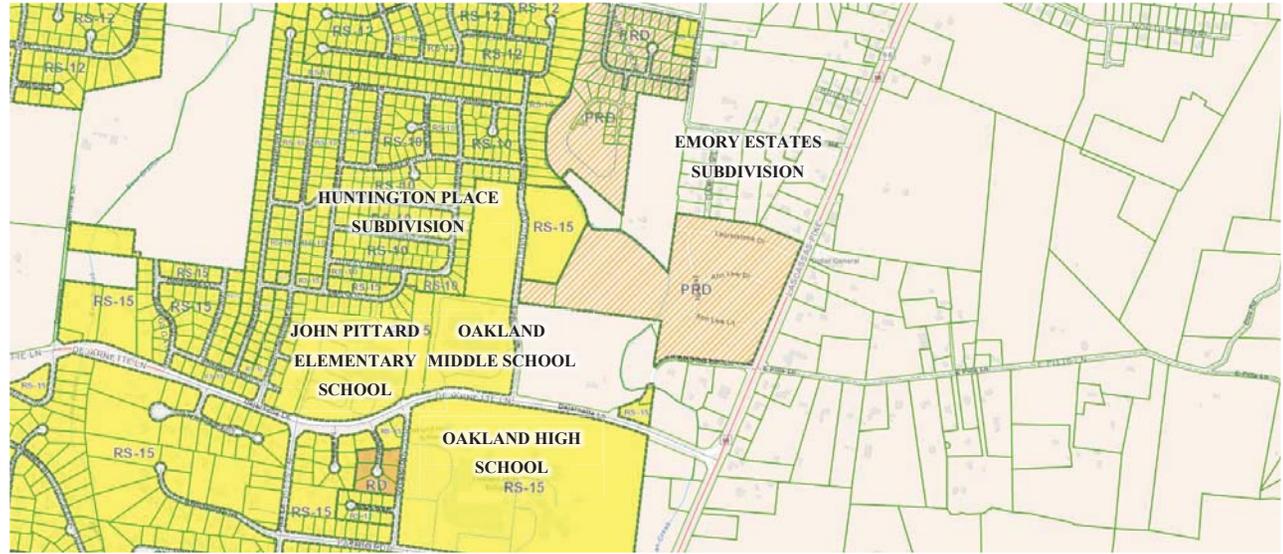
Surrounding Zonings & Developments



Picture #6
Emory Estates Subdivision



Picture #7
Huntington Subdivision



 *Not To Scale*



Picture #8
John Pittard Elementary School



Picture #9
Oakland High School



Picture #10
Oakland Middle School

Proposed PRD Amendment Development Standards

Synopsis

- ✦ 186 Dwelling Units with 2 Bedrooms or more.
- ✦ Three varieties of dwelling units
 - Age Targeted Cottages
 - 109 Units (all 2-3 bedroom units)
 - Age Targeted Villas
 - 49 Units (2-3 bedroom units)
 - Age Targeted Single Family Lots
 - 31 Lots (all 3-4 bedroom units)
- ✦ All homes will be required to be constructed with a mixture of brick, stone, and cement board siding. Representation of material mixtures are outlined on Pages 11 & 14.

Laurelstone consists of 186 dwelling units on 46.48 acres for a density of 4.00 d.u. per acre. The concept provides over 25% of open space that will function as stormwater management areas as well as recreation areas. In addition to the unstructured open space, the project will include a clubhouse, a dog park, and a community garden.

All units are designed towards an age targeted (a move down) buyer demographic that no longer desires the weekly responsibility of exterior maintenance on their homes. This demographic is not exclusive to a move down buyers, it also includes single parents, widows/widowers, or other markets that desire living with little maintenance in a respected community.



- ✦ The development will contain public streets and private alleys.
- ✦ Cushing Avenue and Lascassas Pike entrances will have a new entrance sign constructed of masonry materials and enhanced with landscaping.
- ✦ Driveways shall be a minimum of 20' deep and 16' wide.
- ✦ The development provides a total of 372 driveway parking spaces for a 2 spaces per unit ratio. With 372 garage spaces that ratio rises to 4 spaces per unit. In addition, 108 guest parking spaces have been planned throughout the project.
- ✦ Each unit will provide at least 4 parking spaces per lot (a minimum of 2 spaces in the driveway & 2 spaces in the garage).
- ✦ This plan is committed to promoting the primary use of all garages for vehicular parking while restricting the parking of boats, RVs, household storage, etc. within the garages. Each garage shall always be available for the parking of two vehicles. This commitment shall be included in the restrictive covenants and enforced by the homeowner's association.
- ✦ Landscaping on each lot will be installed by the home builder, while landscaping for the open spaces areas will be installed by the developer with each phase. See Pages 17 & 18.

Proposed PRD Development Standards

- ✦ All public streets have been designed to comply with the City's subdivision regulations.
- ✦ Prior to preliminary plat review, a complete and thorough design of the stormwater management system and facilities will be completed.
- ✦ All homeowners will be required to be members of the H.O.A.
- ✦ All front, sides facing R.O.W. shall be required to be sodded.
- ✦ All utilities shall be underground.
- ✦ No HVAC units will be permitted within the side or front yards of the homes.
- ✦ All homes shall have minimum 2 car garages.
- ✦ Mail service will be provided via Centralized Mail Kiosk for all postal services.
- ✦ All homes shall have concrete driveways wide enough for 2 vehicles and be a minimum of 16' in width. Single family detached homes shall be a minimum of 35' in depth.
- ✦ Sidewalks shall be constructed along both sides of all public streets.
- ✦ Solid waste services for the development will be provided by the City of Murfreesboro. All alleys will be designed to accommodate both the weight and turning movements of city solid waste vehicles. City solid waste carts will be stored in garages except on the day of service.
- ✦ Public streets and Private Alleys shall be coordinated with MTEMC to meet MTEMC's lighting standards.
- ✦ The proposed alleys will be private and maintained by H.O.A. The rest of the streets will be public R.O.W.



Example Entrance Sign

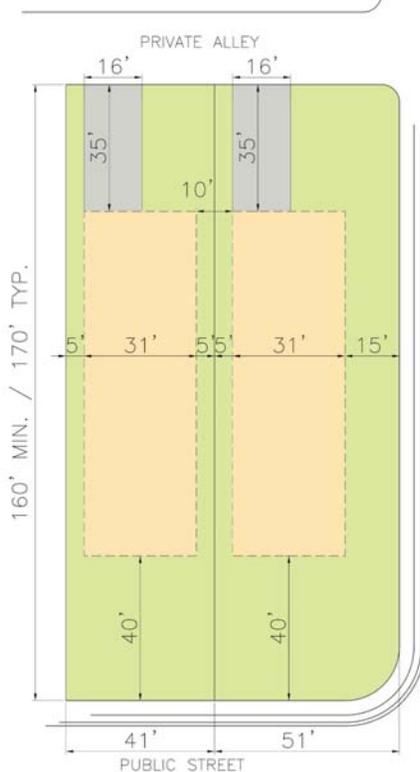


Example Centralized Mail Kiosk

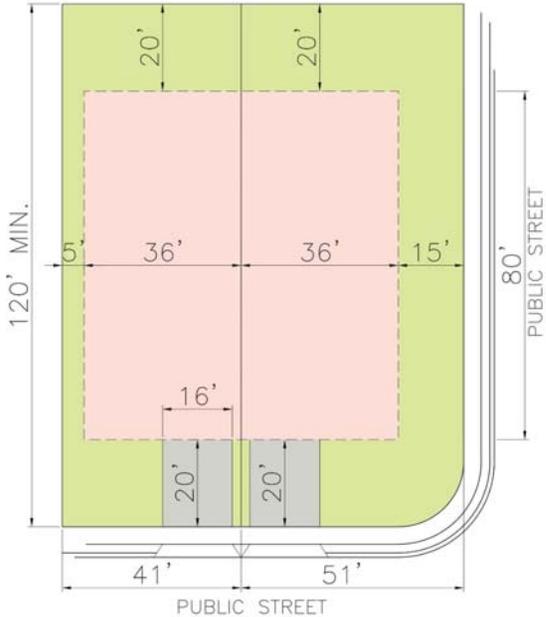


Example Lighting

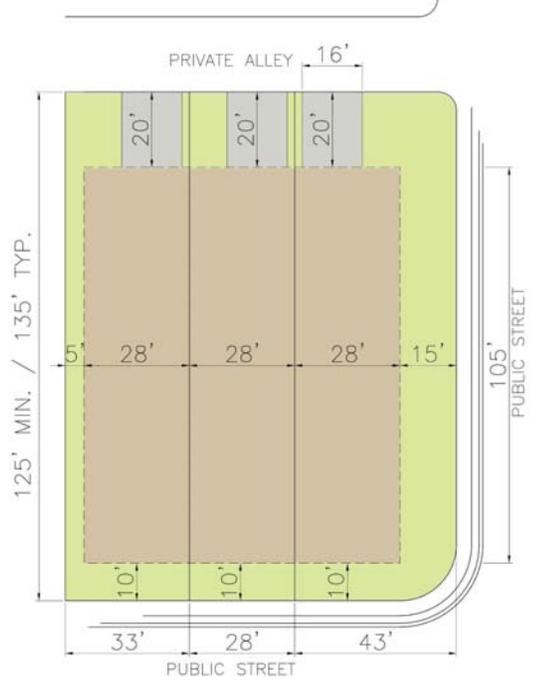
Proposed PRD Amendment Setback Diagrams



Single Family Lots



Villas



Cottages

Lot Type	Minimum Lot Size	Minimum Front Setback	Minimum Rear Setback	Minimum Side Setback	Minimum Corner Side Setback to ROW
Cottages	3,500 Sf.	10 feet	20 feet	5' with min., 10' b/w Buildings	15 feet**
Villas	4,900 Sf.	20 feet	20 feet	5' with min., 10' b/w Buildings	15 feet**
Single Family Lots	6,500 Sf.	40 feet	35 feet	5' with min., 10' b/w Buildings	15 feet**

****Note:**
Traffic sight distances on corner lots will be reviewed during construction plan review at a later date and will be subject to approval by the city traffic engineer.

Proposed PRD Amendment

Phasing Plan

- ✦ The project is anticipated to be built in 2 phases with a mixture of home types in each phase.
- ✦ Construction of Phase 1A is currently underway.
- ✦ There shall be no development in areas labeled Phase 2 until the bridge construction is completed, except for mass grading and required utilities to serve the site.
- ✦ Construction timing of the remaining phases will be market driven and dependent upon the absorption of the lots in the previous phase.
- ✦ In general, each subsequent phase will begin construction after the previous phase is 80%-85% sold.
- ✦ The sidewalks within each phase will be constructed by the home builders as the homes are constructed. If sidewalks are located along common area then, the developer will construct those portions with the infrastructure work.
- ✦ Amenities will be constructed within the phases they are shown. All amenities must be constructed and operational prior to the recording of the Phase 2 final plat.



Not to Scale

Phase #	Single Family	Villas	Cottages	Phase Acres
1A	0	30	23	9.08
1B	19	0	48	14.4
2	12	16	38	23
Total	31	46	109	46.48

Proposed PRD Amendment

Proposed Villas

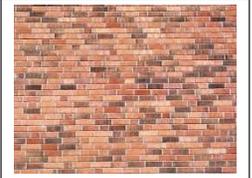
- ❖ All villas will be minimum of 1,400 s.f. of living area with 2 bedrooms with an option for a third bedroom.
- ❖ All villas will have 2 car garages and will be 100% front entry.
- ❖ The villas shall be 1 or 1 ½, story buildings.
- ❖ All elevations will be comprised brick, stone, and fiber cement board siding. Vinyl will only be permitted in the trim and soffits.
- ❖ Elevations with fiber cement board product shall have a water table base to separate the fiber cement board from finished grade.
- ❖ The villas are an age targeted home geared towards a 55 and older resident but not age restricted. Deliberate design features are included to market to this demographic specifically.
- ❖ Garage doors shall be decorative with varies styles and colors to enhance architectural appeal.
- ❖ The villas will be sold fee simple, similar to zero lot line homes.
- ❖ Maximum building heights will be 35'.
- ❖ Landscape maintenance will be maintained by H.O.A.



Not to Scale



Example of the Cement Board
(different colors will be allowed)



Example of Possible Brick
(different colors will be allowed)



Example of the Stone Veneer
(different colors, cuts, patterns will be allowed)

The elevations of the homes will vary across the development. The images below are meant to convey the general appearance and functionality of the buildings.



Villa Elevation Examples

Proposed PRD Amendment

Proposed Cottages

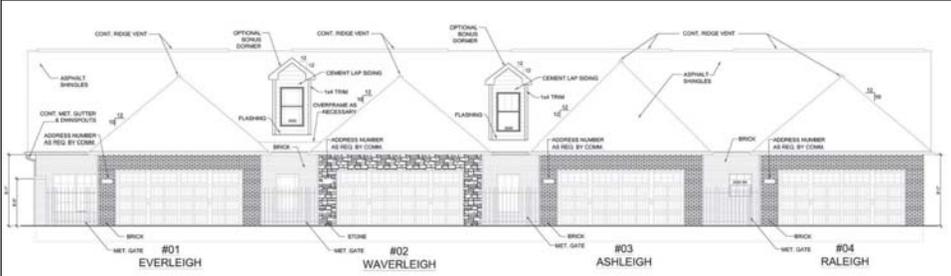
- ❖ All cottages will be minimum of 1,200 s.f. of living area with 2 bedrooms, with an option for a third bedroom.
- ❖ All cottages will have 2 car garages and shall be alley loaded.
- ❖ The cottages can be 1, 1 ½, and 2 - story buildings.
- ❖ All elevations will be comprised brick, stone, and fiber cement board siding. Vinyl will only be permitted in the trim and soffits.
- ❖ Elevations with fiber cement board product shall have a water table base to separate the fiber cement board from finished grade.
- ❖ The cottages are an age targeted home geared towards a 55 and older resident but not age restricted. Deliberate design features are included to market to this demographic specifically.
- ❖ Maximum building heights will be 35'.
- ❖ Garage doors shall be decorative with varies styles and colors to enhance architectural appeal.
- ❖ Landscaping will be required along all internal roads of the project, and be maintained by the H.O.A.
- ❖ All cottages will be sold fee simple, similar to zero lot line homes.



Not to Scale



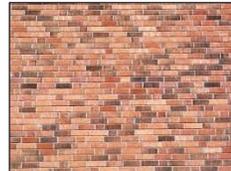
Example of Front/Public Street Elevations



Example of Rear/Alley Elevations



Example of the Cement Board
(different colors will be allowed)



Example of Possible Brick
(different colors will be allowed)



Example of the Stone Veneer
(different colors, cuts, patterns will be allowed)

The elevations of the homes will vary across the development. The images to the left are meant to convey the general appearance and functionality of the buildings.

Proposed PRD Amendment

Proposed Single Family Detached Homes

- ❖ All single-family homes will be minimum of 1,500 s.f. of living area with 3-4 bedrooms.
- ❖ All single-family homes shall have alley loaded 2-car garages.
- ❖ The single-family homes shall be 1, 1 ½, or 2-story buildings.
- ❖ All elevations will be comprised brick, stone, and fiber cement board siding. Vinyl will only be permitted in the trim and soffits.
- ❖ Elevations with fiber cement board product shall have a water table base to separate the fiber cement board from finished grade.
- ❖ The single-family homes are an age targeted home geared towards a 55 and older resident but not age restricted. Deliberate design features are included to market to this demographic specifically.
- ❖ Garage doors shall be decorative with varies styles and colors to enhance architectural appeal.
- ❖ The single family lots will be for purchase.
- ❖ Maximum building heights will be 35'.
- ❖ Landscape maintenance will be maintained by H.O.A.

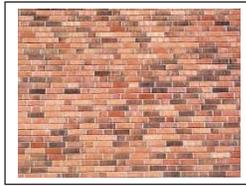


Not To Scale



Example of the
Cement Board

*(different
colors will be
allowed)*



Example of
Possible Brick
*(different colors
will be allowed)*



Example of the
Stone Veneer
*(different colors,
cuts, patterns
will be allowed)*

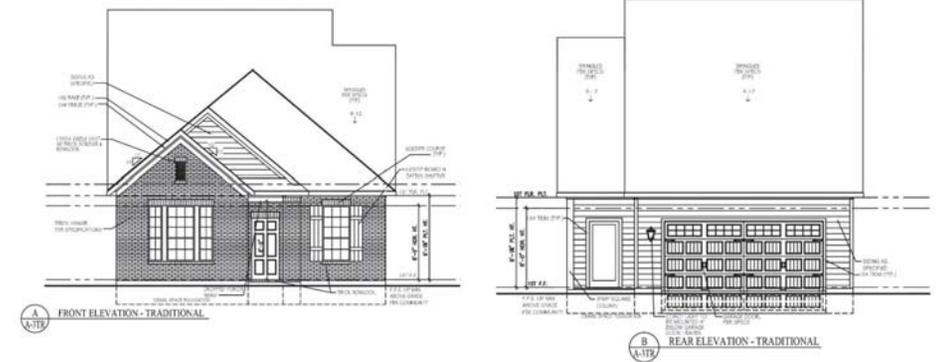
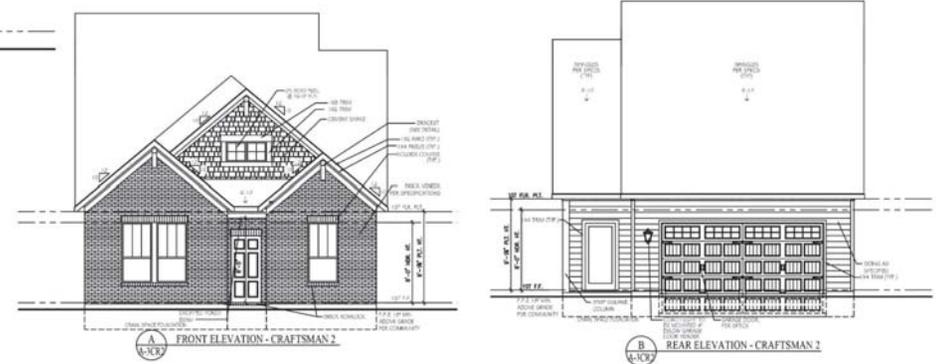
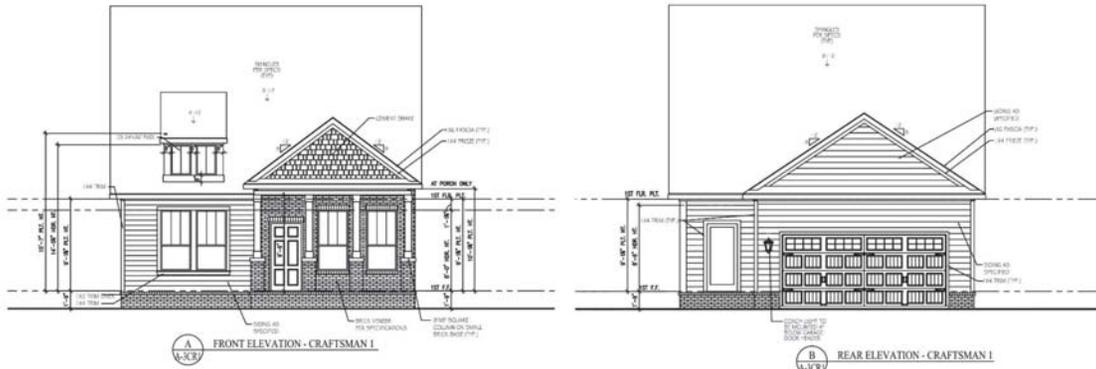
The elevations of the homes will vary across the development. The images below are meant to convey the general appearance and functionality of the buildings.



Example of Elevations

Proposed PRD Amendment

Proposed Single Family Detached Homes

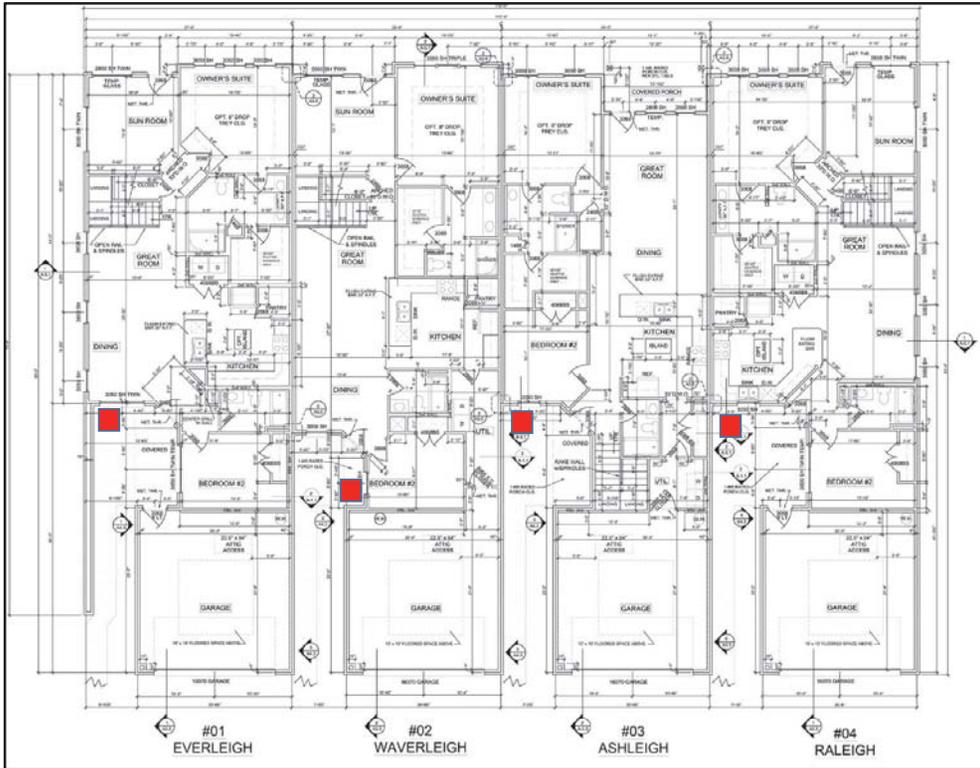


The elevations of the homes will vary across the development. The images below are meant to convey the general appearance and functionality of the buildings.

Example of Elevations

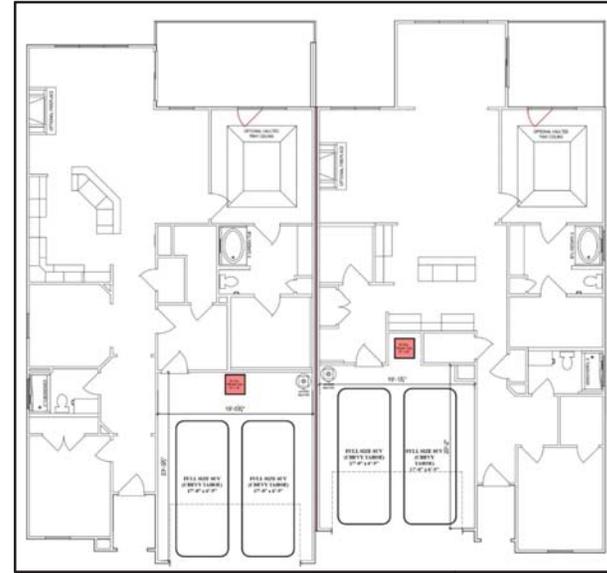
Proposed PRD Amendment

Floorplan Examples



Example of a Cottage Floorplan

Not to Scale



Example of a Villa Floorplan

Not to Scale

❖ Garbage can storage for the Cottages will be in the entry court area.

❖ Garbage can storage for the Villas will be in the garage.
 ■ Garbage can locations indicated in red

The floorplans of the homes will vary across the development. The images shown are meant to convey the general appearance and functionality of the buildings.

Proposed PRD Amendment

Amenities

With this request, Laurelstone will be dedicating over 25% of the development as open space for the neighborhood. This open space area will contain the stormwater management areas as well as passive recreational areas. Sidewalks are included on both sides of the public street throughout the neighborhood to provide pedestrian connectivity. The amenities program shall include a clubhouse, dog park, and community gardens for residence to enjoy. The elevations of the clubhouse shall be consistent in both materials and architectural styles of the proposed homes.



Not To Scale



Example of Community Garden

The residents of Laurelstone shall be required to be members of the H.O.A. and shall have access to the proposed facilities and amenities within the neighborhood. As a member of the H.O.A., the residents will be subject to restrictive covenants and be required to pay membership dues as determined by the 3rd party management company. The Laurelstone H.O.A. will be responsible for the maintenance of home exteriors, driveways, private roads and parking areas, amenities, and common open spaces.



Example Elevation of Clubhouse



Outdoor Patio and Grilling Area

Pursuant to the Murfreesboro Major Thoroughfare Plan, Lascassas Pike is planned to be improved to a 5-lane cross-section in the future. Laurelstone shall dedicate any required ROW for those roadway improvements. This project has TDOT approved plans to construct turn lanes off of Lascassas Pike into the Development.

Laurelstone is proposed to have 4 points of ingress/egress planned at various locations throughout the property. The initial main entrance will be off Lascassas Pike. As the project expands, a second main entrance will provide access to Cushing Avenue. A stub street to the west in Phase 1A will provide access to the property west of Phase 1A. A stub street to the south in the western portion of Phase 2 will provide access to the property south of Phase 2. These road connections will not only aid in providing the residents of the new development with access to their homes, but will allow the residents of the surrounding developments extra connectivity to the roadways in this area of Murfreesboro. All proposed streets within the development will be public right-of-way and developed in conformance with the City of Murfreesboro's Street Specifications, except for the proposed alleys which will be private.

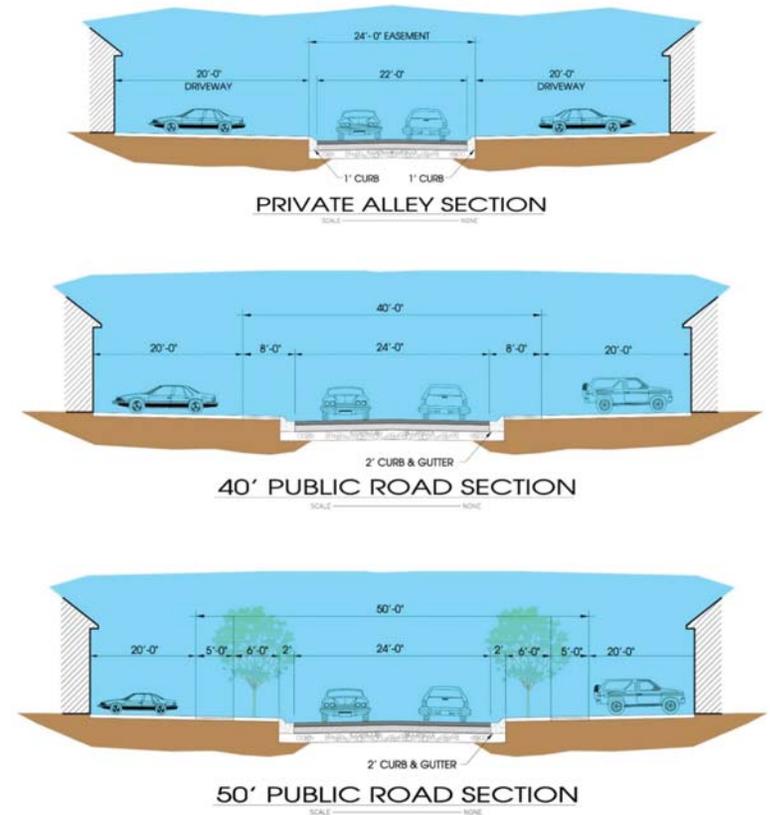
R.O.W. dedication is proposed from the cul-de-sac at the southern edge of the property. This reserved R.O.W. is to allow access to Old Pitts Lane if it is warranted by the City of Murfreesboro. This will allow for future vehicular access and circulation into and out of Laurelstone and surrounding properties. R.O.W. dedication is also proposed for the northern side of Old Pitts Lane for future improvements to Old Pitts Lane.



Not to Scale

Proposed PRD Amendment

Ingress/Egress



Proposed PRD Amendment Conceptual Master Landscape Plan



*Proposed landscaping shown is strictly conceptual and does not dictate the final location or quantity of landscaping.


Not to Scale

Landscaping shall enhance the architectural style of the homes, while creating curb appeal for the community. Home elevations facing public streets shall have foundation landscaping consisting of both deciduous and evergreen shrubs to create year-round interest. Perennials and grasses will add a variety of colors and textures to each home. Lawn areas adjacent to 50' and 40' ROWs shall provide street tree to create a unified streetscape. Alleys shall be planted with both understory and street trees to create a unified streetscape as well. Understory trees are proposed between the Cottage driveways, while Single Family lots shall have shade/street trees. Understory trees are proposed between the Cottage driveways, while Single Family lots shall have shade/street trees.

Proposed PRD Amendment Conceptual Residential Landscape Plan



COTTAGES



SINGLE FAMILY HOMES



VILLAS

Section 13 Subsection D Item 2a Requirement

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: An exhibit is given on Page 4 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: An exhibit is given on Page 4 that shows the existing contours and drainage patterns along with an aerial photograph of the area. The central portion of the property is subject to floodplains and floodways associated with Bushman Creek.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits and photographs on Pages 4-6 give the location of existing structures on the subject property and the surrounding properties.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: Overall amended concept plan is located on Page 3 with the previously approved plan on Page 2 for comparison. Pages 7-19 lists the standards and exhibits pertaining to the amended concept plan.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: Page 7 lists this information.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). *These tabulations are for the PRD.*

Total Site Area	2,024,669.00
Total Maximum Floor Area	313,500.00
Total Lot Area	896,777.00
Total Building Coverage	248,800.00
Total Drive/Parking Area	125,134.00
Total Right-Of-Way	247,489.00
Total Livable Space	1,899,535.00
Total Open Space	681,775.00
Floor Area Ratio (F.A.R.)	0.15
Livability Space Ratio (L.S.R.)	0.82
Open Space Ratio (O.S.R.)	0.88

Section 13 Subsection D Item 2a Requirements (cont.)

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned PRD City of Murfreesboro. The surrounding areas have a mixture of residential properties including other PRD developments and RZ. The amended concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align with the type of single-family developments in the surrounding neighborhoods and are envisioned to compliment the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:
(aa) the approximate date when construction of the project can be expected to begin;

Response: The Phasing of the development is discussed on Page 10.

(bb) the order in which the phases of the project will be built;

Response: The Phasing of the development is discussed on Page 10.

(cc) the minimum area and the approximate location of common space and public improvements that will be required at each stage;

Response: The Phasing of the development is discussed on Page 10.

(dd) a breakdown by phase for subsections [5] and [6] above;

Response: The exact size and location of each phase is unknown at this time, but a representative phasing plan has been provided on Page 10

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Page 16.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: None to be required

	Current	Proposed Amendments to the PRD								Difference
	PRD	Site	Difference	Single Family	Diff.	Cottages	Diff.	Villas	Diff.	
Maximum Gross Density	4.41 Units/AC	4.02 Units/AC	-0.39 Units/AC							-0.39 Units/AC
Front Setback	10.0'			40.0'	+30.0'	10.0'	+0.0'	20.0'	+10.0'	
Side Setback	5.0'			5.0'	+0.0'	5.0'	+0.0'	5.0'	+0.0'	
Rear Setback	20.0'			35.0'	+15.0'	20.0'	+0.0'	20.0'	+0.0'	
Minimum Lot Size (SQ.FT)	3,000			6,500	+3,500	3,780'	+780'	4920	+1,920	
Minimu Lot Width	28'			41.0'	+13.0'	28.0'	+0.0'	41.0'	+13.0'	

Section 13 Subsection D Item 2a Requirements (cont.)

- 11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article
Response: This property is within the Airport Overlay District (AOD). This property is not in the Battlefield Protection District (BPD), Gateway Design Overlay District (GDO), Historic District (H-1), or Planned Signage Overlay District (PS). A portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0163H Eff. Date: 1/5/2007.
- 12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.
Response: Page 16 discusses the Major Thoroughfare Plan.
- 13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.
Response: The primary representative is Rob Molchan of SEC, Inc.

Developer

Goodall Homes

393 Maple Street, Suite 100
Gallatin, TN 37066
Contact: Maverick Green
Ph #: 931-205-2435
Email: mgreen@goodallhomes.com

Engineering, Surveying,

Land Planning & Landscape Architecture

SEC, Inc.

850 Middle TN Blvd
Murfreesboro, TN 37129
Contact: Rob Molchan, R.L.A.
Ph #: 615-890-7901
Email: rmolchan@sec-civil.com

- 14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures
Response: Pages 11-15 show the architectural character of the proposed homes with garages shown and building materials listed. A Single-family option has been added to this amendment and can be seen on Pages 13-14. Villas will be allowed to have rear porches and attached lighting, cottages will have automatic lighting in the alleys. However, exact configuration for these items is unknown and will be determined as each home is built. The public streets will have standard streetlights spaced per Middle Tennessee Membership Corporation guidelines.
- 15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.
Response: Page 4 shows the site plan indicating the location of the entrance sign. Also, Page 8 provides a picture of a similar sign. The sign will be constructed of masonry materials. If lit, the sign will have up-lighting. The sign shall be anchored with landscaping. All elements of the sign will be in accordance with the City of Murfreesboro's Sign Ordinance.

August 14, 2020

Mrs. Margaret Ann Green
City of Murfreesboro Planning Dept.
111 West Vine Street
Murfreesboro, TN 37133-1139

RE: Laurelstone PRD Amendment
Responses to Comments
SEC Project No. 16106

Dear Margaret Ann,

Please find our responses to your comments dated August 7, 2020 regarding the PRD Amendment submittal.

- Identify all the changes in the PRD program book (overlay, or memo, etc.)
 - Response: A more detailed letter is forthcoming.
- Please show proposed improvements to Lascassas Pike consistent with the MTP. Right of way and participation by the developer is recommended. It may be available to offset monetary participation by any work the developer may do in the way of turn lanes, possibly the extension of the existing turn lane on Lascassas.
 - All previously required roadway improvements have been submitted and approved with the construction plans for Section 1-Phase 1A. Those included dedicated right-hand turn lane into the development on the south bound travel lane, and a dedicated left-hand turn lane in the middle of the road to turn into the development for traffic heading north.
- Improvements along Old Pitts Ln/W Pitts Ln are needed with this plan.
 - As per the previously approved PRD, this project was to have no access to Old Pitts Lane. The master plan shows ROW dedication between the end of the cul-de-sac and Old Pitts Lane (see revised master plan amendment, that matches the previously approved plan). This lack of connection was at the request of the neighbors and agreed upon by city during the approval of the original PRD.
- Add intersection improvements (NB right turn lane, 3-lane x-section, sidewalk connection etc.) at Lascassas Pike and Old Pitts Ln – first point of entry into the subdivision.
 - As per the previously approved PRD, no improvements are to be made to Old Pitts Lane or at the intersection with Lascassas Pike. The project has

already agreed to build a bridge to allow for traffic flow between Cushing Avenue and Lascassas Pike to help alleviate traffic along DeJarnette Lane.

- Possible future extension of Old Pitts Ln onto DeJarnette Ln?
 - The project has already agreed to build a bridge to allow for traffic flow between Cushing Avenue and Lascassas Pike to help alleviate traffic along DeJarnette Lane. A connection of Old Pitts Land to DeJarnette Lane is not necessary or warranted at this time.



- Three units have been added in a common area located to the easternmost portion of property, adjacent to an existing detention pond. This design creates an undesirable condition with a permeant dead-end. Please relocate, reduce or redesign this area.
 - Revised master plan shows the three units moved to the east, and stub street to the south moved to the west towards the county detention area.



- The plan needs to clearly identify how many off-street parking spaces are being proposed with the new plan and compare that to the currently approved plan.
 - Added to Page 3.
- Removing the 90-degree parking spaces off Road B to avoid backing into the public street
 - Parking has been removed. Cul-de-sac shown as per approved PRD.



- The minimum lot width and minimum square feet needs to be identified for the single-family, detached houses. On page 9.
 - Minimum lot sizes have been added to the chart on Page 9. Lot diagrams show minimum lots sizes.
- A notation should be added that no HVACs will be permitted within the side or front yards of the structures.
 - Notation added to Page 8.
- Page 7 &/or 8 should note that all single-family, detached homes will have a concrete driveway that is a minimum 16-foot wide and 35-foot deep to correspond with lot layout page.

- Modified driveway notation on Page 8 to clarify the 35' length on the Single-Family detached units.
- On the master plan and amenity page, please distinguish between the open space, formalized amenities and the stormwater management areas proposed in the plan.
 - Added labels.
- Include proposed dog park on the amenity plan.
 - Dog park has been called out and located on the amenities page.
- The phase plan on page 10 needs to identify when the amenities will be added.
 - Added notation for amenities.
- The architecture on pages 11, 12, 13 should identify the treatments to the sides of the homes facing public rights-of way.
 - Sides shall have a masonry product, waiting on developer for any additional info
- Will all areas that remain in floodway or flood plan be common area and not on individual lots of record? Please note in plan.
 - The floodway areas of the site will not have residential lots within them but will be only in common open space areas. There are residential lots within the 100-year floodplain, similar the approved PRD plan.
- The architectural critierial should require a brick, stone or rock water table and not allow cementation siding all the way to the base
 - Waiting on developer/builder for any additional info
- The proposed architecture for a couple of the single-family homes appears to have a roof that is out-of-proportion to the structure (page 13 the first and the third house images)
 - Developer and builder reviewing design options.

Should you have any questions, please feel free to contact me at 615-890-7901 or email me at rmolchan@sec-civil.com.

Sincerely,

A handwritten signature in black ink, appearing to read 'Rob Molchan', written in a cursive style.

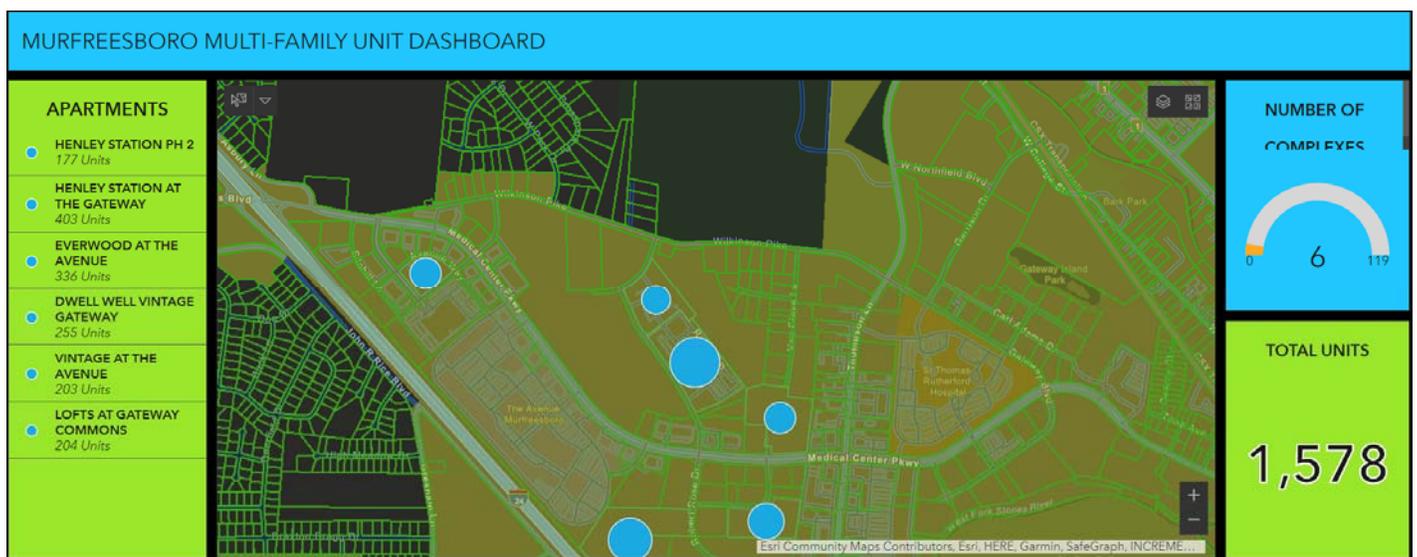
Rob Molchan, P.L.A.
SEC, Inc.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
SEPTEMBER 2, 2020**

PRINCIPAL PLANNER: MARGARET ANN GREEN

4.f. Zoning application [2020-409] for approximately 78 acres located along Medical Center Parkway, Robert Rose Drive, Wilkinson Pike and Willowoak Trail to be rezoned from MU, GDO-1 and GDO-2 to PUD, CH, GDO-1 and GDO-2 (Clari Park), Hines Acquisitions LLC applicant.

The subject property is located along the north side of Medical Center Parkway, south of Wilkinson Pike, east of Greshampark Drive and west of Robert Rose Drive (Tax Map 079 Group 094.00). The property consist of 77.8 acres and is zoned MU (Mixed Use District), GDO-1 and GDO-2. The properties to the north are in the unincorporated area of Rutherford County and are mostly developed, single-family lots. The Stones River National Battlefield is to the northeast of the subject property. Properties to the west and south are developed, commercial properties and include the Chamber of Commerce, the convention center and the Avenue Lifestyle center. Henley Station apartments and The Villages of Murfreesboro retirement and assisted living facility are contiguous to the subject area. The Villas at Indian Creek and Manson Pike Crossing are two large townhome developments located in the GDO. Gateway Village located on North Thompson Lane is a mixed-use development that includes residential condominiums. The GDO currently has 2,806 apartments units available or under construction with 1,578 of those units on the east side of I-24, as shown on the following map.



Background

In December of 2013, the City of Murfreesboro created the Mixed Use District (MU) which introduced a residential component to the base zone of properties located within the GDO to create opportunity for mixed-use development. At that time, the City also initiated rezoning of the subject property from OG (General Office District) and RS-15 (Single-family, Residential District) to the newly created MU. A portion of the properties along Wilkinson Pike remained zoned RS-15.

In 2017, the City Council approved a request made by the property owner to rezone the remaining segment of RS-15 property to MU and to remove the Wilkinson Pike buffer from the property. The Wilkinson Pike buffer is a 100-foot wide area that extends along the south side of Wilkinson Pike and was placed upon this property when the Gateway Design Overlay District was established in 2004. It serves as a transition point between residents across the street and the national park by restricting development and by increasing the minimum building setback to 100-feet or more. In an effort to alleviate concerns with the removal of the Wilkinson Pike Buffer in this area, the property owner volunteered to place restrictive covenants on the property which required a landscaped berm along Wilkinson Pike to be completed during the next growing season (fall 2017). These restrictive covenants were recorded and presented to the City Council prior to the second and final reading of the ordinance. On September 20, 2017, the Planning Commission reviewed and approved a site plan for the construction of this landscape buffer and berm, however, the property owner has not installed it. It is now several years beyond the time this buffer was committed to be installed and planted. The Clari Park PUD proposes to delay installation of the berm even further with no definite time for completion.

The Mixed Use district permits various types of commercial, office and institutional uses and incorporates some multi-family. A few years after the creation of the MU district, the Murfreesboro City Council became aware that it was becoming consumed by multi-family uses- the only type of residential use permitted in the MU district. City Council asked staff to draft a Zoning Ordinance amendment that protected the mixed-use vision for this area and requires it to develop with primarily commercial and/or institutional uses. The following was adopted:

In developments consisting of 10 or more acres in the MU zoning district, the use "dwellings, multiple-family" shall constitute no more than 25% of developable land area. In developments consisting of fewer than 10 acres in the MU zoning district, the use "dwellings, multiple-family shall constitute no more than 50% of developable land area.

The Clari Park PUD proposes to utilize approximately 41% of the land for commercial purposes, approximately 32% as townhomes/ condominium and approximately 26% as apartments with 8,000 square feet first floor commercial space.

Clari Park PUD:

The Clari Park PUD is a 77.8 acre development, consisting of townhomes, multi-family condominiums, apartments and commercial outparcels. The project is divided into 7 distinct areas. In total, the plan proposes a maximum of 600 multi-family dwelling units on 19.4 acres, 290 townhome and condominium on 24 acres, and 30.4 acres zoned CH. Approximately 3.9 acres will be public rights-of-way or private roads.

On June 17, 2020, Hines Acquisitions LLC presented a request to rezone the 78 acres to PUD. The applicants expressed a desire to allow this project to be open-ended and market-driven and requested the PUD be approved as such. During the Planning Commission meeting, staff expressed concerns with the amount of uncertainty presented in the program book and not enough clear commitments or guidance on future development. Several images were provided in the program book that depict a desirable, mixed-use development that is in keeping with the vision Murfreesboro has established for this area; however, very few commitments were being made that guarantee this project will develop as suggested.

On July 15, 2020, the applicants returned to the Planning Commission to present a modified plan. In this version of their PUD The applicants revised the PUD program book and present it for the Planning Commission consideration. Below is a revised chart highlighting some elements of the plan of that July 15th plan.

Revised Zone Change Request- to PUD & CH

On August 19, 2020, the applicants returned to the Planning Commission with a modified zoning change request. The applicants were unable to refine their plans enough for a PUD program. Therefore, they amended their application to rezone areas located along Medical Center Parkway, Robert Rose Drive, Wilkinson Pike, Willowoak Trail, and Greshampark Drive from MU to CH (Highway Commercial District). The boundaries of the GDO-1 and GDO-2 districts will not be affected by this request.

		Acres	Dwelling Units	Density	Phase
Area 1	CH	8		0.0	PHASE 1
Area 2	Townhomes (PUD)	15.7	165	10.5	
Area 3	CH	15.8		0.0	
Area 5	Multi-family apartments & commercial (PUD)	9.3	305	32.8	PHASE 2
Area 4	CH	6.7		0.0	PHASE 3
Area 6	Townhomes or multi-family condominiums (PUD)	125	15.1	0.1	
Area 7	Multi-family apartments & commercial (PUD)	10.1	295	29.2	

Clari Park Planned Unit District- 47.3 acres

Townhomes- Areas 2_(pages 34-39) 15.7 acres

Area 2 of the PUD consists of a maximum of 165 single-family attached dwellings with attached, alley loaded garages. These townhomes are proposed to have a minimum of 1,400 square feet heated space. Several of the units front on courtyards referred to as mews in the program book. The Area 2 townhomes will have an amenity area with a pool, pool house and wet ponds with fountains that will also serve as stormwater management. This property is located within the Wilkinson Pike buffer area and is contains the buffer berm.

Staff has communicated with the with applicant regarding concerns with the layout and design of the townhomes portion of the PUD. In previous versions, the majority of the units were not oriented toward the street. The revised plans now have several units facing the street. The applicant is proposing that 8 of the side-facing townhomes incorporate wrap-around porches. The remaining 21 side-facing units are proposed to have what is referred to as an “enhanced side elevation”, essentially the addition of shutters on interior units. Staff still recommends that the plan be reworked so that some of the units can be reoriented toward the central street and the remaining side units receive the wrap-around porch treatments.

Also of a concern is that the plan maintains several dead-end alleys which create a trap for residents, visitors and service delivery vehicles. Planning staff consistently advocates for interconnectivity and believes it is crucial in this plan. The current design does not incorporate the cross-access in the alleys and creates dead-end traps. In a few locations, the plan proposes a hammerhead solution to provide a space for vehicles to turn around. The hammerheads are much less effective than connecting the alley network. The location of these proposed hammerheads are also ripe for misuse as informal parking and any efforts to prohibit parking in these area would be difficult to enforce.

Due to the lack of guest parking spaces, staff suggests the central street be designed with traditional parallel, on-street parking.

The eastern property line that runs parallel with a large residential lot owned by Beulah Hale needs to be addressed. The plan does not provide sufficing treatment along this boundary as it creates headlight glare into the adjacent property and proposes no buffer to preserve the sense of space for the Clari Park residents or the house located on the Hale property.

Because these townhomes are alley-loaded garages, there is no rear patio to serve as outdoor space for the residents. The outdoor space will be provided in the fronts of the units. The front porches on these townhomes are important and they must be functional and be aesthetically pleasing. The front porches are also meant to encourage social interaction. Staff has asked the applicant to size them so that residents can easily have

an outdoor seating area. Staff has also asked the applicant to elevate the porches to create a high-quality design and to move away from the slab-on-grade appearance.

Townhomes & multi-family condominiums- Areas 6 (pages 34 & 44)
8.3 acres

Area 6 of the PUD consists of a maximum of 125 single-family, attached dwellings (townhomes) and/or multi-family condominiums. The townhomes are to have a minimum of 1,400 square feet heated space and the condos a minimum of 850 square feet. Area 6 serves as a transition into the adjacent commercial and high density residential.

Apartments & Commercial- Areas 5 & 7 (Area 5 page 38-43; Area 7 on page 32- 33)
19.4 acres

Area 5

This area is expected to be multi-family apartments. The plan requires a minimum of 4,000 square feet office, service and commercial uses on the first floor to create a more mixed-use development. Additional parking is not being proposed for the office/services uses within Area 5. The center courtyard of the apartment complex in Area 5 is proposed to be a formal open space that is the focal point of the entire Clari Park development. A multi-use path connects is alongside this parcel. Private, on-street parking is shown on the plans.

Area 7

This area is expected to be multi-family apartments. The plan requires a minimum of 4,000 square feet office, service and commercial uses on the first floor. There is also a potential opportunity to extend the apartments within Area 5 within this area no sooner than three years after the completion of Area 5. Additional parking is not being proposed for the office/services uses within Area 5.

Transportation:

Staff from the Development Services and the Public Infrastructure departments have provided comments and feedback regarding the proposed street networks, layouts, improvements, infrastructure and streetscape elements to the design team.

Master Plan Amendment

Approval of this zoning plan would also necessitate an amendment to the approved Master Plan for these properties. Staff has expressed concerns to the design team that the proposed plan does not extend West Park Drive or Gravett Drive. The road that goes through Area 2 is a gated, private drive. The plan also places the apartments in Area 5 in the projected extension of Gravett Drive.

Phasing of infrastructure: page 26

- Part of Area 2 for townhomes and the extension of Willow Oak Trail has been changed to Phase 2. Willow oak trail is now shown in Construction Phase 2
- Phase I “Wilkinson Pike: As part of the Phase 1 improvements, the Applicant shall either:
 - construct turn lanes at the Wilkinson Pike entrance to match the current grade of Wilkinson Pike and West Park Drive or
 - provide a contribution in aid to the City equal to the amount of the this turn lane improvement for use by the City in the future reconstruction of Wilkinson Pike”
- Phase II “Construction of Willowoak Trail extension and associated streetscape enhancements to be completed upon the earlier of the completion of 2nd phase of Area 2 Single Family Development or March 30th, 2024”
- Phase I “Medical Center Parkway Additional right turn lane on Medical Center per traffic impact study Sidewalk, sod, canopy trees, and decorative street lights in accordance with Gateway Streetscape Master Plan installed within 24 months after starting construction of site infrastructure (as determined by issuance of Land Disturbance Permit)”

Exceptions

The ordinance approving the planned development may provide for such exceptions from the non-overlay district zoning regulations governing use, density, area, bulk, parking, and such Subdivision Regulations as may be necessary or desirable to achieve the objectives of the proposed planned development, provided such exceptions are consistent with the standards and criteria contained in this section and have been specifically identified and requested in the application for a planned development. Unless the ordinance approving a planned development contains a clear statement of exceptions to them, the standards and criteria of the district zoning regulations (non-overlay) will apply to all planned developments. The only exceptions to overlay district regulations permitted in a planned development are exceptions, in the Battlefield Protection District zone and the Gateway Design Overlay District zone, to a building height, a setback, or a landscaping requirement.

The PUD program book requests several exceptions and is found on page 17 of the pattern book. The exceptions are:

1. To allow townhomes (single-family, attached) as a permitted use within the MU district
2. To exceed the maximum density of 25 dwelling units/ acre for the apartments
3. To reduce the required parking for one-bedroom apartments from 1.5 to 1.1 space. To exempt up to 10,000 ft² of the potential first floor office/personal service uses from any required parking standards
4. To reduce the required rear-yard setback for townhomes (single-family, attached) from 20-feet to 10-feet.
5. To allow garages to count toward minimum off-street parking requirements

6. To allow outdoor sales of food & alcohol in specified areas for temporary events
7. An exception to allow outdoor sales and the sale of food and beverage in park space and public open space for temporary special events
8. Porches, stoops, and bay windows may extend into setbacks as defined in
9. Multi-Family development may make up more than 25% of PUD area. The Multi-Family development area is proposed to be calculated using the entirety of the Clari Park Master Plan, not just the areas included in the PUD zoning designation.

Future Land Use Map

The Murfreesboro 2035 *Future Land Use Map* indicates that Urban Commercial/ Mixed-Use Character (UC) is most appropriate for the subject property.

This designation allows a broad range of commercial, office and high density residential uses and public spaces serving surrounding neighborhoods, commercial / professional business parks and visitors from nearby communities.

If the property develops as a mixed-use development, it will be consistent with the UC character.

Future Land Use Map



Future Land Use Map

LAND USES

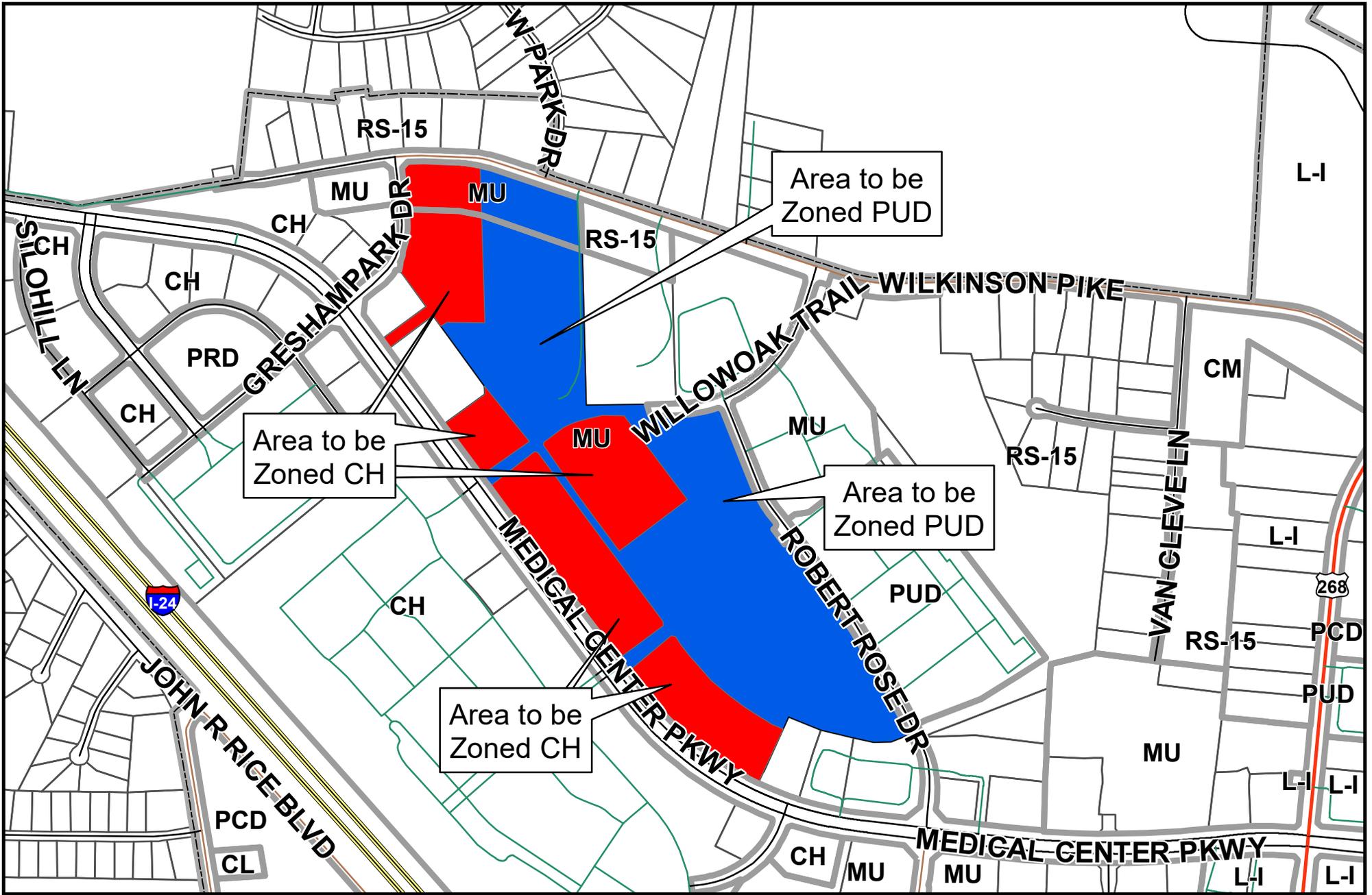
Proposed Land Uses

- Undeveloped
- Parks
- Suburban Estate
- Suburban Residential
- Auto Urban Residential
- Multi Family Residential
- General Commercial
- Neighborhood Commercial
- Urban Commercial / Mixed Use
- Central Business District
- Business Park
- Light Industrial
- Heavy Industrial
- Public / Institutional

Public Hearing

A neighborhood meeting was held scheduled for this project on July 28, 2020, at Fire Station #4.

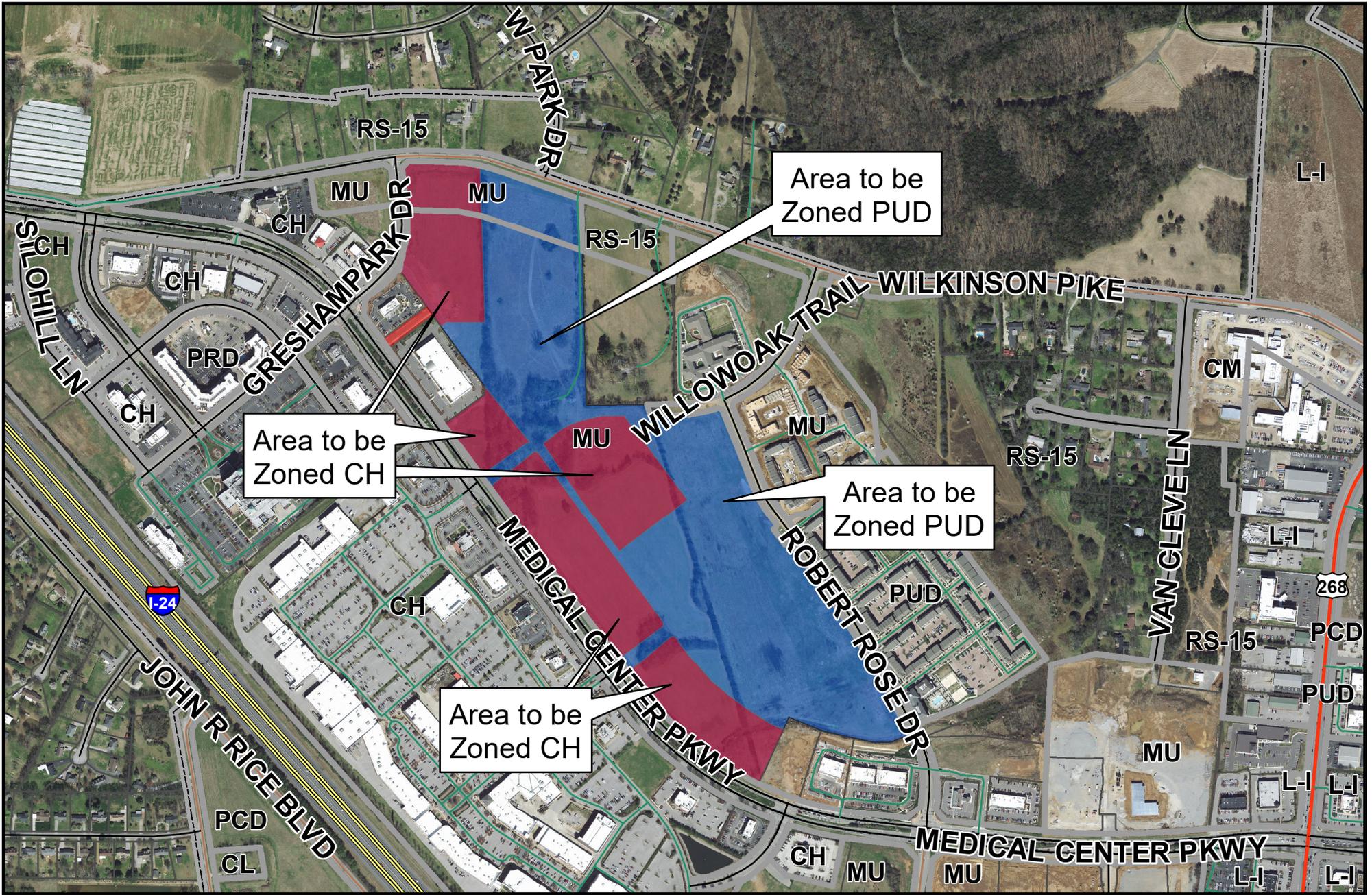
The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning. The Planning Commission should conduct a public hearing, discuss the matter, and formulate a recommendation to the City Council. A recommendation prepared by the Commission shall be for approval, disapproval, or approval subject to special conditions.



Rezoning Request for Property Along Medical Center Parkway,
 Robert Rose Drive and Wilkinson Pike
 MU to CH and MU to PUD (Clari Park PUD)
 (The existing GDO-1 and GDO-2 boundaries are not affected by this zoning request)



Planning Department
 City of Murfreesboro
 11 W Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov



Rezoning Request for Property Along Medical Center Parkway,
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Clari Park PUD / Master Plan– Summary of Updates Made to Revised Pattern Book with latest submittal 8.19.20

SUMMARY OF CHANGES BY PAGE NUMBER:

- **Cover** – Updated revision date
- **Table of Contents** – Updated to match new page sequence
- **Page 12** – The Master Plan has been updated with the following changes:
 - Areas 1, 3 and 4 have been revised from PUD mixed use and commercial to a CH (Commercial Highway) land use with the understanding that specific land uses for these areas are identified in the Land Use Table of Page 14 and 15. This is intended to identify permitted land use without trying to identify exact building and parking locations until a development plan is established for site plan review
 - Detailed layouts for Areas 1,3 and 4 have been removed from the master plan with the understanding that CH zoning criteria, Gateway Standards and Murfreesboro Design Guidelines will apply to these areas and be reviewed at site plan development stage.
 - The layout for Single Family Attached homes in area 2 has been updated to show a stronger relationship of the building frontage relative to the street
 - The note relating to plans being “conceptual and subject to change” has been removed
 - A cul-de-sac has been added to the end of Clari Lane. This change is now shown on all site maps.
 - Parking garage locations are now depicted for Area 5 – Multi Family
- **Page 13** – The Proposed Land Use Map has been revised with the following changes:
 - Areas 1, 3 and 4 have been revised from PUD mixed use and commercial to a CH (Commercial Highway) land use with the understanding that specific land uses for these areas are identified in the Land Use Table of Page 14 and 15.
 - Detailed layouts for Areas 1,3 and 4 have been removed from the master plan with the understanding that CH zoning criteria, Gateway Standards and Murfreesboro Design Guidelines will apply to these areas and be reviewed at site plan development stage.
 - The layout for Single Family Attached homes in area 2 has been updated to show a stronger relationship of the building frontage relative to the street
 - The site data table has been modified to reflect current land use, acreage and density including
 - Areas 1,3 and 4 now CH as shown on Area summary, map and site data
 - Area 5 Multi-family adjusted from 304 to 305 overall multi-family unit count unchanged)
 - Area 7 Multi-family adjusted from 296 to 295 (overall multi-family unit count unchanged)
 - Area 7 density adjusted from 29.4 units/ acre to 29.3 units per acre
 - Overall commercial acreage adjusted from 30.4 acres to 30.5 acres
 - Overall residential acreage adjusted from 43.3 acres to 43.4acres
 - ROW acres adjusted from 4.1 to 3.9

- **Page 14 and Page 15** – The Proposed Land Use Tables have been adjusted as follows:
 - CH has been identified for areas 1,3 and 4 and PUD identified for areas 2,5,6 and 7
 - College / University has been removed as a permitted use from the land use table
 - Hospital has been removed from areas 1 and 3 as a potential use. It remains as a permitted use in area 4
 - Automotive Repair has been removed as a permitted use from the land use table
 - A footnote (#8) has been added to the Gas Station Use specifying it only be permitted in area 3 adjacent to area 4. No gas stations are permitted in area 1
 - “Without drive through” has been added to the Liquor Store use
 - Footnote #7 has been added relative to CH uses reading “Allowable land uses in CH Areas, 1, 3, and 4 are limited to those noted in this Land Use Table. These restrictions will also be recorded in public records via covenants & restrictions.”
 - Convenience Store Use has been specified as having a maximum of 5,000 sf
 - Home occupations are not permitted in areas 1 and 4 but remain permitted in areas 2,6 and 7
- **Page 16** – The Land Use Parameter Table has been revised as follows:
 - Minimum front yard setback has been adjusted from 15’ to 42’ for areas 1,3 and 4 to match CH criteria
 - Maximum building height has been adjusted from 150’ to 75’ for areas 1,3 and 4 to match CH criteria
- **Page 17 Requested Exceptions**
 With adjustments to the CH / PUD zoning areas the percentage of multi family related to PUD acreage has changed but the percentage of multi family relative to the overall master plan has not changed. In relation to this exception #9 has been added that reads:

“Multi-Family development may make up more than 25% of PUD area” / “The Multi-Family development area shall be calculated using the entirety of the Clari Park Master Plan, not just the areas included in the PUD zoning designation. This allows areas of the project to have different zoning designations without impacting the potential amount of Multi-Family units.”
- **Page 20** – The Vehicular Transportation Network Plan has been revised to reflect the new transportation pattern for the new layout of area 2 and a cul-de-sac has been added to the end of Clari Lane
- **Page 24** – The Phasing for the General Master Plan has been revised as follows:
 - Part of Area 2 for SF attached residential and the extension of Willow Oak Trail has been changed to Phase 2. Willow oak trail is now shown in Construction Phase 2. A legend calling out phase area colors has been added.

- **Page 25** Public Improvements has been revised with the following notes:
 - Phase I “Wilkinson Pike: As part of the Phase 1 improvements, the Applicant shall either: (i) construct turn lanes at the Wilkinson Pike entrance to match the current grade of Wilkinson Pike and West Park Drive or (ii) provide a contribution in aid to the City equal to the amount of the this turn lane improvement for use by the City in the future reconstruction of Wilkinson Pike”
 - Phase II “Construction of Willowoak Trail extension and associated streetscape enhancements to be completed upon the earllier of the completion of 2nd phase of Area 2 Single Family Development or March 30th, 2024”
 - Phase I “Medical Center Parkway Additional right turn lane on Medical Center per traffic impact study Sidewalk, sod, canopy trees, and decorative street lights in accordance with Gateway Streetscape Master Plan installed within 24 months after starting construction of site infrastructure (as determined by issuance of Land Disturbance Permit)”
- **Page 26** – Public Improvement Phasing has been revised to capture the note revisions outlined on Page 25
- **Page 27** – Green Space Connections Master Plan
 - Areas 1, 3 and 4 have been revised from PUD mixed use and commercial to a CH (Commercial Highway) land use
 - Green space connections have been modified to reflect the new layout for Area 2
- **Page 29** – Connection of Open Space Plan has been added to depict clear pedestrian and open space connections in the master plan
- **Page 32 and 33** General Description and Photographic examples – Page Title changes to relate to the CH zoning
- **Page 35** – Enlargement Showing new layout and amenities for Area 2 (SF Attached Garden Homes)
- **Pages 38-40** – Specific Architecture for Area 2 (SF Attached Garden Homes)
 - Architecture now includes rear and side elevations
 - Specific locations of enhanced side and enhanced rear elevations located on site diagram
- **Page 42** – Greenspace Enlargement Plan depicts new layout for area 2
- **Page 46** – Multi Family Residential now has garages depicted on the enlargement for site layout for Area 5. Parking calculations as shown on page 19 still apply
- **Page 55** – Commercial General Description now has title reference to CH Zoning



CLARI PARK

MURFREESBORO

A Planned Unit Development / Master Plan

Planning Commission Application April 16, 2020

Revised June 3, 2020

Resubmitted for Planning Commission July 1, 2020

Revised July 9, 2020

Revised August 19, 2020

Hines

APPLICANT

Hines

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Clari Park

a	PROJECT INTRODUCTION <ul style="list-style-type: none">■ Introduction■ Hines Background Information■ Historical Cultural Context	1-5	d	GREEN SPACE & LINEAR PARKS <ul style="list-style-type: none">■ Green Space Connections Master Plan■ Clari Lane Linear Park■ Connection of Open Space■ The Grand Lawn / Honey Locust Lane / Clari Lane■ The Grand Lawn Concept	27-31
b	SITE INVENTORY/ANALYSIS <ul style="list-style-type: none">■ Location Map■ Surrounding Land Use & Zoning■ Existing Site Conditions■ Existing Utilities Map■ Overlays & Flood Zones■ Future Long Range Plan	6-11	e	COMMERCIAL HIGHWAY (AREAS 1 & 4) <ul style="list-style-type: none">■ General Description■ Photographic Examples	32-33
c	THE MASTER PLAN <ul style="list-style-type: none">■ Master Plan■ Proposed Land Use Map■ Land-Use Table■ Land Use Parameters■ Requested Exceptions■ Case for Multi-Family■ Adjusted Parking■ Vehicular Transportation Network■ Pedestrian Circulation Plan■ Roadway Sections■ Phasing - General Master Plan■ Public Improvements■ Public Improvements Phasing	12-26	f	SINGLE FAMILY ATTACHED (AREAS 2 & 6) <ul style="list-style-type: none">■ General Description■ Single Family Attached - Conceptual Layout■ Architectural Examples - Townhomes (Area 2)■ Enhanced Architecture Locations - Townhomes (Area 2)■ Townhome Elevations and Materials (Area 2)■ Greenspace Enlargement (Area 2)■ Single Family Attached Private Street Network / Utilities■ Architectural Examples - Stacked Flats (Area 6)	34-45
			g	MULTI-FAMILY RESIDENTIAL (AREAS 5 & 7) <ul style="list-style-type: none">■ General Description■ Architectural Examples■ Architectural Perspective■ Multi-Family Ground Floor Office■ Photographic Amenity Examples■ Grand Lawn Images	46-54
			h	COMMERCIAL (AREA 3) <ul style="list-style-type: none">■ General Description / Conceptual Layouts■ Photographic Examples	55-56

Project Introduction

Clari Park a

Introduction

Project General Description

Hines and Ragan Smith envision creating a community that offers its residents a memorable sense of place through emphasis on parks and greenspace and a true sense of belonging through social programs that weave a fabric of community. Clari Park will be the realization of this vision. Clari Park is a key property within the Gateway District. It is approximately 77 acres in size and will complete the majority of undeveloped land remaining along Medical Center Parkway. The master plan has been thoughtfully developed to blend into and respect the context of land uses and transportation networks that surround it.

Creation of an overall Master Plan for this parcel allows for the consideration of a mixture of uses that relate strongly to each other as well as the surrounding land uses. Program elements with higher occupancy densities and greater traffic generation are proposed at the core of the project and in relationship to Medical Center Parkway. Lower density uses proposed along the northern and eastern periphery of the site respect the adjacent residential uses and the lower traffic volumes on Robert Rose Drive, Willow Oak Trail and Wilkinson Pike.

Circulation within the Master plan is heavily focused on the pedestrian with the development of green spaces, linear parks, and amenities that facilitate connectivity and promote a walkable lifestyle. Clari Park aims to serve the residents and visitors of Murfreesboro with a quality of life experience that provides opportunities to live, shop, work, and enjoy all that Murfreesboro and The Avenue has to offer in one convenient and walkable location. Given these attributes, the project will appeal to a wide range of homeowners, business owners, and office and apartment tenants which will include young urban professionals, young couples just starting a family, and mature couples with children that have reached independence.

Hines Development Firm Overview

Hines is a privately owned, global real estate investment, development and management firm with a presence in 205 cities in 24 countries and \$133.3 billion of assets under management. The most valuable assets within Hines are the 4,500+ professionals that strive daily to deliver exceptional service to the communities within which we reside, the tenants whom we serve, and the partners who trust Hines with their capital. Hines' project teams strive to set the standards for quality of execution and management in their respective markets and product types. Over and above financial returns, they improve cities and pioneer new sustainable practices. Combining insights from local teams, central resources that act as the depository of decades of experience, and a commitment to long-term value creation, Hines has mastered the art of building places for people and endeavors to leave a positive legacy on the built environment in every city in which it operates.

"Hines began as a one-man operation in 1957 with the sole focus of delivering better quality services and products to tenants and investors. More than half a century later, with more than 4,500 professionals working on five continents, our philosophy has not wavered and our commitment to excellence in the built environment is stronger than ever." – Gerald D. Hines

For the past 30 years, the Hines Southeast Region team has specialized in the creation of innovative and successful mixed-use communities and buildings including several in Middle Tennessee.

- **222 2nd Avenue** – Nashville, TN - Class A Office and Retail – 98% leased and sold in 2020 for record price (\$730 psf – 2.5x higher than Pinnacle Building sale at \$294 psf in 2013)
- **Cool Springs** – Franklin TN – 1,000-acre community integrating apartments, retail, office and hospitality uses that is the benchmark for suburban core development in the region
- **The Avenue** – Murfreesboro, TN - 86-acre lifestyle center acquired by Hines in 2013 and managed to increase occupancy and sales per SF despite contracting retail landscape
- **Deerfield** – Alpharetta, GA – 500-acre mixed-use community integrating apartments, retail and office uses is a walkable campus. Successfully attracted corporate office users to a pioneering location.
- **Palencia** – St. Augustine, FL – 2,500-acre master planned community that blended innovative land planning, a unique architectural theme and exceptional community management to create the premier mixed-use community in Northeast Florida.



Hines

Southeast Region

- Local and regional team with resources of a global platform
- Develops and owns master-planned communities, office, multifamily apartments, retail and industrial
- Experienced leadership team with an average Hines tenure of 24 years
- Currently active in 13 cities in the Southeast



SOUTHEAST LEADERSHIP

Name	Tenure w / Hines (Yrs)
C. Kevin Shannahan (MW / SE)	36
Michael Harrison	28
Kurt Hartman	28
Tori Kerr	24
Walter O'Shea	23
John Heagy	22
Lane Gardner	20
Vikram Mehra	18
Alan Kennedy	13

SOUTHEAST REGION

11 Officers / Avg. Tenure	24 Yrs
Office Established	1982
Total Personnel	138
	SF (M)
Project Experience	30.0
Property Management	6.0
Land Development (Acres)	6,000



MARKLAND — ST. AUGUSTINE



ASTURIA — TAMPA



COOL SPRINGS — FRANKLIN



DEERFIELD — ALPHARETTA



PALENCIA — ST. AUGUSTINE

Hines

Southeast Region

LAND

Developed 6,000 acres of mixed-use land developments over the past 30 years



OFFICE

Constructed 3,000,000+ SF since 2000 including 1st mass timber creative office east of the Mississippi



MULTIFAMILY

Built 1,972 units over last 8 years and 16,000+ units nationwide



RETAIL

Acquired, developed, and managed a \$1.6 billion, 4.5 million SF portfolio with over 500 tenants



Hines

Southeast Region

NASHVILLE METROPOLITAN AREA

Hines has been actively engaged in the development and management of **mixed-use, retail, office and residential projects** in the Nashville MSA since the early 1990s.

Hines has placed over **\$400 million in investment capital** in The Nashville MSA over the past 25 years.



222 2ND AVENUE — NASHVILLE, TN



COOL SPRINGS — FRANKLIN, TN



2525 WEST END AVENUE — NASHVILLE, TN



THE AVENUE — MURFREESBORO, TN

158 years ago, not far from Clari Park, a historic battle was set to begin...

“Just before ‘tattoo’ the military bands on each side began their evening music. The still winter night carried their strains to great distance. At every pause on our side, far away could be heard the military bands of the other. Finally one of them struck up ‘Home Sweet Home.’ As if by common consent, all other airs ceased, and the bands of both armies as far as the ear could reach, joined in the refrain. Who knows how many hearts were bold next day by reason of that air?”



- **Sam Seay, First Tennessee Infantry**

The quote above describes an event which took place on the eve of the Civil War Battle of Stones River in late December 1862. It is a reminder that, despite political, economic, or philosophical differences, all people find common ground in the warmth of their memories of home.

Through thoughtful design, execution quality, and community programs, Clari Park aims to embody that notion of people coming together, in harmony.

The song played by both opposing armies, “Home Sweet Home”, on that night originated in the 1828 opera “Clari”. It is with a nod to the memory of this moving moment in time that Clari Park has been named.

There is an opportunity in Clari Park to recognize the history of the site with historic markers placed strategically in open space and public intersections

b Clari Park

Location Map

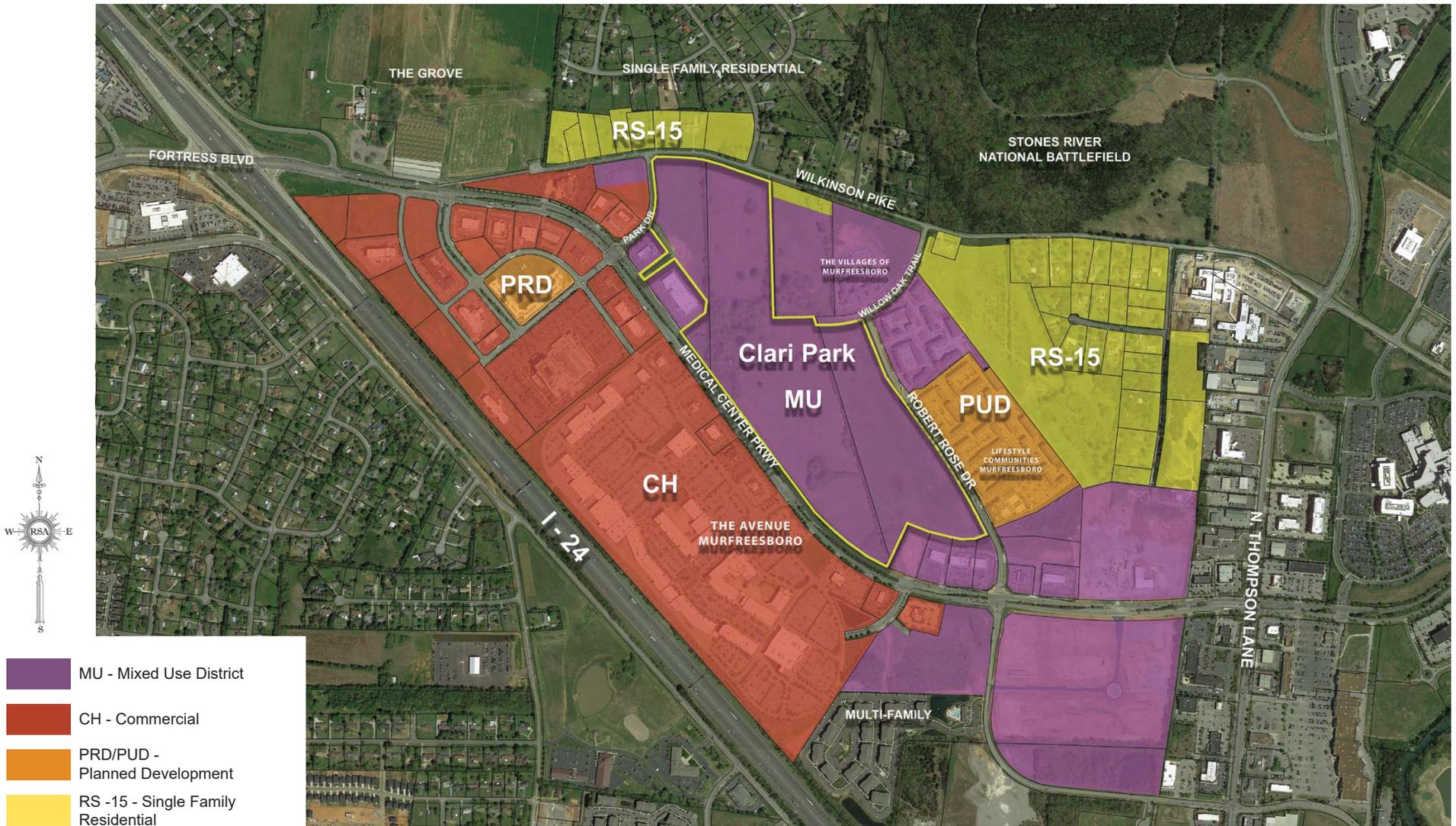
The site for Clari Park is located in the heart of the Murfreesboro Gateway in close proximity to the Medical Center Parkway / I-24 interchange. It is surrounded by an interesting and rich mixture of existing land use with the Avenue Lifestyle mall to the south-west, high density lifestyle apartments to the east (Henley Station) and the historic Stones River Battlefield and residential neighborhoods to the north-east.



Surrounding Zoning & Land Use

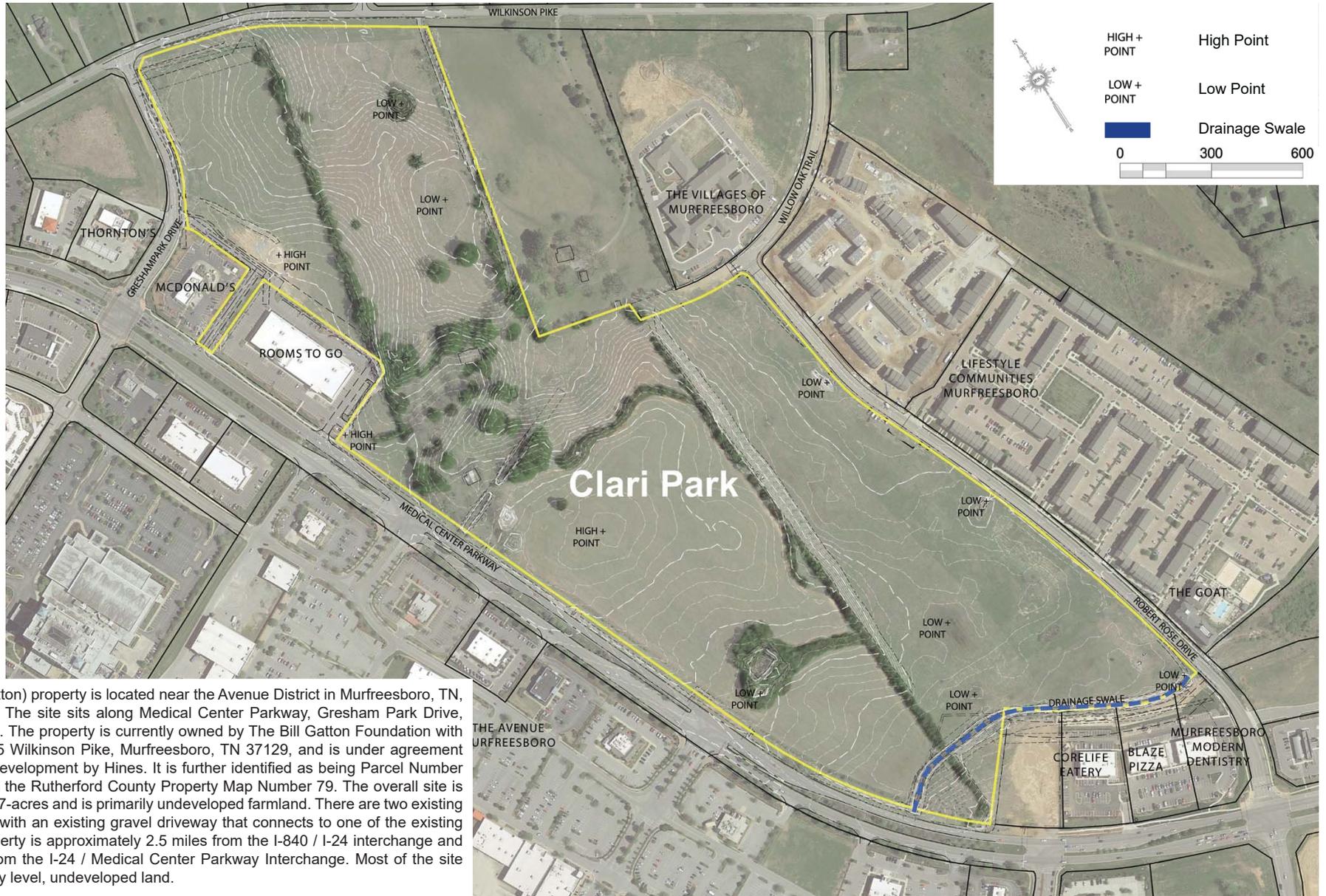
Clari Park b

Existing zoning for the site is Mixed Use (MU) with surrounding zoning to the south, east, and west comprised of Mixed Use (MU), Commercial Highway (CH), and Planned Unit Development (PUD). RS-15 zoning is adjacent to the north side of the site.



b Clari Park

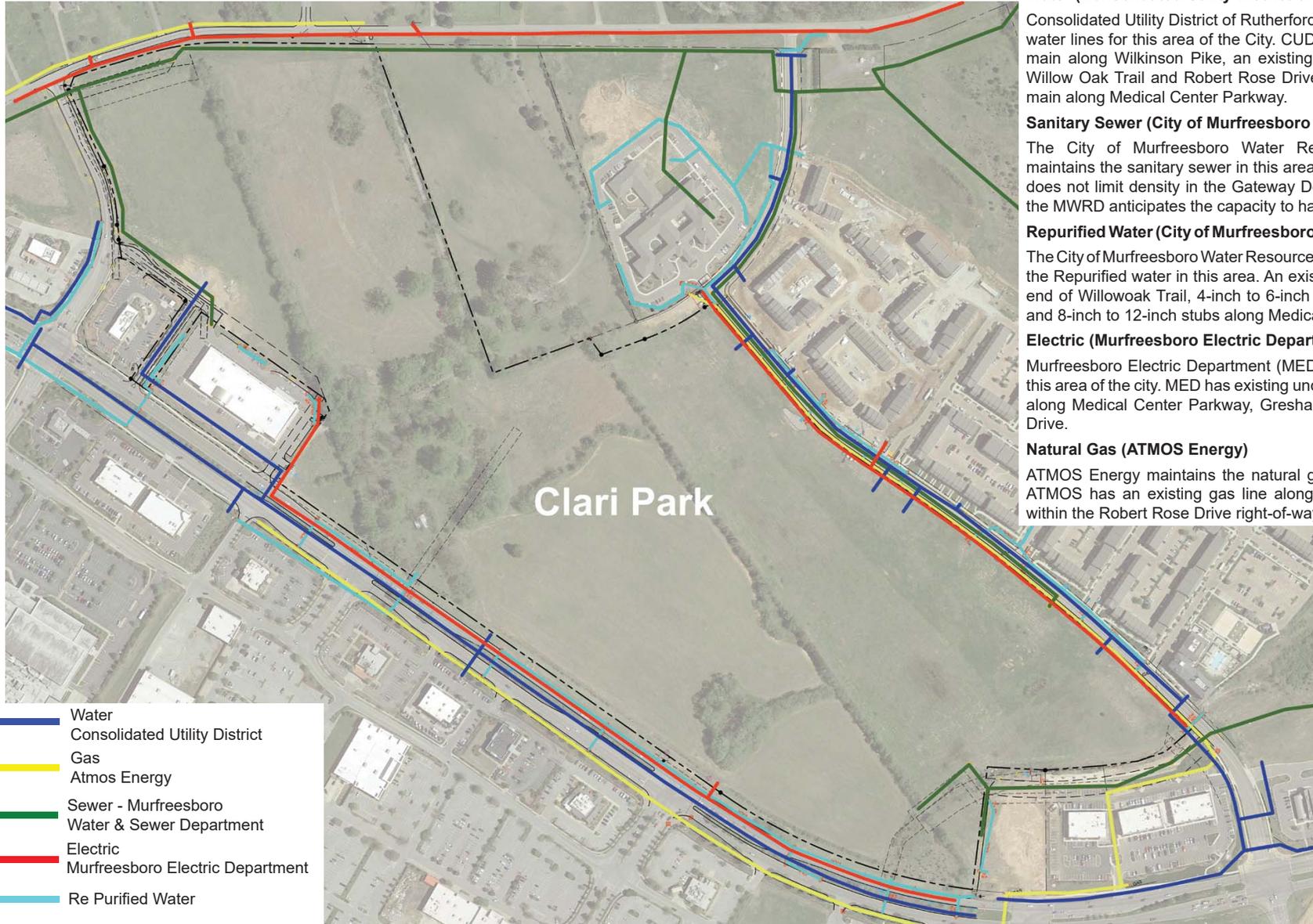
Existing Conditions



The Clari Park (Gatton) property is located near the Avenue District in Murfreesboro, TN, Rutherford County. The site sits along Medical Center Parkway, Gresham Park Drive, and Wilkinson Pike. The property is currently owned by The Bill Gatton Foundation with an address of 2685 Wilkinson Pike, Murfreesboro, TN 37129, and is under agreement for purchase and development by Hines. It is further identified as being Parcel Number 94.00 as shown on the Rutherford County Property Map Number 79. The overall site is approximately 77.77-acres and is primarily undeveloped farmland. There are two existing building structures with an existing gravel driveway that connects to one of the existing buildings. The property is approximately 2.5 miles from the I-840 / I-24 interchange and less than 1 mile from the I-24 / Medical Center Parkway Interchange. Most of the site consists of relatively level, undeveloped land.

Existing Utility

Clari Park b



Water (Consolidated Utility District of Rutherford County)

Consolidated Utility District of Rutherford County (CUDRC) maintains the water lines for this area of the City. CUDRC has an existing 6-inch water main along Wilkinson Pike, an existing 16-inch water main along both Willow Oak Trail and Robert Rose Drive, and an existing 20-inch water main along Medical Center Parkway.

Sanitary Sewer (City of Murfreesboro Water Resources Department)

The City of Murfreesboro Water Resources Department (MWRD) maintains the sanitary sewer in this area. The City's allocation ordinance does not limit density in the Gateway Design Overlay District. Currently, the MWRD anticipates the capacity to handle the proposed development.

Repurified Water (City of Murfreesboro Water Resources Department)

The City of Murfreesboro Water Resources Department (MWRD) maintains the Repurified water in this area. An existing 8-inch stub is located at the end of Willowoak Trail, 4-inch to 6-inch stubs along Robert Rose Road, and 8-inch to 12-inch stubs along Medical Center Parkway.

Electric (Murfreesboro Electric Department)

Murfreesboro Electric Department (MED) maintains the electric lines for this area of the city. MED has existing underground electrical lines running along Medical Center Parkway, Gresham Park Drive, and Robert Rose Drive.

Natural Gas (ATMOS Energy)

ATMOS Energy maintains the natural gas lines in this area of the city. ATMOS has an existing gas line along the site's eastern property line within the Robert Rose Drive right-of-way.

b Clari Park

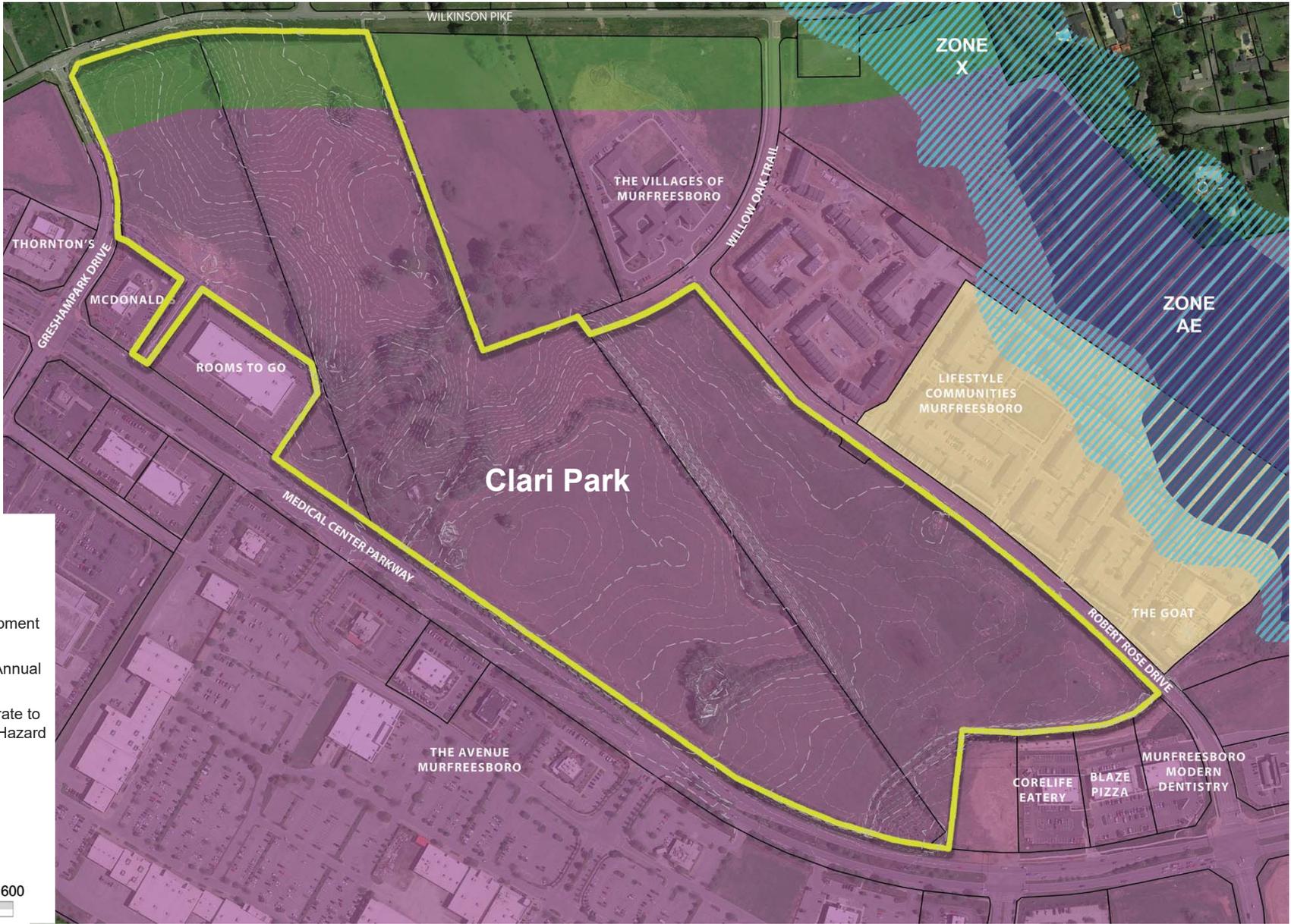
Overlays and Flood Zones

Flood zone information taken from FIRM maps

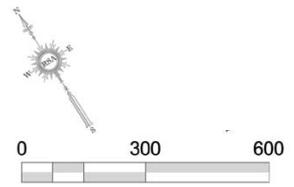
Panel 255 of 479 map number 47147C0255H

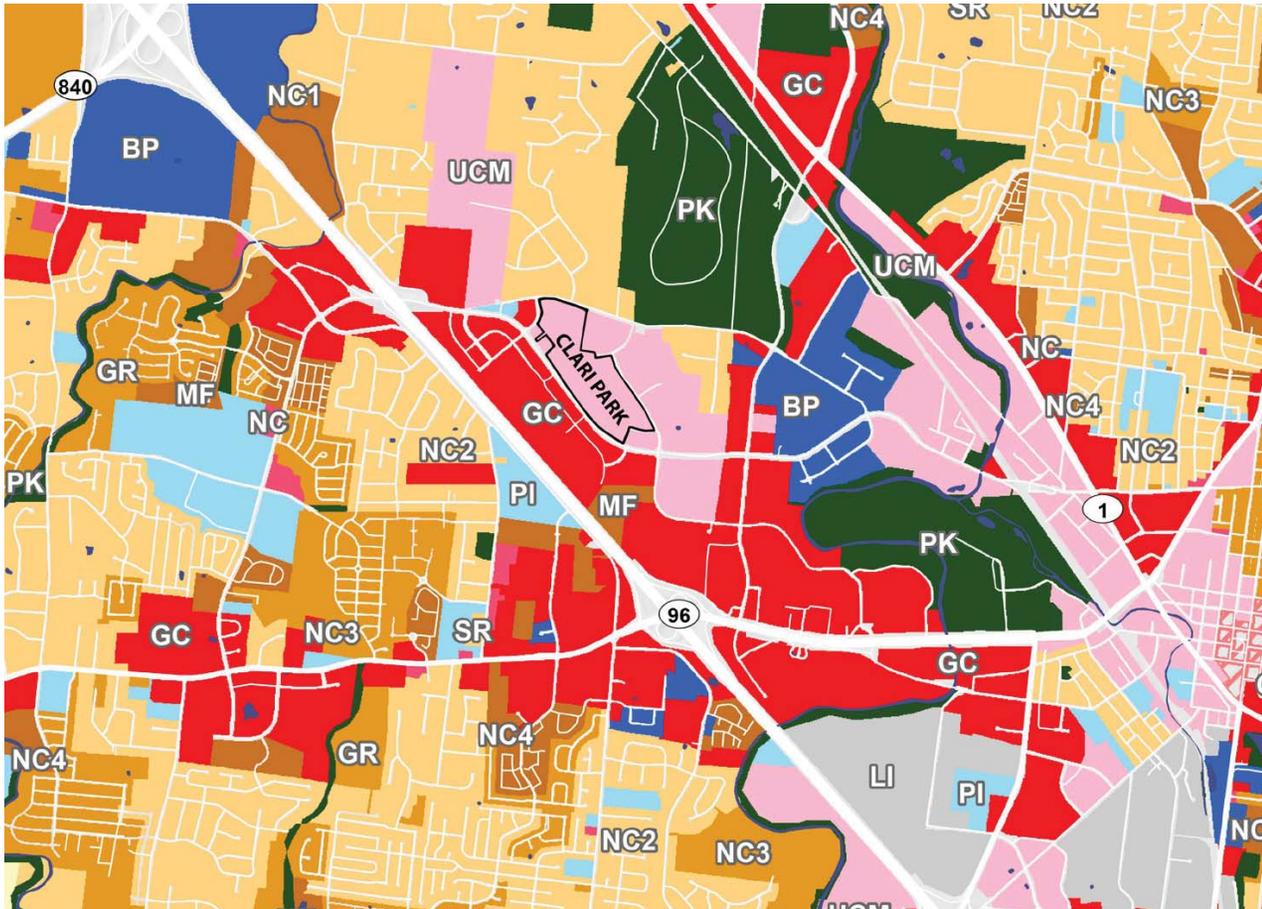
Panel 260 of 457 map number 47149C0260H

As provided by FEMA



- Gateway District
- GDO - 2
- Planned Development Overlay Zones
- ZONE AE - 1% Annual Flood Chance
- ZONE X - Moderate to Low Risk Flood Hazard





Legend

Future Land Use

Business Park	Light Industrial	Suburban Estate
Central Business District	Multi-Family Residential	Suburban Residential
General Commercial	Neighborhood Commercial	Urban Commercial / Mixed-Use
Auto Urban Residential	Public / Institutional	Undeveloped
Heavy Industrial	Parks	

The Future Land Use Map designates the area of Clari Park as a Mixed-Use Corridor with urban, commercial, and mixed use character.

Mixed Use Corridor defined:

Allows a broad range of commercial, office and high-density residential uses and public spaces serving surrounding neighborhoods, commercial / professional business parks and visitors from nearby communities.

Suggested intensity / height guidelines for mixed use corridor in the future long range plan include:

1.85 FAR (approximately 60 DU/AC or 50-130 residents/acre), of which up to 0.50 FAR can be office or commercial / up to four stories.

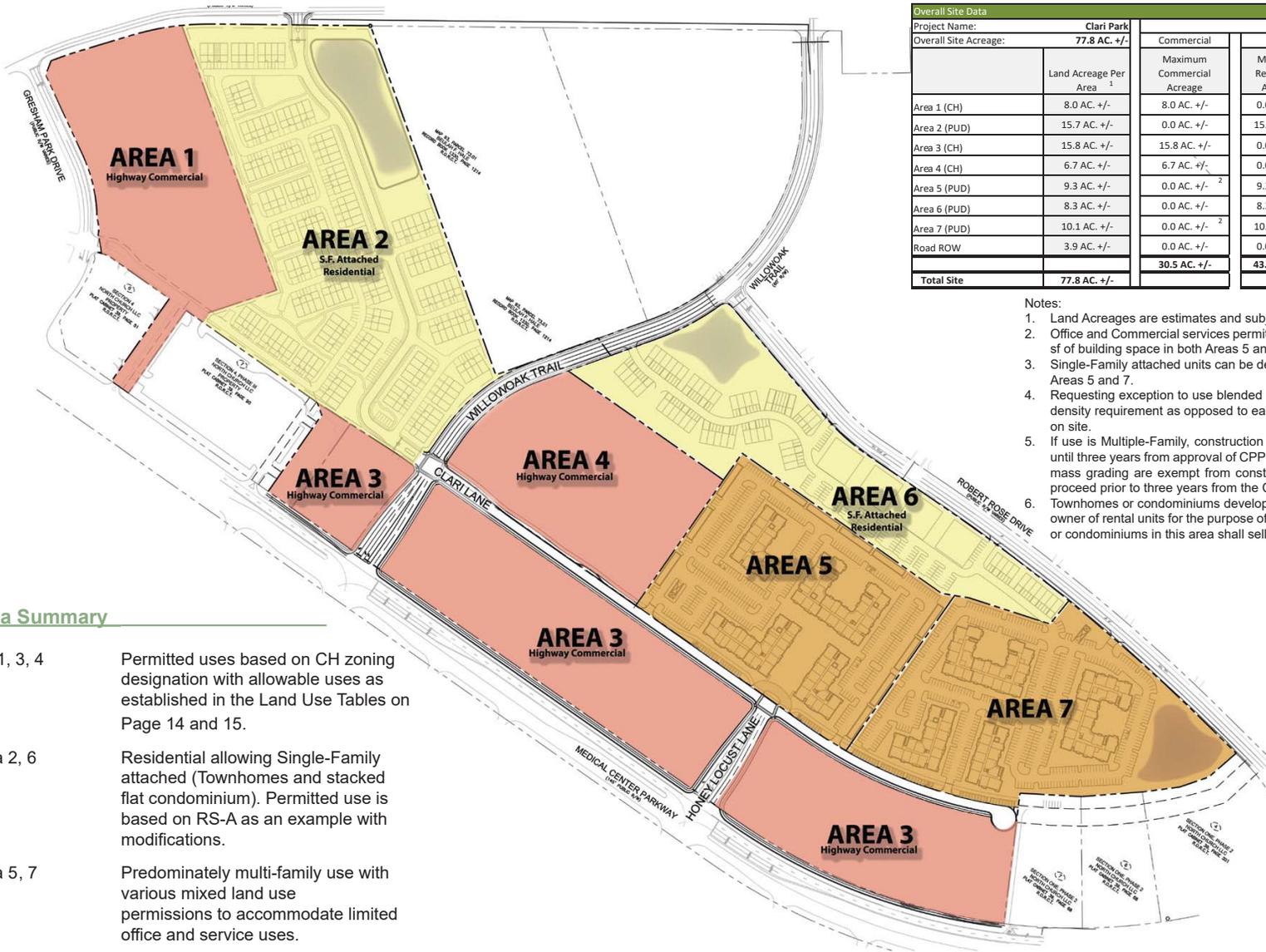
City zoning districts suggested to match the mixed use corridor include:

- Central Business District (CBD)
- Mixed Use District (MU)
- Planned Unit Development (PUD)

The proposed master plan for Clari Park is in keeping with the Future Long Range Land Use Map and its associated objectives as a Mixed Use Corridor. It speaks to the high level of infrastructure and quality of design that has been invested into the Murfreesboro Gateway. This location is very well suited for a mixture of high density uses and a mixture of residential options to feed into the growth and commerce of the gateway.



Proposed Land Use Map



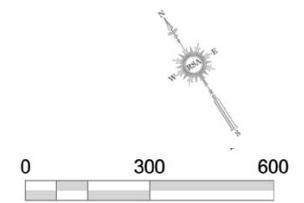
Overall Site Data						
Project Name:		Clari Park				
Overall Site Acreage:		77.8 AC. +/-				
	Land Acreage Per Area ¹	Maximum Acreages and Densities				
		Commercial	Residential			
		Maximum Commercial Acreage	Maximum Residential Acreage	Maximum Multiple-Family Units	Maximum Single-Family - attached units	Residential Density ⁴
Area 1 (CH)	8.0 AC. +/-	8.0 AC. +/-	0.0 AC. +/-			0.0/AC
Area 2 (PUD)	15.7 AC. +/-	0.0 AC. +/-	15.7 AC. +/-		165 ⁵	10.5/AC
Area 3 (CH)	15.8 AC. +/-	15.8 AC. +/-	0.0 AC. +/-			0.0/AC
Area 4 (CH)	6.7 AC. +/-	6.7 AC. +/-	0.0 AC. +/-			0.0/AC
Area 5 (PUD)	9.3 AC. +/-	0.0 AC. +/- ²	9.3 AC. +/-	305 ³		32.7/AC
Area 6 (PUD)	8.3 AC. +/-	0.0 AC. +/-	8.3 AC. +/-		125 ⁶	15.1/AC
Area 7 (PUD)	10.1 AC. +/-	0.0 AC. +/- ²	10.1 AC. +/-	295 ^{3,5}		29.3/AC
Road ROW	3.9 AC. +/-	0.0 AC. +/-	0.0 AC. +/-			0.0/AC
		30.5 AC. +/-	43.4 AC. +/-	600	290	20.5/AC
Total Site	77.8 AC. +/-				890	11.4/AC

Notes:

1. Land Acreages are estimates and subject to refinement.
2. Office and Commercial services permitted as part of apartment development, minimum of 4,000 sf of building space in both Areas 5 and 7.
3. Single-Family attached units can be developed in lieu of developing Multiple-Family product for Areas 5 and 7.
4. Requesting exception to use blended density (20.5 units/acre) to meet maximum 25 units/acre density requirement as opposed to each zone meeting requirement given size and mix of uses on site.
5. If use is Multiple-Family, construction of site work and building in Area 7 shall not commence until three years from approval of CPPB Zoning (master utilities, master stormwater system and mass grading are exempt from construction start provision). Permitting shall be permitted to proceed prior to three years from the CPPB Zoning approval)
6. Townhomes or condominiums developed in this area shall not be sold in bulk to a developer or owner of rental units for the purpose of operating a rental community. The builder of townhomes or condominiums in this area shall sell finished units to individual buyers.

Area Summary

- CH 1, 3, 4 Permitted uses based on CH zoning designation with allowable uses as established in the Land Use Tables on Page 14 and 15.
- Area 2, 6 Residential allowing Single-Family attached (Townhomes and stacked flat condominium). Permitted use is based on RS-A as an example with modifications.
- Area 5, 7 Predominately multi-family use with various mixed land use permissions to accommodate limited office and service uses.



USES PERMITTED	LAND USE AREA ¹						
	CH Area 1 ⁷	PUD Area 2	CH Area 3 ⁷	CH Area 4 ⁷	PUD Area 5	PUD Area 6	PUD Area 7
DWELLINGS (RESIDENTIAL)							
Single-Family attached ²		X			X	X	X
Multiple-Family					X		X
OTHER HOUSING							
Assisted-Care Living Facility	X			X	X		X
Class III Home for the Aged	X			X	X		X
Hotel	X			X	X		X
INSTITUTIONS							
Adult Day Care Center	X			X			X
Church	X			X			X
Day-Care Center	X		X	X			X
Family Day-Care Home	X		X	X			X
Group Day-Care Home	X		X	X			X
Hospital							X
Museum	X			X			X
Nursing Home	X			X			X
Nursery School	X			X			X
Park	X	X		X	X	X	X
Philanthropic Institution	X			X			X
COMMERCIAL							
Amusements, Commercial Indoor	X			X			X
Amusements, Commercial Outdoor excluding Motorized	X			X			X
Animal Grooming Facility	X		X	X			X
Art or Photo Studio or Gallery	X		X	X	X		X
Bakery, Retail	X		X	X			X
Bank, Branch Office	X		X	X			X
Bank, Drive-Up Electronic Teller	X		X	X			X
Bank, Main Office	X		X	X			X
Barber or Beauty Shop	X		X	X			X
Book or Card Shop	X		X	X	X		X
Business and Communication Service	X		X	X			X
Catering Establishment	X		X	X			X
Clothing Store	X		X	X	X		X
Coffee, Food, or Beverage Kiosk ⁶	X			X	X		X
Commercial Center	X		X	X			X
Convenience Sales and Service, maximum 5,000 sq. ft. floor area ⁸	X		X	X			X
Delicatessen	X		X	X			X
Department or Discount Store	X			X			X
Dry Cleaning	X		X	X			X
Dry Cleaning Pick-Up Station	X		X	X	X		X
Financial Service ⁴	X		X	X	X		X
Flower or Plant Store	X		X	X			X

Notes

1. Area 7 is generally based off Mixed-Use Zoning designation from 2020 Zoning Ordinance with minor modifications.
2. Single-Family attached generally refers to townhome and stacked flat condominium uses.
3. Restaurants that primarily promote food consumption within motor vehicles on the premises will not be permitted.
4. Financial services permitted include banks, financial advisors, investment management services, tax-preparation services and other similar type financial services. "Pay-day loan" services and cash advance facilities will not be permitted.
5. Garden and lawn supply operations shall display merchandise indoors. No outdoor storage shall be permitted.
6. Kiosk use will be restricted to "walk-up" style kiosk operations in open space or park settings. Vehicular drive-up use is prohibited.
7. Allowable land uses in CH Areas, 1, 3, and 4 are limited to those noted in this Land Use Table. These restrictions will also be recorded in public records via covenants & restrictions.
8. Gas stations and Convenience Sales will only be permitted in Area 3 for lots with frontage on Clari Lane and adjacent to Area 4 on the Master Plan.

Land Use Table

USES PERMITTED	LAND USE AREA ¹						
	CH Area 1 ⁷	PUD Area 2	CH Area 3 ⁷	CH Area 4 ⁷	PUD Area 5	PUD Area 6	PUD Area 7
COMMERCIAL							
Flower or Plant Store	X		X	X			X
Garden Lawn Supplies and Hardware ⁵			X	X			X
Gas Station ⁸ (Only in Area 3 adjacent to Area 4)	X		X				
Health Club	X		X	X			X
Interior Decorator	X		X	X	X		X
Karate, Instruction	X		X	X			X
Keys, Locksmith	X		X	X			X
Laboratories, Medical - Exclude Plasma Donation Center	X		X	X			X
Laboratories, Testing	X		X	X			X
Liquor Store (No Drive-Thru)	X		X	X			X
Movie Theater	X			X			X
Music or Dancing Academy	X		X	X			X
Offices	X		X	X	X		X
Optical Dispensaries	X		X	X			X
Personal Service Establishment (Hair, Nails)	X		X	X	X		X
Pet Shops	X		X	X			X
Pharmacies	X		X	X			X
Reducing and Weight Control Service	X		X	X			X
Restaurant and Carry-Out Restaurant	X		X	X			X
Restaurant, Drive-In ³	X		X	X			X
Restaurant, Specialty	X		X	X			X
Restaurant, Specialty -Limited	X		X	X			X
Retail Shop, other than enumerated elsewhere	X		X	X			X
Shopping Center, Community	X		X	X			X
Shopping Center, Neighborhood	X		X	X			X
Veterinary Office	X		X	X			X
Veterinary Clinic	X		X	X			X
OTHER							
Home Occupations		X				X	X

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- Gas stations and Convenience Sales will only be permitted in Area 3 for lots with frontage on Clari Lane and adjacent to Area 4 on the Master Plan.

Land-Use Parameters	CH Area 1	PUD Area 2	CH Area 3	CH Area 4	PUD Area 5	PUD Area 6	PUD Area 7
RESIDENTIAL DENSITY							
Maximum Dwelling Units Multiple-Family	0		0	0	305		295
Maximum Dwelling Units Single-Family attached	0	165	0	0	0	125	0
Minimum Lot Area	none	none	none	none	5 acres for multiple-family N/A for all other uses	none	5 acres for multiple-family N/A for all other uses
Minimum Lot Width	N/A for all other uses	18' for townhomes N/A for all other uses	N/A	N/A	18' for townhomes N/A for all other uses	18' for townhomes N/A for all other uses	18' for townhomes N/A for all other uses
MINIMUM YARD REQUIREMENTS							
Minimum Front Yard <i>Porches, stoops, and bay windows may extend into setbacks</i>	42'	15'	42'	42'	15'	15'	15'
Minimum Side Yard <i>Porches, stoops, and bay windows may extend into setbacks</i>	10'	10'	10'	10'	10'	10'	5' for townhomes 10' for all other uses
Minimum Rear Yard	20'	10*	20'	20'	20'	10*	10' for townhomes* 20' for all other uses
*No more than 20% of attached single family dwelling units shall have a 10' rear setback line							
LAND-USE INTENSITY RATIOS							
Max FAR	None	None	None	None	None	None	None
Minimum Livable Space Ratio	None	None	None	None	None	None	None
Minimum Open Space Requirement	20%	20%	20%	20%	20%	20%	20%
Minimum Formal Open Space Requirement	3-5% based on site acreage and use as determined in 2020 Zoning Ordinance						
Min Lot Coverage	None	None	None	None	None	None	None
Max Height	75'	45'	75'	75'	45' for S.F. attached 75' for multiple-family uses 150' for commercial/office uses	45'	45' for S.F. attached 75' for multiple-family uses 150' for commercial/office uses
Parking Ratio	<u>Single-Family attached and Multiple-Family Uses</u> 1.1 space per bedroom				Parking spaces within garages for Single Family Attached Residential and Multi-Family Residential will be considered as meeting parking count requirements. They will not be used for the parking or storage of boats, recreational vehicles, trailers, or equipment.		
	<u>All other Uses:</u> Per "Chart 4" of 2020 Zoning Ordinance						

Landscape Yard Minimums and Building Setbacks			
Roadway	Minimum Landscape Yard	Building Setback	Notes
Medical Center Parkway	25'	50'	Arterial Road
Robert Rose Drive	15'	15'	Local Road
Wilkinson Pike	30'	30'	Berm shall be constructed within 30' buffer per Agreement with City (RB1614, pgs 3731-3745) as part of initial phase of construction No building exceeding 3 stories in height shall be erected within 100 feet of the South right of way. No apartment development shall be placed on Property (within 100' of Wilkinson Pike) unless approved by the Planning Commission and the City Council as a Planned Development.
Willow Oak	15'	15'	Local Road
Clari Lane (to be named) (Road behind outparcels)	15'	15'	Local Road

Requested Exceptions

<u>Exception</u>	<u>Basis for Exception</u>
1. Requesting "Single Family Attached" Use be permitted (Not currently permitted in underlying MU zoning)	Home buying opportunities in the heart of the Gateway District with direct access to employment areas, shopping, and dining at the Avenue are currently not available and are needed to support and sustain the already vibrant commercial activity in the area. A strong home ownership base at the core of the Gateway district will also help to attract new office users looking to retain and attract new employees that prefer a walkable, mixed-use environment. Introducing home ownership opportunities also has shown to instill a "pride of ownership" within the immediate and surrounding community and has been shown to boost educational performance of children, induce higher participation in civic and volunteering activity, improve health outcomes and lower crime rates ¹ .
2. Requesting exception to maximum 25 units per-acre density requirement for areas 5 and 7. The average residential density allowed for the overall master plan for Clari Park is approximately 21 units per-acre	The unique location of Clari Park is appropriate for densities higher than 25 units per acre. The site is located in close proximity to a large employment base, extensive retail services, and access to the interstate. The City has invested substantially in public infrastructure including the interchange and the higher density will increase fee and tax collection. Also, locating additional residential in this area is good planning practice as it minimizes impacts on other parts of the City by creating a high, density node in this area. The City has also set precedent for higher density in this area with the approval of the Vintage Avenue at over 40 units per acre.
3. Request adjustment to parking ratio requirement for 1-bedroom residential multifamily units of 1.5 spaces per bedroom to 1.1 per bedroom.	The exception applies to 1-bedroom multifamily units only and is requested for the following reasons: 1. Substantial evidence exists that parking ratios requiring fewer spaces than required per 2020 Zoning Code have been successfully implemented with no parking shortage issues in comparable projects in the immediate area, projects designed by Hines' architect, and projects developed by Hines. (See page 19 for list of comparable projects). 2. Programming excess parking results in larger non-permeable asphalt fields which lead to increased urban heat island effect, excess stormwater runoff, and less site area allocated to greenspace. 3. Multifamily projects generally operate at a 5%-10% vacancy due to the turnover of leases on an annual basis which will reduce actual demand for parking spaces.
4. Request removal of parking requirement for up to 10,000 sf of office space on first floor of each Multifamily project.	The Applicant is requesting flexibility to develop up to 10,000 sf of office space on the ground floor of Multifamily projects to vertically integrate a mix of uses within the project's core area. Given that a percentage of business tenants will be apartment tenants and office hours do not conflict with residential hours, the PUD proposal assumes a shared parking scenario.
5. Requesting 10' minimum rear setback for Townhome uses	The ability to build to a 10' rear setback for a limited amount of units (max 20% of all units) provides flexibility to develop a greater variety of townhome product, which may include detached garages as long as parking ratios are achieved.
6. Garages and Parking Counts	Parking spaces within garages for Single Family Attached Residential and Multi-Family Residential will be considered as meeting parking requirements for the site provided. They will not be used for the parking or storage of boats, recreational vehicles, trailers, or equipment.
7. An exception to allow outdoor sales and the sale of food and beverage in park space and public open space for temporary special events	The temporary and controlled sale of food and beverage will be a critical component to outdoor place making and social programming events (i.e. art exhibits, "food truck Fridays", etc.). These events will help to install a unique sense of place, a sense of community, and will promote the use of Clari Park's outdoor spaces. See details of Grand Lawn on page 52-54 for conceptual examples.
8. Porches, stoops, and bay windows may extend into setbacks	These architectural elements add detailed articulation and a personal scale to building facades and without having large impact within a building setback area.
9. Multi-Family development may make up more than 25% of PUD area	The Multi-Family development area shall be calculated using the entirety of the Clari Park Master Plan, not just the areas included in the PUD zoning designation. This allows areas of the project to have different zoning designations without impacting the potential amount of Multi-Family units.

References: 1. Social Benefits of Homeownership and Stable Housing - National Association of Realtors - Research Division - April 2012.

Clari Park

Employment vs. Housing Mismatch

There is a dramatic under-supply of housing in the Gateway District. Only 1,088 households in the Gateway District are provided despite an impressive employment base of nearly 9,000 jobs. This represents a jobs to households ratio of 0.12 compared to that of Rutherford County overall with a jobs to households ratio nearly ten times that amount (1.01).



Strategic Planning Promotes Smart Growth

With the growth that Murfreesboro is experiencing, smart planning strategies recommend higher density residential growth to be clustered in the core of the City alongside employment centers that can accommodate it, thereby reducing work to home commutes, urban sprawl, and overall traffic congestion.. By channeling the incoming demand for residential density within the core (the GDO district), that density can be harnessed to fuel urban growth, attract new office users to the GDO, and generate a higher tax base in a sustainable way that puts less strain on services and infrastructure on the outlying suburban areas of the City.

Favorable Tenant Demographic Profiles for Growth with Minimal Impact on Schools

The demographic profile of projected renters in the GDO is highly skewed towards young professionals with growing amounts of discretionary income. This renter cohort is essential to sustain the growing GDO district and its commercial uses and to promote future growth. Furthermore, this demographic puts little stress on the school system as the majority do not have school aged children (less than 5%).

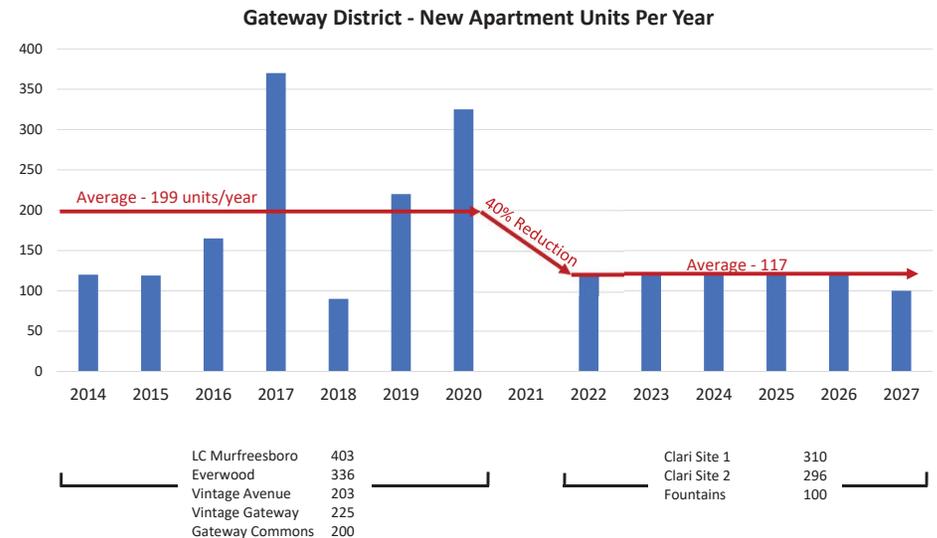
The Case for Multi-Family

Maximum Possible Multifamily Land Use Acreage does not Exceed 25% of Total Land Area

The proposed land-use area plan designates less than 25% of the total overall acreage of the site for potential Multifamily land uses (building or group of buildings for and occupied by five or more families in separate dwelling units on the same lot of record as defined in the 2020 Zoning Code). To that effect, the request to designate these land areas for Multifamily Use is within the guidelines of the 2020 Rezoning Code. As whole, only about 12% of the total Commercial Developed land acreage in the entire GDO is designated as Multifamily, falling well short of the 25% land acreage maximum envisioned.

Projected Supply of Apartment Units that Support the GDO is Dropping Drastically

Historically, the Gateway District has seen +/- 200 units delivered per year on average since 2014 with demand meeting supply as evidenced by low vacancy rates in apartment projects. Moving forward, even with the addition of Clari Park, annual deliveries are projected to drop to +/-120 units/yr (a 40% reduction) between 2022 and 2027 which will create a lack of residential supply in the immediate GDO area. With no place for highly paid young professionals to rent, they will be forced to outlying areas of the City, increasing traffic and urban sprawl.



Adjusted Parking

Parking Ratio Project Examples

Below is a list of parking ratios for comparable multifamily projects within the immediate area and projects developed and designed by the Applicant and the Applicant's architect. These projects have all been successfully developed and operated at the displayed ratios with no notable parking issues. The parking ratio required by the 2020 Zoning Ordinance (2.06 spaces per unit, or 1.29 spaces per bedroom given sample unit mix highlighted below) is significantly higher than all examples. The request to reduce the parking ratio from 1.5 spaces per 1 bedroom unit to 1.1 spaces per 1 bedroom unit will result, based on this sample unit mix, in ratios more in line with the examples (1.75 spaces/unit, and 1.10 spaces per bedroom)

Sample Unit Mix and Required Parking for Conceptual Multifamily Project
Below is a sample mix of a 301 unit apartment project potentially envisioned for Area 5.

Conceptual Unit Mix		Spaces Required Per Code		Proposed per PUD	
Bedrooms	Unit Count	Ratio	Total	Ratio	Total
Office Space ¹	9,500 sf	300	32	0	0
1	151	1.5	227	1.1	166
2	122	1.1	268	1.1	268
3	28	1.1	92	1.1	92
Total	301		619		527
Ratio			2.06		1.75

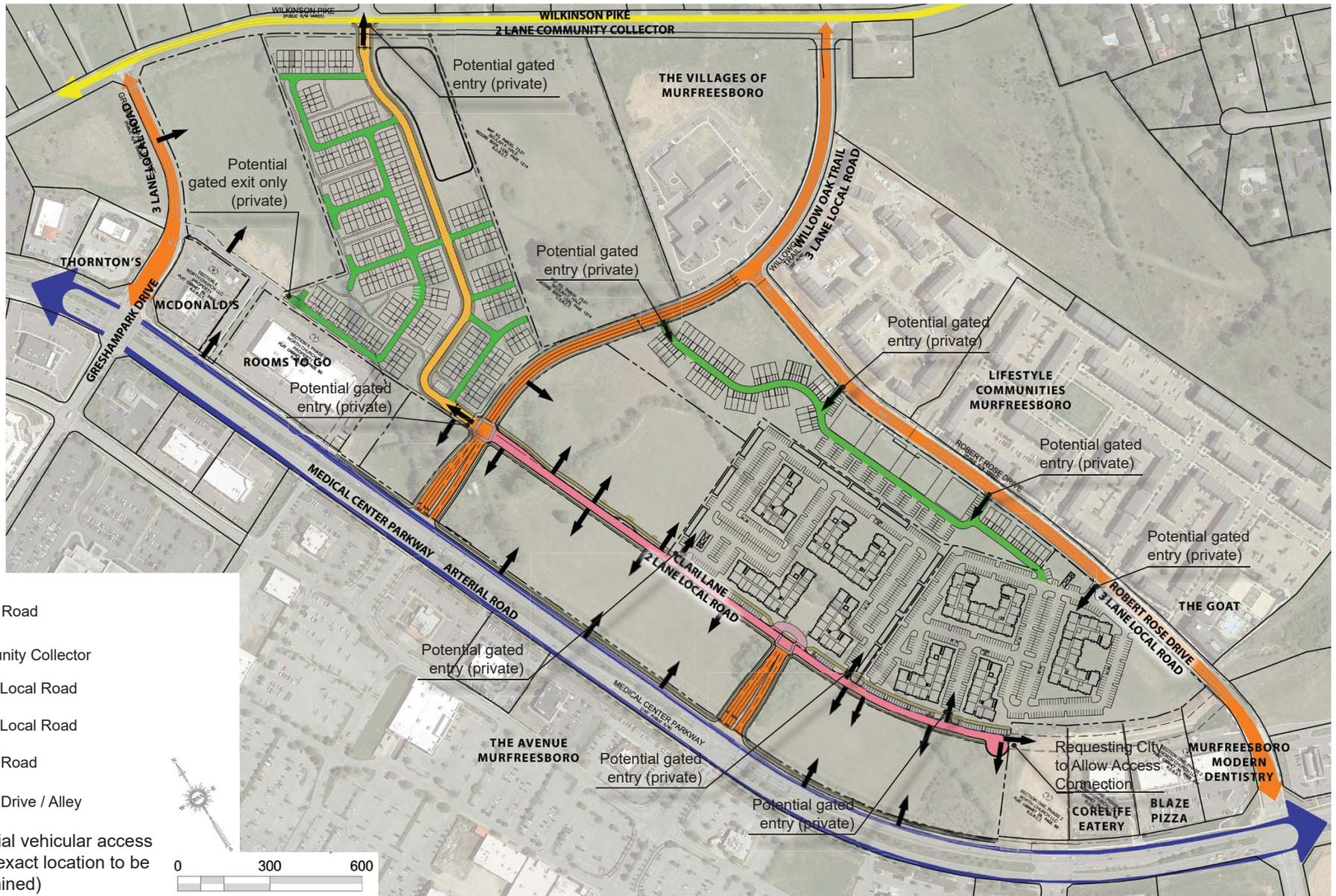
Notes:

Phase 1 of the luxury apartments may include up to 10,000 sf of micro-office space for small business tenants. Given that a percentage of business tenants will be apartment tenants and office hours do not conflict with residential hours, the PUD proposal assumes a shared parking scenario.

Subject Property							
Project Name	Location		Parking Spaces	Units	Parking Ratio (spaces/unit)	# of Bedrooms	Spaces/Bedroom
Ratio Required by Code	Murfreesboro	TN	619	301	2.06	479	1.29
Requested Ratio	Murfreesboro	TN	527	301	1.75	479	1.10
Murfreesboro Apartments							
Project Name	Location		Parking Spaces	Units	Parking Ratio (spaces/unit)	# of Bedrooms	Spaces/Bedroom
Vintage Avenue	Murfreesboro	TN	322	203	1.59	305	1.06
Recent Hines Suburban Apartments							
Project Name	Location		Parking Spaces	Units	Parking Ratio (spaces/unit)	# of Bedrooms	Spaces/Bedroom
SUR	Jacksonville	FL	535	306	1.75	487	1.10
Azure	St. Petersburg	FL	555	308	1.80	542	1.02
Celebration	Orlando	FL	529	306	1.73	487	1.09
Dynamik Design Apartments							
Project Name	Location		Parking Spaces	Units	Parking Ratio (spaces/unit)	# of Bedrooms	Spaces/Bedroom Provided
M South Multifamily	Tampa	FL	470	288	1.63	408	1.15
San Pablo Multifamily	San Pablo	FL	476	302	1.58	476	1.00
Woods Crossing Multifamily	Greenville	SC	540	321	1.68	537	1.01
Sumner Boulevard	Raleigh	NC	470	304	1.55	458	1.03
Harris Road Multifamily	Fairburn	GA	420	276	1.52	383	1.10
Hillside Multifamily	Grayson	GA	355	234	1.52	326	1.09
The Aintree Multifamily	Gallatin	TN	430	240	1.79	408	1.05
Dawson Forest Multifamily	Dawson	GA	420	240	1.75	408	1.03
Solis Gainesville Multifamily	Gainesville	GA	378	222	1.70	341	1.11
Alta Old Franklin Multifamily	Antioch	TN	510	300	1.70	510	1.00
Barrett Pavilion	Kennesaw	GA	502	285	1.76	398	1.26
Conway Multifamily	Orlando	FL	318	202	1.57	292	1.09
Huntsville Multifamily	Huntsville	AL	552	348	1.59	598	0.92
Mallard Creek Multifamily	Charlotte	TN	480	320	1.50	448	1.07
McDonough Multifamily	McDonough	GA	380	250	1.52	378	1.01
Winter Springs Multifamily	Winter Springs	FL	459	279	1.65	424	1.08
Solis Wavery	Charlotte	NC	621	374	1.66	606	1.02

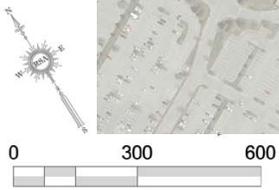
c Clari Park

Vehicular Transportation Network



- ▬ Arterial Road
- ▬ Community Collector
- ▬ 3 Lane Local Road
- ▬ 2 Lane Local Road
- ▬ Private Road
- ▬ Private Drive / Alley

➔ Potential vehicular access point (exact location to be determined)

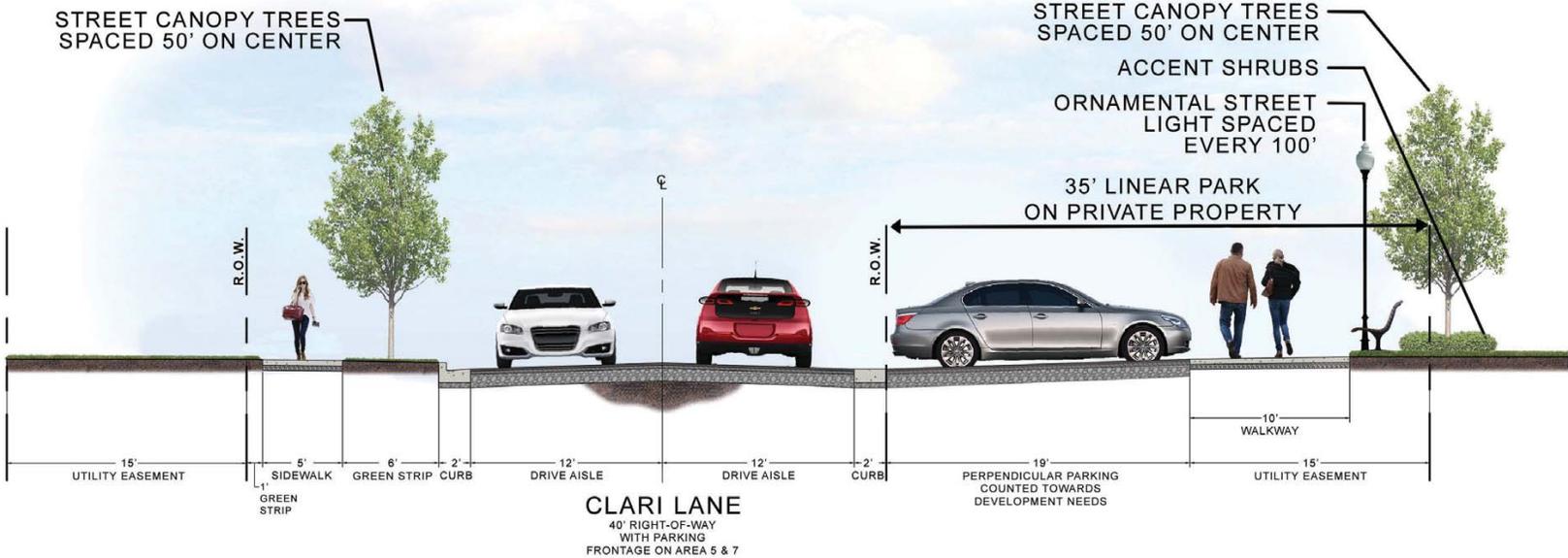
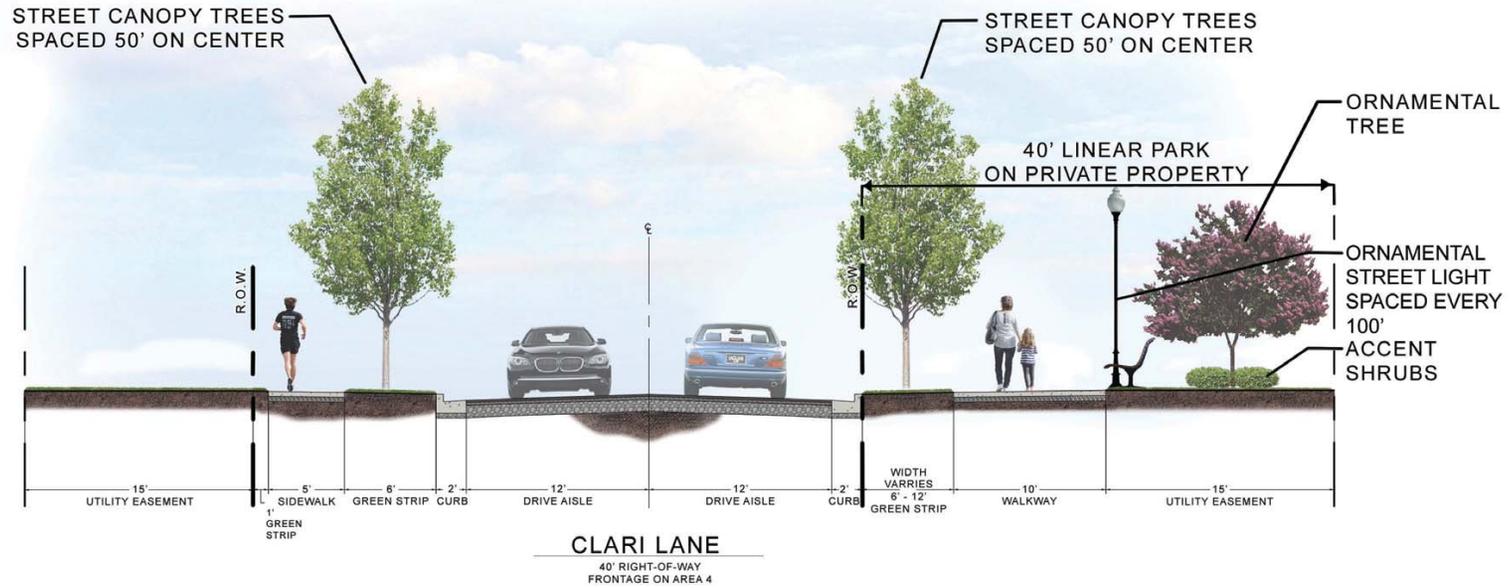


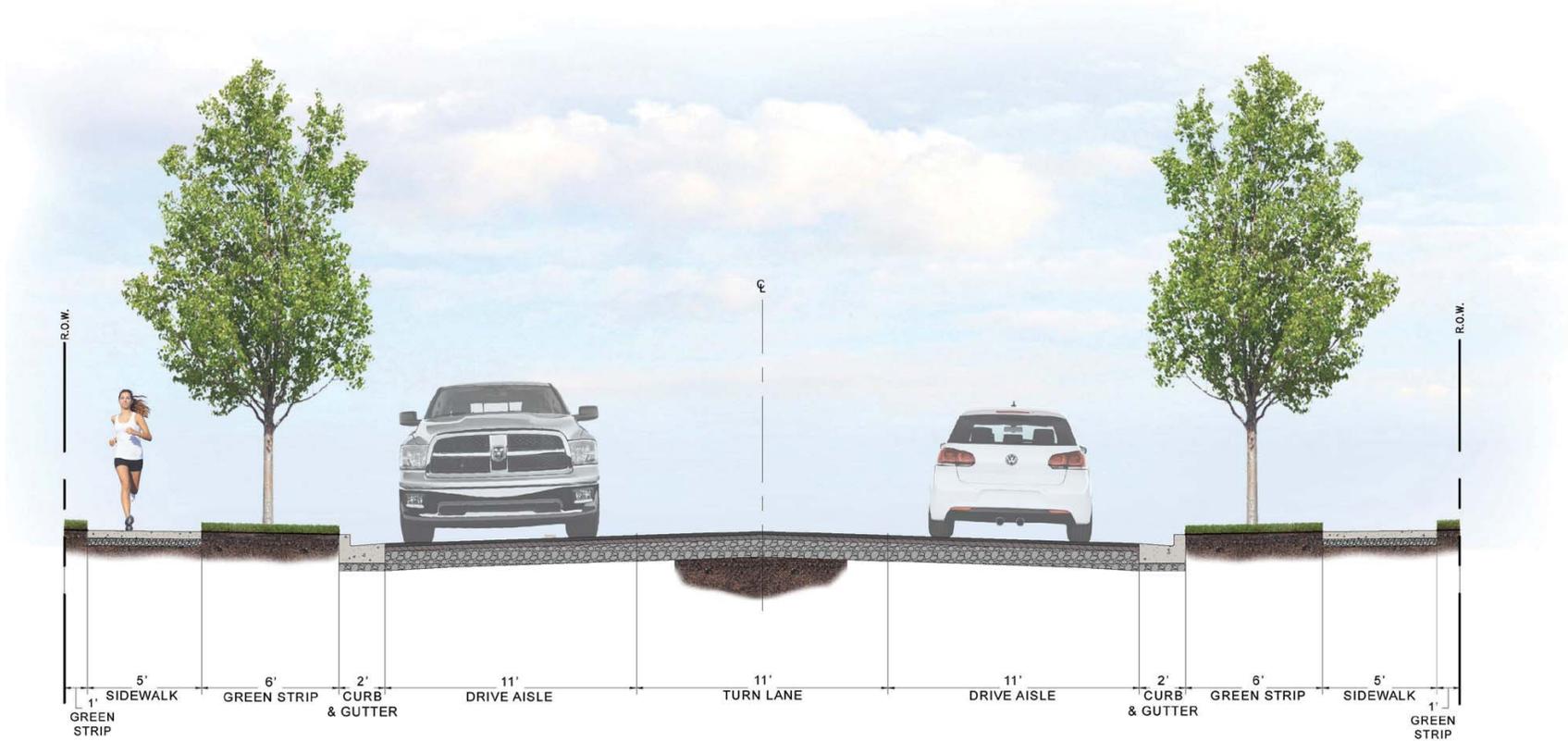
Pedestrian Circulation Plan



Clari Park

Roadway Sections





WILLOW OAK TRAIL

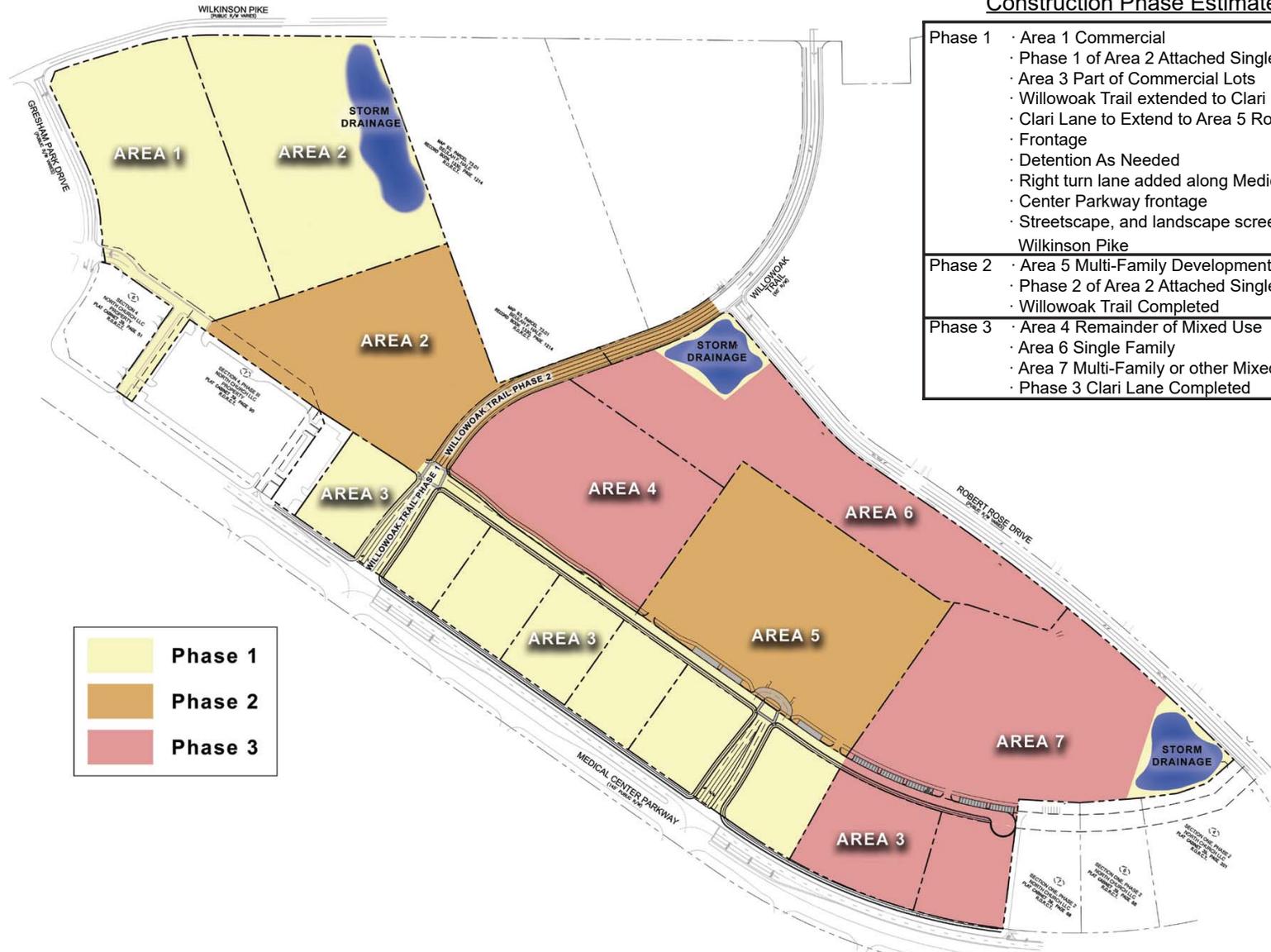
52' RIGHT-OF-WAY

Right of way will vary at intersections
with Medical Center Parkway based on
turn lane requirements

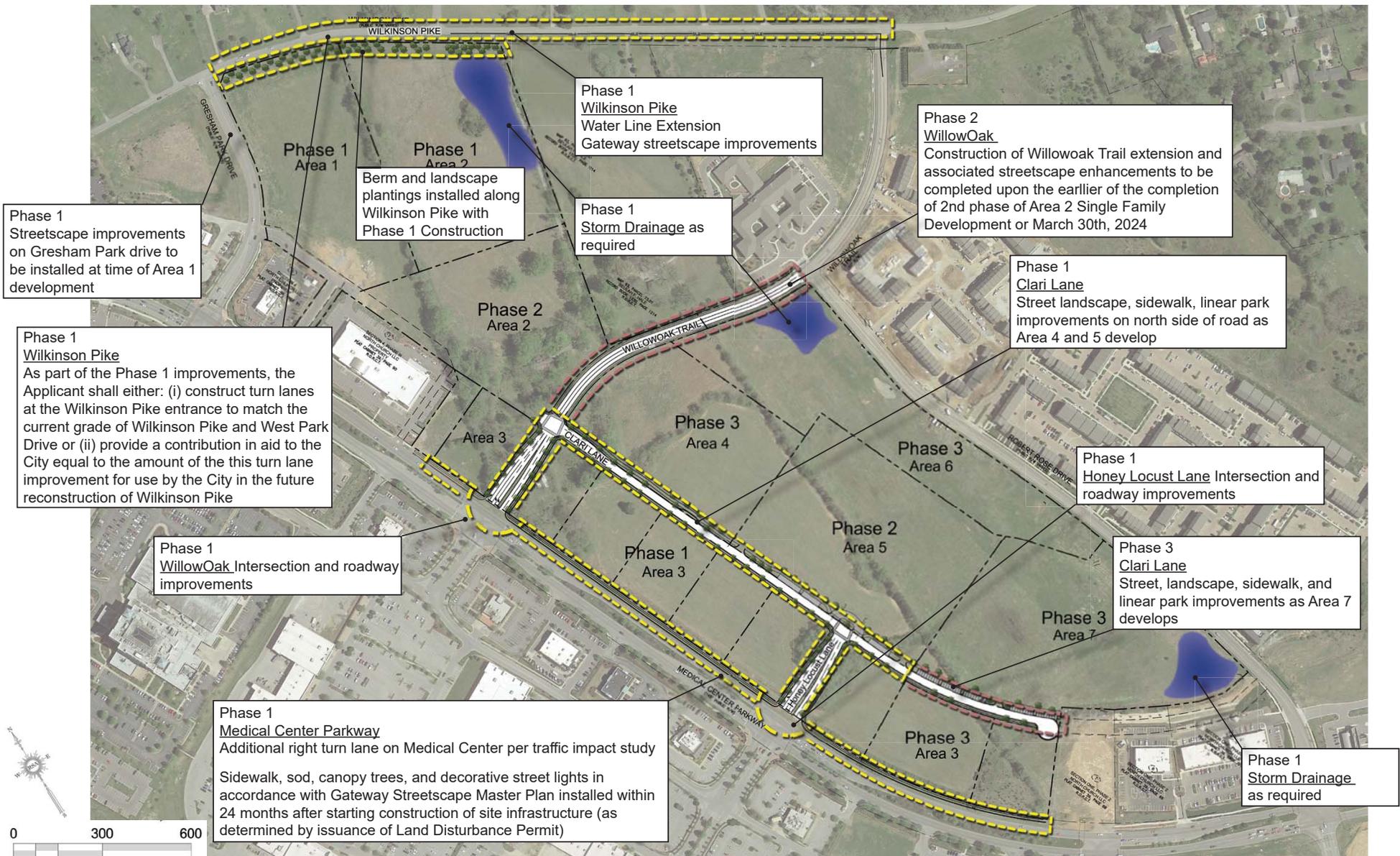
Construction Phase Estimate

Approximate Time Frame

Phase 1	<ul style="list-style-type: none"> Area 1 Commercial Phase 1 of Area 2 Attached Single Family Area 3 Part of Commercial Lots Willowoak Trail extended to Clari Lane Clari Lane to Extend to Area 5 Road Frontage Detention As Needed Right turn lane added along Medical Center Parkway frontage Streetscape, and landscape screen on Wilkinson Pike 	Phase 1	2020- 2025
Phase 2	<ul style="list-style-type: none"> Area 5 Multi-Family Development Phase 2 of Area 2 Attached Single Family Willowoak Trail Completed 	Phase 2	2021- 2026 Phase 2 2021- 2024
Phase 3	<ul style="list-style-type: none"> Area 4 Remainder of Mixed Use Area 6 Single Family Area 7 Multi-Family or other Mixed Use Phase 3 Clari Lane Completed 	Phase 3	2022- 2030



Public Improvements



Clari Park

Public Improvement Phasing

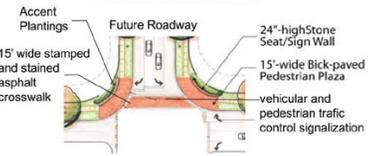
WillowOak Trail

- Phase 1
 - WillowOak Trail at MCP intersection improved with egress lanes / turn lanes as shown on public improvements plan.
 - WillowOak Trail street improvements from Medical Center Parkway to Clari Lane intersection. Landscape and sidewalk improvements from Medical Center Parkway to Clari Lane intersection.
 - WillowOak Trail and Medical Center Parkway intersection improvements in accordance with gateway streetscape master plan. (Seat wall, pedestrian plaza, and crosswalk)
- Phase 2 or 3
 - WillowOak Trail street improvements and public streetscape enhancement from Clari Lane to Robert Rose Drive. Construction of WillowOak Trail extension and associated streetscape enhancements to be completed upon the earlier of the completion of 2nd phase of Area 2 Single Family Development or March 30th, 2024
 - Applicant will commit to connect southern end of Clari Lane with adjacent bank parcel should a legally and commercially feasible solution be presented to do so. Applicant will work with City and adjacent landowner to explore viability of such a solution.



WillowOak Trail street improvements
Gateway Seat wall(s) at intersection
See page 22

TYPICAL SIGNALIZED INTERSECTION



Gateway intersection at Willow Oak and Medical Center Parkway and Honey Locust Lane and Medical Center Parkway
See page 13 of the Murfreesboro Gateway Streetscape Masterplan

Wilkinson Pike

- Phase 1
 - As part of the Phase 1 improvements, the Applicant shall either: (i) construct turn lanes at the Wilkinson Pike entrance to match the current grade of Wilkinson Pike and West Park Drive or (ii) provide a contribution in aid to the City equal to the amount of the this turn lane improvement for use by the City in the future reconstruction of Wilkinson Pike.

Honey Locust Lane

- Phase 1
 - Honey Locust Lane at MCP intersection improvements with egress lanes / turn lanes as shown on public improvement plan.
 - Honey Locust Lane street improvements from Medical Center Parkway to Clari Lane intersection. Landscape ornamental lighting and sidewalk improvements from Medical Center Parkway to Clari Lane intersection.
 - Honey Locust Lane and Medical Center Parkway intersection improvements in accordance with gateway streetscape master plan. (Seat wall, pedestrian plaza, and crosswalk)



Clari Lane

- Phase 1
 - Clari Lane street improvements from Willow Oak Trail to end of phase 2. (Frontage on areas 4 and 5)
 - Streetscape and Linear Park improvements fronting areas 4 and 5 as areas 4 and 5 develop, and phase 1 commercial lots.
- Phase 3
 - Clari Lane street improvements, streetscape and linear park improvements fronting area 7 and phase 3 commercial lots.



Clari Lane Linear Park Improvements
See page 27



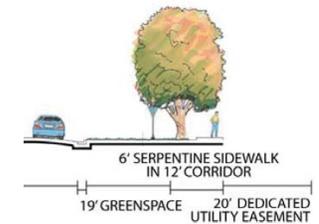
Clari Lane Street Improvements
See page 21

Medical Center Parkway

- Phase 1
 - Additional right turn lane along all lots fronting Medical Center Parkway
- Phase 1, 2, 3
 - Sidewalk, sod, canopy trees, and decorative street lights in accordance with the Gateway Streetscape Master Plan installed within 24 months after starting construction of site infrastructure (as determined by issuance of Land Disturbance Permit)

Gateway landscaping, ornamental lights, and sidewalk improvements.

See page 13 of the Murfreesboro Gateway Streetscape Master Plan



Green Space Connections Master Plan

Clari Park d

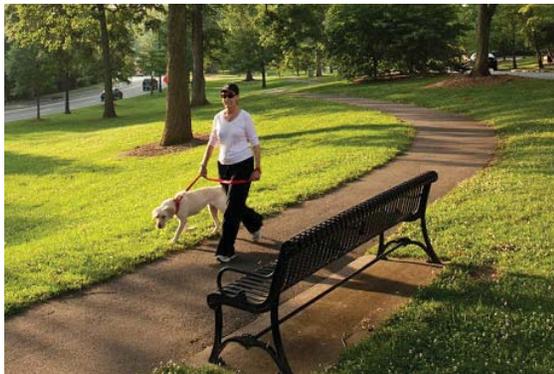
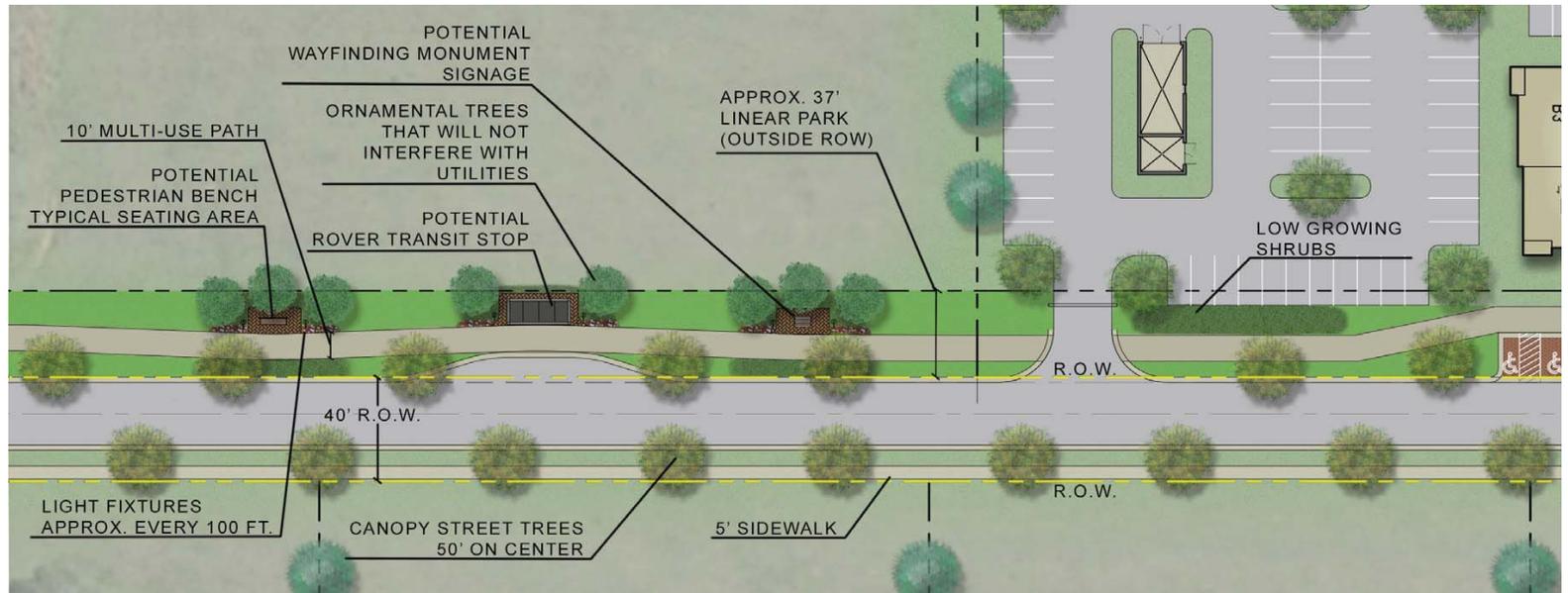


d Clari Park

Clari Lane Linear Park

Clari Lane Linear Park

Clari Lane will function as the main street of Clari Park by connecting the different land use areas. Through the provision of green space running parallel to the street. Included in this green space will be a 10' wide multi-use path on the east side of the street, ornamental, pedestrian scaled streetlights, pocket parks with benches and site furniture. The landscape will include street canopy trees and ornamental trees. This design allows the streetscape to function as a linear park. The design below is a depiction of the linear park layout for conceptual purposes. Actual design subject to change.



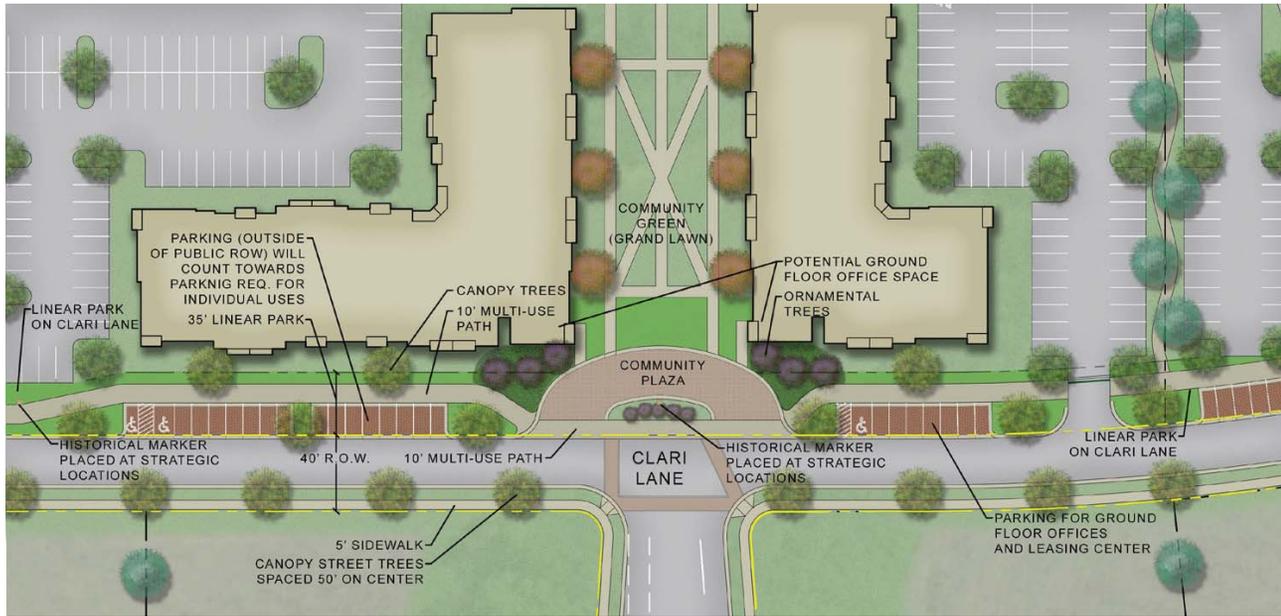
Connection of Open Space

Open spaces and pedestrian networks will extend from the linear park along Clari Lane to other areas within the project and adjacent properties. This will facilitate pedestrian circulation within the site, to the commercial district along Medical Center Parkway, and the Avenue beyond. The pedestrian walkways between Area 5 and 7, and in Area 4 provide a pedestrian and green space connection through the higher density portion of Clari Park. It also functions as part of the pedestrian network between Clari Lane and Robert Rose Drive, which will provide a connection to the Avenue through the project for Henley Station residents.

The connections in Area 2 (the Townhome Garden District) will include the incorporation of existing mature trees, proposed for preservation between Area 1 and Area 2. It will also connection pedestrian pathways to the front greenspace between residential buildings. This will link the front door residential homes to a comfortable pathway that leads to surrounding amenities and places of commerce.



d Clari Park The Grand Lawn / Honey Locust Lane / Clari Lane Entrance



The Grand Lawn

At the heart of the proposed multi family in Area 5 a grand lawn space is proposed. This will provide a visual focal point from the interior of the residential buildings and provide a visual terminus at the end of the three way intersection of Clari Lane and Honey Locust Lane. This open space is important as it provides a venue for outdoor informal social gatherings and formal community events. The grand lawn is connected to the linear park on Clari Lane and becomes part of the "main street" experience for people traveling through Clari Park. See page 50-52 for additional conceptual design details of Grand Lawn.



Avalon, a Hines Organization property





ARTIST'S RENDERING OF GRAND LAWN

e Clari Park Commercial Highway (CH) - General Description (Areas 1 & 4)

Area 1 (Mixed Use)

This area is reserved for mixed use related to commercial, and office. It has primary frontage on Gresham Park Drive as well as egress from Medical Center Pkwy. A larger commercial user can be accommodated on this parcel given the site's size and its visibility from the Gresham Park Drive and Medical Center Pkwy intersection and benefits from a large area for dedicated parking spaces. Residential uses are not permitted in area 1.

Area 4 (Mixed Use)

This mixed use development area provides flexibility in space and response to market conditions. The design form of mixed use space typically allows for integrated, shared parking and good pedestrian connections. Area 4 has a strong relationship to Willow Oak Trail and Clari Lane. Its location at the center of the site provides opportunity for a mixture of commercial or office uses that could allow for higher densities and taller buildings. Residential uses are not permitted in area 4. This area could be well suited for the development of a hotel, community grocery, corporate office or entertainment type of development.

Commercial Uses Materials Palette (Per Murfreesboro Design Guidelines)

- Primary material
 - Brick (full thickness or thin-set)
 - Cast stone
 - Natural or synthetic stone
- Secondary materials
 - Exterior Insulation Finish System (EIFS)
 - Split-face or ground-face, or polished-face concrete masonry (integrally colored)
 - Architectural metal panels with durable finish and defined profile
 - Composite panels
 - Cementitious siding or panels
 - Wood siding may be used on small scale buildings
 - Fabric Awnings
- Tertiary materials:
 - Metal copings, flashings, and trim
 - Wood or cementitious trim
- Prohibited materials
 - Smooth-face concrete masonry
 - Corrugated metal "R" panels



These photographic examples depict general concepts of building architectural character in Areas 1 and 4. They are not intended to depict final architecture or site design and they do not capture every use or scenario permitted in these areas.

Commercial Highway (CH) - Photographic Examples (Areas 1 & 4) Clari Park e

Architectural standards set forth in the Murfreesboro Design Guidelines referencing general character, heights and setbacks, building mass, scale and proportion, building composition and rhythm, transparency, articulation and expression, materials, color, and roof design will be taken into account with the design of this project.



Area 2 (Attached Single Family Residential)

Area 2 is the Townhome Garden District of Clari Park. It has egress from Wilkinson Pike and an extension of the local street network off Willow Oak Trail and both access points may be gated. It provides good opportunity for a mixture of residential housing options that include attached single family. Attached single family homes may have individual lots or they may have horizontal property regimes with stacked or side by side units sharing a common lot area. Residential units are designed to front on green spaces and parks with vehicular access through an alley network in the rear. Buildings are limited to 3 story (45') to respect the context of Wilkinson Pike and the single family residential to the north. Attached single family is part of the Clari Park Master Plan to help meet the market demand for homes that integrate into the local commerce and invested infrastructure of The Gateway. This form of residential appeals to residents who want to be part of a walkable community close to the surrounding retail and restaurant amenities. Attention is given to architectural details to relate to a residential and pedestrian scale and buildings are arranged to connect to common open space and linear parkways. Street networks in area 2 have the potential for being public or private and parking is predominantly designed to be at the rear of residential units.

Area 6 (Attached Single Family Residential)

Area 6 is the Townhome/Stacked Flat Village District with egress from Robert Rose Drive and Willow Oak Trail. It blends into the context of the adjacent existing high density residential on Robert Rose and is a transition zone from the mixed use core to the surrounding land use north and east of Clari Park. Like Area 2 the attached single family in Area 6 helps meet the market demand for homes that integrate into the local commerce and invested infrastructure of The Gateway. Attached single family homes may have individual lots or they may have horizontal property regimes with stacked or side by side units sharing a common lot area. Townhomes will be designed with arrangements that have a strong relationship to the street and green space. Streets are designed to have strong landscape elements and pedestrian space and may be public or private. This form of residential appeals to residents who want to be part of a walkable community close to the surrounding retail and restaurant amenities and provides homeownership options for young urban professionals and "empty nesters".





Single Family Attached Specifications:

Building Construction and Design

- Townhomes dwelling units shall be a minimum of 1,400 square feet and have a minimum of two bedrooms.
- Condominium dwelling units shall be a minimum of 850 square feet and a minimum of one bedroom.
- Buildings shall avoid long uninterrupted facades. Variations in the roof line including dormers and gables or wall plane shall be used to break up the mass of the building.
- Exterior details such as shutters, wall lanterns, louvers, dormers as appropriate to the architectural style shall be incorporated to add interest and richness to the front facades.
- Foundation planting landscape materials shall be provided along front elevations and front lawn areas shall be sodded.
- Side elevations in high-visibility locations shall receive an enhanced architectural treatment.
- Garages shall not be used for the storage of boats, recreational vehicles, trailers or equipment.
- All dwelling units with attached garages shall locate access to the garage at the rear or side of the building.
- Driveways for townhome dwelling units shall be a minimum of 16' wide to accommodate two cars and 8' wide to accommodate one car.
- The incorporation of front patios, porches, bay windows and stoops shall be encouraged and shall be permitted to extend into the front yard and side yard setback.
- The finished floor of dwellings shall be designed such that the elevation is 12" above the adjacent exterior grade at the front of the dwelling.
- Mechanical systems and above-grade utility elements shall be located in the rear or side of dwellings whenever possible with the exception of electrical and telecommunications equipment that will be placed in designated easements.

Exterior Building Materials

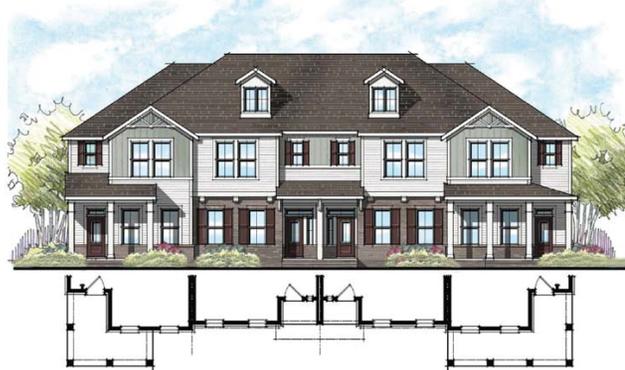
- The following exterior materials shall be permitted on the exterior façade:
 1. Brick veneer – natural color or painted
 2. Cementitious and fiber cement composition siding (i.e. Hardie, Certainteed)
 3. Stone – natural or manufactured stacked stone
 4. Wood siding in limited locations or trim elements may be used if appropriate in context to the architectural style.
 5. Windows may be constructed of pre-finished aluminum, vinyl, or vinyl clad wood. Window mullions shall be provided appropriate to the architectural style.
 6. The use exposed concrete block, split-faced block, vinyl siding or corrugated metal siding shall be prohibited. Glass block is prohibited on the front elevation of dwellings. (Note: Vinyl may be used for exterior soffits and miscellaneous trim).
- The following exterior materials shall be permitted as roofing materials:
 1. Dimensional Composition Roof Shingles
 2. Metal roof in limited accent applications such as porches and bay windows if appropriate in context to the architectural style.

Architectural Examples - Townhomes (Area 2)

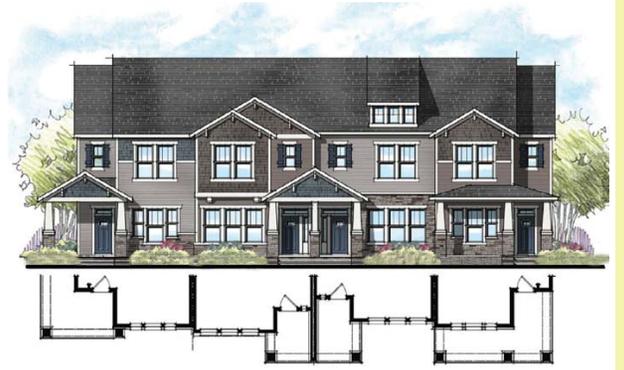
SOUTHERN TRADITIONAL



FARMHOUSE



CRAFTSMAN





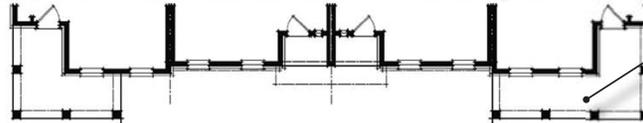
**ENHANCED ELEVATION
KEY MAP**

FARMHOUSE

Foundations to be raised a minimum of 12" from adjacent grade for architectural effect (not currently shown here)



Porches to be minimum of 6' wide



Shutters on interior units are optional on standard elevations



ENHANCED REAR ELEVATION



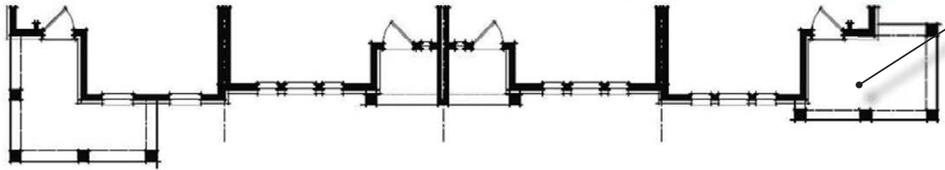
ENHANCED SIDE ELEVATION

SOUTHERN TRADITIONAL

Foundations to be raised a minimum of 12" from adjacent grade for architectural effect (not currently shown here)



Porches to be minimum of 6' wide



ENHANCED SIDE ELEVATION WITH WRAP PORCH

SOUTHERN TRADITIONAL

Foundations to be raised a minimum of 12" from adjacent grade for architectural effect (not currently shown here)



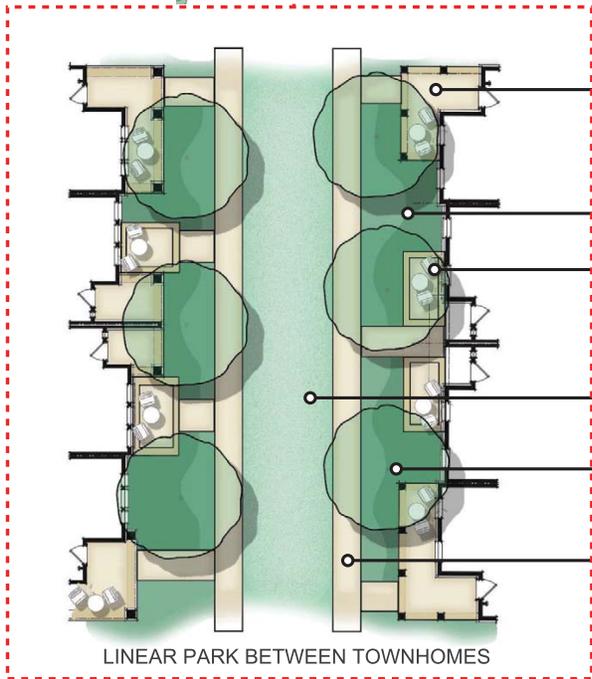
Porches to be minimum of 6' wide



ht Side Elevation



TOWNHOMES WILL FRONT A SERIES OF LINEAR GREEN SPACES TO CREATE A WALKABLE PUBLIC REALM



- COVERED PORCHES WITH SEATING AREAS
- LANDSCAPE BEDS
- OUTDOOR PATIOS W SEATING AREAS
- FORMAL LAWN SPACE
- CANOPY/ACCENT TREE
- WALKWAY

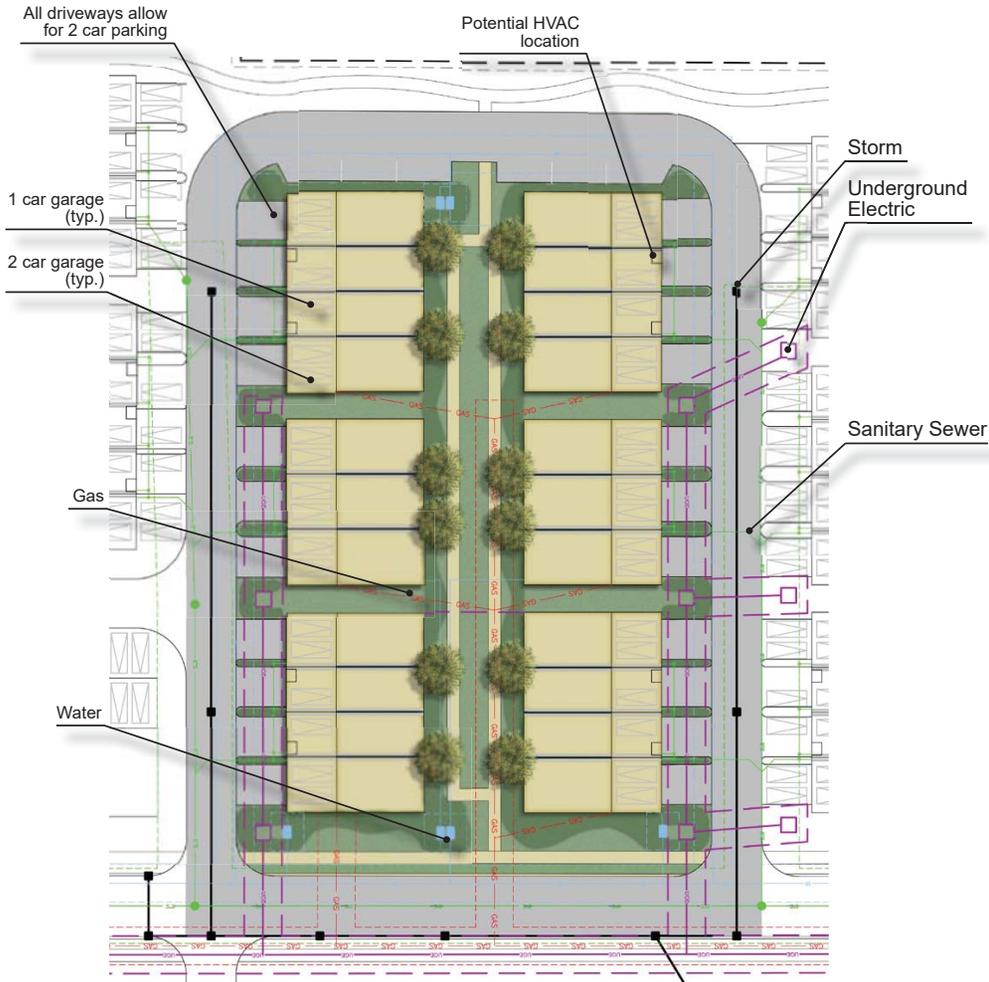
LINEAR PARK BETWEEN TOWNHOMES

Landscape & walkway design to be finalized during Site Plan Review



ARTIST'S RENDERING OF LINEAR PARK BETWEEN TOWNHOMES
(architecture for conceptual purposes only)

Parking & Utility design for single-family attached townhomes in Area 2.





PAINTED FIBER CEMENT BOARD W/ BATTEN

PAINTED FIBER CEMENT SIDING

RUNNING BOND BRICK VENEER

STANDING SEAM METAL ROOF

BRICK SOLDIER COURSE

PAINTED STEEL/ALUMINUM RAILING



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

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g Clari Park Multi Family Residential - General Description (Areas 5 & 7)

Area 5 (Multi Family Residential - Mixed Use)

Area 5 is at the center of the Clari Park Master Plan and is appropriate for a high density use that takes full advantage of the surrounding Gateway infrastructure and promotes a highly valued development. Standards for architectural height and mass allow for large signature buildings. Buildings in Area 5 are arranged to create centralized open space with social programming, recreational opportunities and leisure amenities. These spaces are designed to become the heart of social activity for the residential multi family component of Clari Park. Area 5 has good opportunities to consider shared use parking for a mixture of uses and adjoining areas. Area 5 is proposed as predominantly multi-family use with a vertically integrated mixture of limited office and service use.

Area 7 (Multi Family Residential - Mixed Use)

Area 7 is located at the south west portion of Clari Park and is adjacent to existing commercial and high density residential land use. This mixed use development area provides flexibility in space and response to market conditions for high density residential with commercial or office use. The design form of mixed use space typically allows for integrated, shared parking and good pedestrian connections. Area 7 has a strong relationship to Robert Rose Drive and Clari Lane. Its location provides opportunity for higher densities and taller buildings. Multi family residential is permitted, which would include a mix of office/commercial uses, and this area could be a strong extension of the proposed high density residential proposed for Area 5.



Stand-alone Garages

This conceptual layout and photographic examples for the potential multi-family development for Area 5 also apply to the potential multi-family for Area 7 as it relates to mixed use, multi-family opportunities.

Area 5 Enlargement





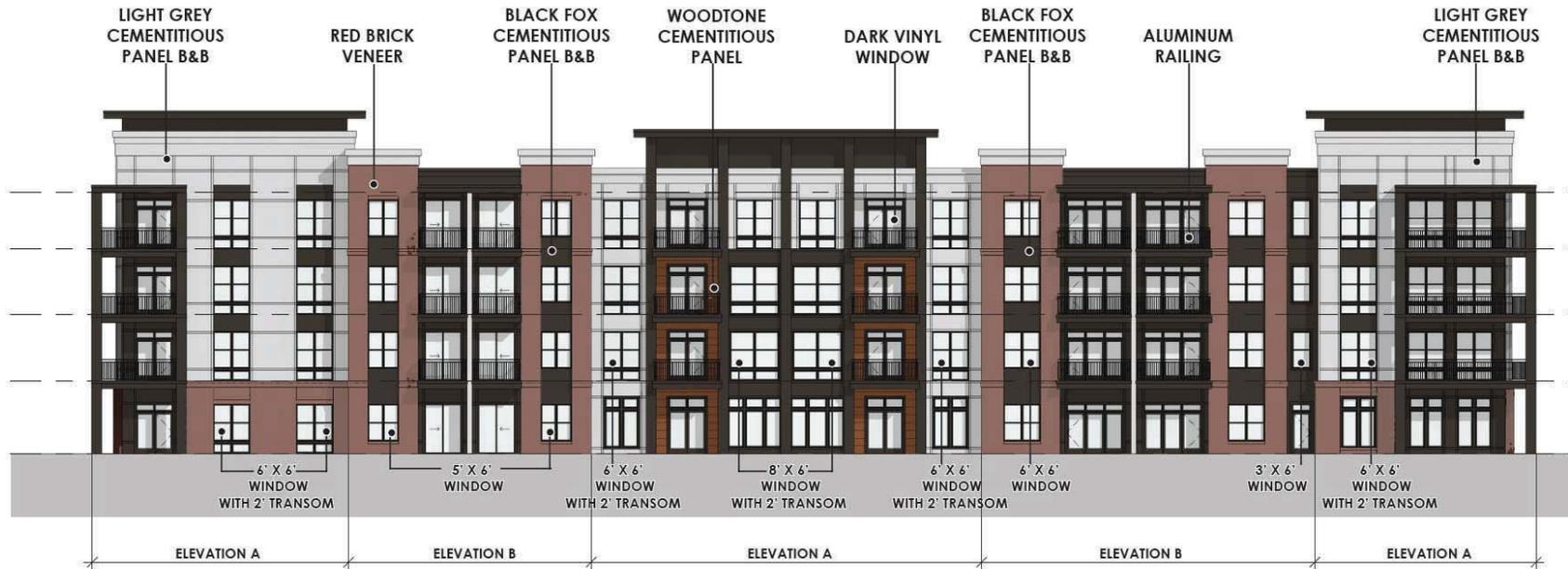
Multi-Family Attached Specifications:

Building Construction and Design

- Buildings shall avoid long uninterrupted facades. Variations in the roof line or wall plane shall be used to break up the mass of the building.
- Detached garages shall be permitted and shall count toward meeting the required parking per the Zoning Code. The architecture of the detached garages shall reflect the architectural style of the primary structure.
- The incorporation of exterior balconies shall be encouraged. Balcony railings shall be aluminum, metal or stainless steel cable-stayed construction.
- Metal and canvas awnings shall be permitted to extend in to the front and side building setback.
- Foundation planting landscape materials shall be provided along front elevations and all lawn areas shall be sodded.
- Mechanical systems and above-grade utility elements shall be located on the rooftop or in the rear or side of dwellings whenever possible with the exception of electrical and telecommunications equipment that will be placed in designated easements.
- Roof top mechanical equipment shall be screed by parapet walls.

Exterior Building Materials

- The following exterior materials shall be permitted on the exterior façade:
 1. Brick – natural color or painted
 2. Cementitious composition siding
 3. Stone – natural or manufactured stacked stone
 4. Wood siding in limited locations or trim elements may be used if appropriate in context to the architectural style.
 5. The use exposed concrete block, split-faced block, vinyl siding or corrugated metal siding shall be prohibited. (Note: Vinyl may be used for exterior soffits and miscellaneous trim).
- The following exterior materials shall be permitted as roofing materials:
 1. TPO single-ply roofing membrane
 2. Dimensional composition roof shingles
 3. Metal roof in limited accent applications such as porches and bay windows if appropriate in context to the architectural style.



Multi-Family Attached Specifications:

It is recognized that new materials and new uses for materials will continue to be developed. Materials not specifically approved herein may be considered for use on buildings if samples and supporting information are provided to the Planning Staff and the Planning Commission for consideration.

Architectural standards set forth in the Murfreesboro Design Guidelines referencing general character, heights and setbacks, building mass, scale and proportion, building composition and rhythm, transparency, articulation and expression, materials, color, and roof design will be taken into account with the design of this project.





COMMERCIAL OFFICE SPACE ON GROUND FLOOR OF APARTMENTS WILL INTEGRATE A MIX OF USES ALONG CLARI LANE



Photographic Amenity Examples - Multi Family (Area 5 & 7) Clari Park g



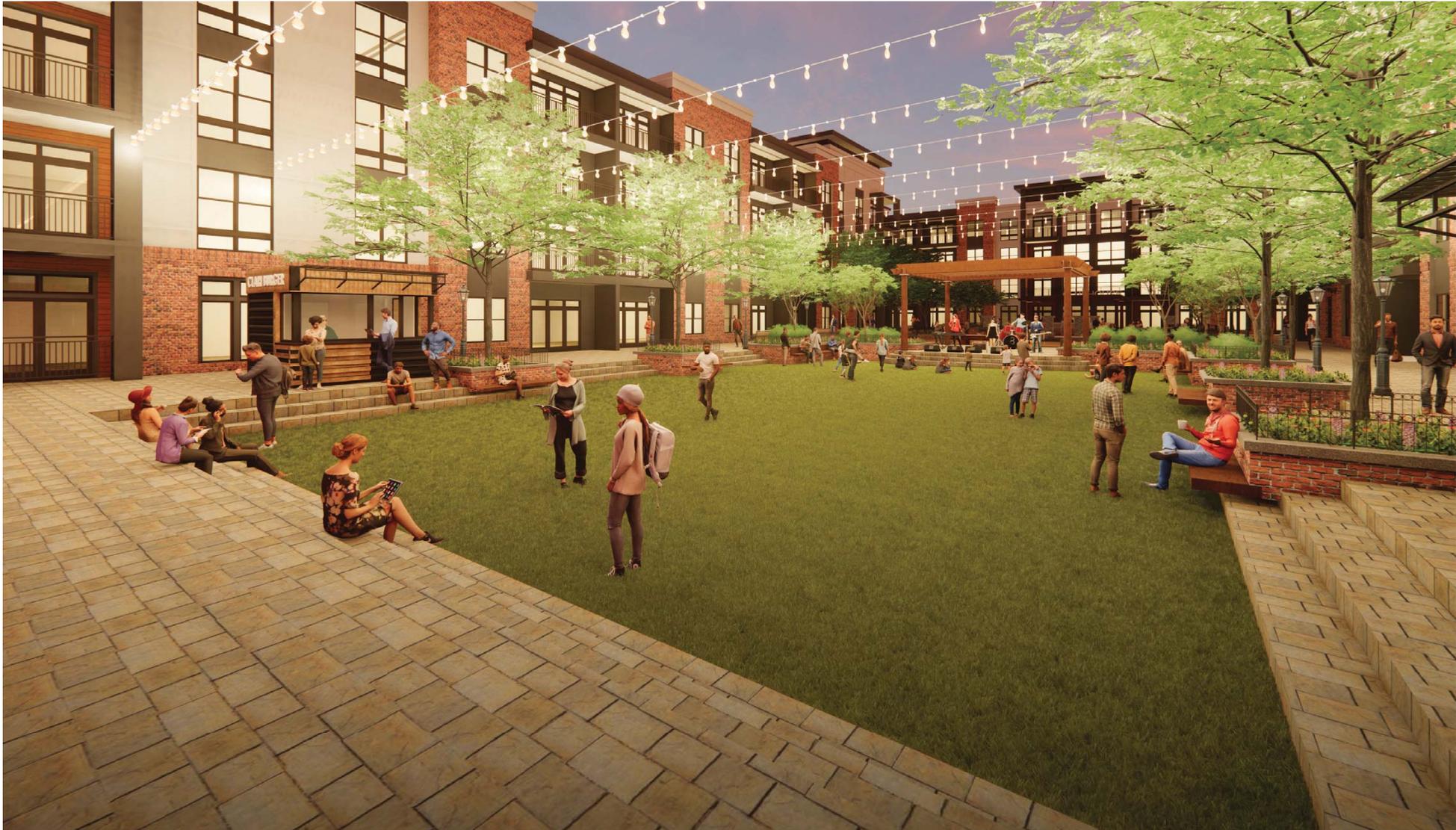
These photographic examples depict general concepts of building architectural character in Area 5. They are not intended to depict final architecture or site design and they do not capture every use or scenario permitted in these areas.

Each phase of the Multi-Family For-Rent Residential at Clari Park shall include a comprehensive amenity program for the residents. Elements of the amenity program for each phase shall include:

- Exterior resort pool with a large colored concrete or paver deck area designed with open air and shaded seating areas;
- Exterior gathering areas that incorporate fire pits, grills, and outdoor games;
- A dog park with a water and wash down station;
- Over 7,000 square feet of interior amenity areas that include a resident lounge that connects directly to the pool area, fitness facility with full complement of aerobic and strength equipment, a spin and yoga studio, a dog care room, conference rooms, and work spaces.



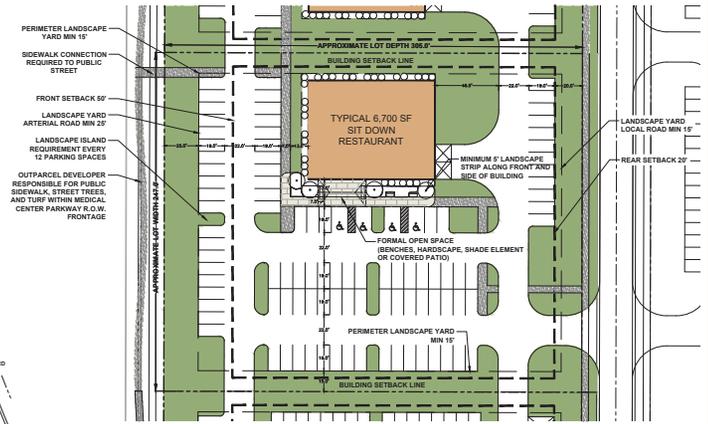
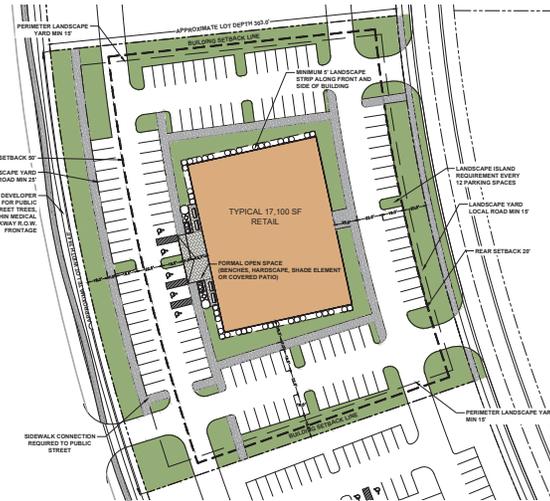
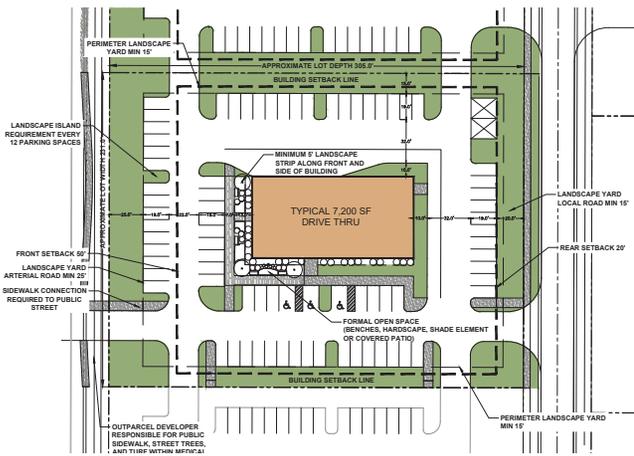
Grand Lawn design is conceptual in nature and is subject to change





Commercial General Description - (CH Commercial Area 3) Clari Park h

- Commercial parcels in Area 3 range in size from approximately 1 to 3 acres and parcel boundaries are subject to change
- Commercial parcels in Area 3 will relate to existing commercial land patterns established along Medical Center Parkway.
- Commercial establishments in Area 3 will connect to the proposed residential and mixed use components of Clari Park and encourage a local, walkable lifestyle to occur in the gateway.
- Proposed residential densities that are part of the Clari Park plan, contribute to the commercial value and viability of Area 3.



- These typical outparcel layouts depict possible scenarios to illustrate how commercial developments may fit into Clari Park.
- Layouts are conceptual in nature. Final site design for each specific parcel will be provided at the time of actual development.
- Street improvements on Medical Center Parkway will follow the Gateway Streetscape Master Plan and City of Murfreesboro Design Guidelines including a 12' landscape area with a minimum 6' wide serpentine sidewalk



Commercial Uses Materials Palette (Per Murfreesboro Design Guidelines)

- Primary material
 - Brick (full thickness or thin-set)
 - Cast stone
 - Natural or synthetic stone
- Secondary materials
 - Exterior Insulation Finish System (EIFS)
 - Split-face or ground-face, or polished-face concrete masonry (integrally colored)
 - Architectural metal panels with durable finish and defined profile
 - Composite panels
 - Cementitious siding or panels
 - Wood siding may be used on small scale buildings
 - Fabric Awnings
- Tertiary materials:
 - Metal copings, flashings, and trim
 - Wood or cementitious trim
- Prohibited materials
 - Smooth-face concrete masonry
 - Corrugated metal "R" panels



Architectural standards set forth in the Murfreesboro Design Guidelines referencing general character, heights and setbacks, building mass, scale and proportion, building composition and rhythm, transparency, articulation and expression, materials, color, and roof design will be taken into account with the design of this project.

November 2, 2016

Ms. Margaret Ann Green
City of Murfreesboro Planning Department
111 West Vine St.
Murfreesboro TN 37130

RE: Rezoning Commitments
North Church Subdivision Section 5
SEC Project No. 14358

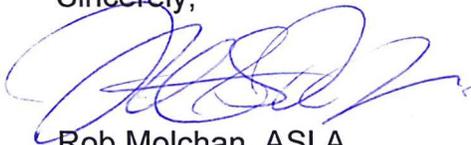
Dear Ms. Green,

As per our conversation this morning, I would like to outline our commitments that we are proposing with this rezoning request for these properties. These commitments are being made in conjunction with our request to rezone approximately 2.03 acres of Office General (OG) and 5.59 acres of Residential Single-Family (RS-15) to Mixed Use (MU) zoning. This rezoning would properly place all portions of these properties into the same zoning classification, allowing for the properties to be developed under one zoning classification. Associated with this rezoning, we are requesting the elimination of the 100 foot wide Wilkinson Pike Buffer along the entire length of these properties. We are proposing to incorporate a new landscape berm and buffer in its place. Below is our list of commitments for this new buffer area:

1. Construct a minimum 5 foot tall berm along south side of Wilkinson Pike for the entire length of the request.
2. Landscape the entire berm with a Type 'E' Buffer
3. Construct a split rail fence to match the existing Battlefield Fence
4. Fully irrigate the berm
5. Construct all improvements in the next growing season after approval
6. Provide perpetual maintenance and irrigation of the buffer area
7. Restrict building heights within the 100 foot buffer area to no more than 3-Stories

If you should have any questions concerning this request, please feel free to call Matt Taylor or myself at (615) 890-7901 or via email at mtaylor@sec-civil.com or rmolchan@sec-civil.com.

Sincerely,



Rob Molchan, ASLA
SEC Inc.

APPENDIX A - ZONING

- (a) The following temporary outdoor uses of land shall be prohibited:
- [1] carnivals
 - [2] circuses
 - [3] fireworks sales
 - [4] Christmas tree sales
- (b) Tents shall be permitted within the GDO District provided that a tent shall not be used for retail sales of merchandise. Permits issued for tents shall be valid for a period not in excess of fourteen consecutive days.
- (2) Itinerant and/or temporary outdoor sales of retail merchandise shall be prohibited, including but not limited to the following:
- (a) sale of vacuum cleaners, fans and other appliances;
 - (b) sale of rugs, carpets, toys, T-shirts, license plates, velvet paintings and artwork;
 - (c) sale of landscaping materials not grown on-site;
 - (d) sale of vegetables and produce not grown on-site;
 - (e) sale of souvenirs and mementos;
 - (f) sale of tropical plants, potted plants, and bouquets of flowers;
 - (g) sale of stone, clay, glass, or concrete figurines;
 - (h) sale of chairs, sofas, tables, or other furniture; and,
 - (i) sale of food and beverages.
- (3) Outdoor display or sale of merchandise, other than motor vehicles, is prohibited. Provided, however, an outdoor display of items regularly offered for sale indoors will be permitted on an infrequent and incidental basis. No such items may be displayed within any required landscape area.
- (4) Chain link, woven wire, or barbwire fencing shall be prohibited in any required front yard or in any area visible from the public right-of-way. Provided that woven wire fence or barbwire fence shall be permitted on land used for agricultural uses when such fencing is used for the keeping of livestock on the property and that chain link fencing necessary for safety or security during a construction project shall be allowed but it must be removed prior to issuance of a certificate of occupancy.
- (5) The following uses listed on Chart 1 and which may be otherwise permitted by right or by special permit in the underlying zones shall not be permitted as principal uses anywhere in any of the GDO Districts:

OTHER HOUSING

Fraternity/Sorority
Mobile Homes
Family Crisis Shelter
Family Violence Shelter
Mission
Student Dormitory
Transitional Home

INSTITUTIONS

Airport/Heliport
Cemetery

APPENDIX A - ZONING

Pet Cemetery

COMMERCIAL

Adult Cabaret

Adult Entertainment Center

Adult Motel

Adults-only Book Store

Adults-only Motion Picture Theater

Amusements, Commercial Outdoor Motorized

Amusements, Commercial Outdoor Motorized Except Carnivals

Beer, Packaged

Carnivals

Communications Tower

Contractor's Storage Yard

Contractor's Yard or Storage Outdoors

Crematory

Drive-in Theater

Ice Retail

Kennels

Laundries, Self Service

Livestock Auction

Lumber, Building Material

Manufactured Home Sales

Massage Parlor

Mobile Home Sales

Pawn Shop

Pet Crematory

Pet Funeral Home

Rap Parlor

Salvage and Surplus Merchandise

Sauna

Tattoo Parlor

Tavern

Taxidermy Studio

Wrecker Service

Wrecker Service Storage Yard

INDUSTRIAL

Animal or Poultry Slaughter, Stockyards, Rendering

Automobile Dismantlers and Recyclers

Mobile Home Construction

Paper Mills

Petroleum and Coal Products Refining

Primary Metals Distribution and Storage

Saw Mills

APPENDIX A - ZONING

Scrap Processing Yard
Scrap Metal Processors
Scrap Metal Distribution and Storage
Secondary Material Dealers
Stone, Clay, Glass, and Concrete Products

TRANSPORTATION AND PUBLIC UTILITIES

Garbage or Refuse Collection Service
Refuse Processing Treatment and Storage
Landfill
Railroad Switching Yard, Terminal, Piggyback Yard
Taxicab Dispatching Station
Truck or Motor Freight Terminal, Service Facility

OTHER

Metal, Sand, Stone, Gravel, Clay, Mining and Related Processing
Temporary Mobile Recycling Center

- (6) The following uses listed on Chart 1 and which may be otherwise permitted by right or by special permit in the underlying zones shall not be permitted as principal uses anywhere in the GDO-3 District:

INSTITUTIONS

Nursery School

COMMERCIAL

Amusements, Commercial Indoor
Amusements, Commercial Outdoor Excluding Motorized
Animal Grooming Facility
Automotive Repair
Barber or Beauty Shop
Beer, Packaged
Convenience Sales and Service, Maximum 5,000 Sq.Ft. Floor Area
Funeral Home
Garden and Lawn Supplies
Gas—Liquified Petroleum, Bottled and Bulk
Gas Station
General Service and Repair Shop
Glass—Auto, Plate, and Window
Glass—Stained and Leaded
Greenhouse or Nursery
Ice Retail
Janitorial Service
Karate, Instruction
Keys, Locksmith

APPENDIX A - ZONING

Laundries, Self Service
Liquor Store
Motor Vehicle Sales
Motor Vehicle Service
Music or Dance Academy
Optical Dispensaries
Veterinary Clinic
Veterinary Hospital
Vehicle Sales
Vehicle Wash
Video Rental

INDUSTRIAL

Contractors Storage, Indoor
Printing and Publishing.

(7) *Setbacks and buffer zones.*

(a) *Additional required setbacks.* In addition to the buffer zone requirements established in Section 27 of this article for every one foot that any proposed building exceeds thirty-five feet in height the required building setback on the side of the property where the buffer zone is required shall be increased an additional one foot of width.

(b) *Wilkinson Pike Buffer.*

[1] A one hundred foot wide buffer area shall be required along the south side of Wilkinson Pike extending from the intersection of Wilkinson Pike and Medical Center Parkway eastward to Van Cleave Lane.

[2] Single family residential dwellings shall be permitted within the Wilkinson Pike Buffer and shall be allowed to have driveway access to Wilkinson Pike provided the underlying zoning allows single family dwellings as a permitted use and the following requirements are met:

Minimum lot area of 43,560 square feet (1 acre)

Minimum front setback of 80 feet from the Wilkinson Pike right-of-way

Minimum lot width of 125 feet

Minimum side setback of 12.5 feet

Minimum rear setback of 30 feet

Maximum height of 35 feet

[3] The buffer zone shall not be utilized as a storage area.

[4] Parking lots, parking structures, accessory structures, dumpsters, temporary structures, storage facilities, or maintenance structures shall not be located within this buffer zone.

[5] The following building setbacks will be required along this buffer zone:

Multi-family Residential 100 feet

Office 100 feet

Commercial 100 feet

[6] If any buffer requirements are required in accordance with the requirements

Chart 1
Page 1 of 8

CHART 1. USES PERMITTED BY ZONING DISTRICT.

APPENDIX A - ZONING

USES PERMITTED ³	ZONING DISTRICTS																										
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R ²	OG ²	CL ²	CF ^{2,14}	CH ²	MU ²	CBD ²	HI ²	GI ²	LI ²	CM-RS-8 ²	CM-R ²	CM ²	CU	P	
DWELLINGS																											
Single-Family detached	X	X	X	X	X	X	X	X	X	X		X	X										X	X		X	
Single-Family attached							X	X	X	X		X	X										X	X		X	
Two-Family							X	X	X			X	X										X	X		X	
Three-Family								X	X			X	X										X	X		X	
Four-Family								X	X			X	X										X	X		X	
Multiple-Family								X ²¹	X ²¹								X ²¹	X ²¹								X	
OTHER HOUSING																											
Accessory Apartment	S ⁶	S ⁶	S ⁶	S ⁶	S ⁶	S ⁶				S ⁶																	
Accessory Dwelling Unit												X ¹	X ¹	X ¹	X ¹	X ¹	X	X ¹	X ¹	X ¹	X ¹						
Assisted-Care Living Facility ¹⁵							S	X	X	X		X	X	X	X	X	X	X				X	X	X	X	S	
Bed-and-Breakfast Homestay	S	S	S	S	S		S	S	X	S		S	X	X	X							S	S	S	S	X	
Bed-and-Breakfast Inn	S	S	S	S	S		S	S	S	S		S	S	X	X							S	S	S	S	S	
Boarding House ¹⁵							S	S	X	X		S	X	X	X							S	S	S	X		
Emergency Shelter	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Extended Stay Hotel/Motel															X		X										
Family Crisis Shelter												S	S	S	S				S	S	S		S				
Family Violence Shelter								S	S			S	S	S	X	X			X	X	X		X	S	S	S	
Fraternity/Sorority												S	S	S	S								S	S	S		
Group Shelter								S	S			S	S	S	S				S	S							
Class I Home for the Aged ¹⁵	S	S	S	S	S	S	S	X	X	X		X	X	X	X		X					S	S	S	S	S	
Class II Home for the Aged ¹⁵	S	S	S	S	S		S	S	S	S		S	X	X	X		X					S	S	S	S	S	
Class III Home for the Aged ¹⁵								S	S			S	S	X	X	X	X					S	S	S	S	S	
Hotel															X	X	X	X	X	X	X						
Mission ¹⁰																			S	S	S						
Mobile Homes											X																
Motel															X	X		X	X	X							
Rooming House							S	S	S									X					S	S	X		
Student Dormitory									S																	X	
Transitional Home							S	S	S			S	S										S	S			
INSTITUTIONS																											
Adult Day Care Center	S	S	S	S	S	S	S	S	S	S		X	X	X	X	X	X		X	X	X	S	X	X			
Adult Day Care Home	S	S	S	S	S	S	S	S	S	S	S	X	S	X	X	X		X	X	X	X	X	X	X			
Airport, Heliport	S	S	S	S	S	S	S	S	S	S					S				S	S	S	S	S	S	S	S	S
Cemetery, Mausoleum	S	S	S	S	S	S	S	S	S	S		S	S						S	S	S						
Church ¹³	S	S	S	S	S	S	S	X	X	S	S	S	X	X	X	X	X	X	X	X	X	S	S	X	X		
College, University												X	X				X						X		X		

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

Chart 1
Page 2 of 8

USES PERMITTED ³	ZONING DISTRICTS																										
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R ²	OG ²	CL ²	CF ^{2,14}	CH ²	MU ²	CBD ²	HI ²	GI ²	LI ²	CM-RS-B ²	CM-R ²	CM ²	CU	P	
Day-Care Center							S	S	S	S	S	S		X	X	X	X	X	X	X	X		S	S	S		
Family Day-Care Home	S	S	S	S	S	S	S	S	S	S	S	S		X	X	X		X	X	X	X	X	S	S	S	X	
Group Day-Care Home	S	S	S	S	S	S	S	S	S	S	S	S		X	X	X		X	X	X	X	X	S	S	S	X	
Hospital												X	X				X		X	X	X	X	X	X			
Lodge, Club, Country Club ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X	X	X	X	X	X	S	S	S		
Mental Health Facility												X	X	X		X	X		X	X	X		X	X	X		
Morgue																X	X		X	X	X		X	X			
Museum							S	S	S			S	S	S	X	X	X	X	X	X	X	X	S	S	S	X	S
Nursing Home												X	X	S	S	S	X		X	X	X	X	X	X	X		
Nursery School							S	S	S		S	S	S	S	S	X			S	S	S	S	S	S	S	X	
Park	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
Philanthropic Institution							S	S	S			X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	
Pet Cemetery	S	S	S												S	S			S	S	S						
Public Building ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X	X	X	X	X	S	S	S	S	X	
Recreation Field ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X		X	X	X	S	S	S	S	X	X
Senior Citizens Center	S	S	S	S	S	S	S	X	X	S		X	X	X	X	X			X	X	X	S	X	X			
School, Public or Private, Grades K - 12 ¹³	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X	X	X	X	X	S	S	S	S	X	
Student Center								S	S			S	S	S	S	S	X						S	S			
AGRICULTURAL USES																											
Customary General Farming	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶	X ⁶				X ⁶	X			X	X	X					X	X
Crop, Soil Preparation Agricultural Services	S	S	S	S	S	S	S	S	S	S	S				X	X			X	X	X					X	X
Farm Labor and Management Services												X	X	X	X	X		X		X	X	X				X	
Fish Hatcheries and Preserves																X			X	X	X						
Grain, Fruit, Field Crop and Vegetable Cultivation and Storage	X	X	X	X	X	X	X	X	X	X	X								X	X	X					X	
Livestock, Horse, Dairy, Poultry, and Egg Products	S	S	S	S	S	S	S	S	S	S									X	X	X					X	
Timber Tracts, Forest Nursery, Gathering of Forest Products	S	S	S	S	S	S	S	S	S	S	S								X	X	X						
COMMERCIAL																											
Adult Cabaret																				X ⁹							
Adult Entertainment Center																				X ⁹							
Adult Motel																				X ⁹							
Adults-Only Bookstore																				X ⁹							
Adults-Only Motion Picture Theater																				X ⁹							
Amusements, Commercial Indoor															X	X	X	X	X	X	X					S	

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9

USES PERMITTED ³	ZONING DISTRICTS																										
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R ²	OG ²	CL ²	CF ^{2,14}	CH ²	MU ²	CBD ²	HI ²	GI ²	LI ²	CM-RS-8 ²	CM-R ²	CM ²	CU	P	
Amusements, Commercial Outdoor excluding Motorized																X	X		X	X	X					S	S
Amusements, Commercial Outdoor Motorized except Carnivals																				S	S	S					
Animal Grooming Facility															X	X	X			X	X	X					
Antique Mall															X	X	X	X	X	X	X	X					
Antique Shop <3,000 sq. ft.												X	X	X	X	X	X	X	X	X	X	X		X			
Apothecaries (pharmaceuticals only)												X	X	X	X	X	X	X	X	X	X	X	X	X	X		
Art or Photo Studio or Gallery												X	X	X	X	X	X	X	X	X	X	X		X		X	
Automotive Repair ¹²															X	X	X	X	X	X	X	X					
Bakery, Retail														X	X	X	X	X	X	X	X	X					
Bank, Branch Office												X	X	X	X	X	X	X	X	X	X	X					
Bank, Drive-Up Electronic Teller												X	X	X	X	X	X	X	X	X	X	X					
Bank, Main Office																X	X	X	X	X	X	X					
Barber or Beauty Shop												X	X	X	X	X	X	X	X	X	X	X		X			
Beer, Packaged														X	X	X		X	X	X	X	X					
Boat Rental, Sales, or Repair																X			X	X	X						
Book or Card Shop												X	X	X	X	X	X	X	X	X	X	X		X			
Business School												X	X	X	X	X	X	X	X	X	X	X					
Business and Communication Service												X	X	X	X	X	X	X	X	X	X	X					
Campground, Travel-Trailer Park																X			X	X	X						
Carnivals																S			S	S	S						S
Catering Establishment												X	X	X	X	X	X	X	X	X	X	X		X			
Clothing Store														X	X	X	X	X	X	X	X	X					
Coffee, Food, or Beverage Kiosk														X	X	X	X		X	X	X						
Commercial Center														X	X	X	X		X	X	X						
Convenience Sales and Service, maximum 5,000 sq. ft. floor area														X	X	X	X	X	X	X	X						
Crematory																			S	S	S						
Delicatessen														X	X	X	X	X	X	X	X						

X = Use permitted by right.

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UPDATED: JULY 18, 2019

APP A:276

CHART 1

USES PERMITTED ³	ZONING DISTRICTS																										
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R ²	OG ²	CL ²	CF ^{2,14}	CH ²	MU ²	CBD ²	HI ²	GI ²	LI ²	CM-RS-8 ²	CM-R ²	CM ²	CU	P	
Department or Discount Store															X	X	X	X	X	X	X						
Drive-In Theater																X	X	X	X	X	X	X					
Dry Cleaning														X	X	X	X	X	X	X	X	X					
Dry Cleaning Pick-Up Station														X	X	X	X	X	X	X	X	X					
Financial Service												X	X	X	X	X	X	X	X	X	X	X					
Fireworks Public Display																											X
Fireworks Retailer																S				S	S	S					
Fireworks Seasonal Retailer														S		S				S	S	S					
Flower or Plant Store												X	X	X	X	X	X	X	X	X	X	X		X			
Funeral Home														S		X	X		X	X	X	X					
Garage, Parking																X	X	X	X	X	X	X					
Garden and Lawn Supplies															S	X	X	X	X	X	X	X					
Gas--Liquified Petroleum, Bottled and Bulk																X	X	X	X	X	X	X					
Gas Station														X	X	X	X	X	X	X	X	X					
General Service and Repair Shop																X	X	X	X	X	X	X					
Glass--Auto, Plate, and Window																X	X		X	X	X						
Glass--Stained and Leaded														X	X	X	X	X	X	X	X	X					
Greenhouse or Nursery																X	X		X	X	X	X					
Group Assembly, <250 persons												S	S		X	X	X	X	X	X	X	X	S	S	S		
Group Assembly, >250 persons												S	S		S	S	X	S	S	S	S	S	S	S	S		
Health Club												X	X	X	X	X	X	X	X	X	X	X		X			
Ice Retail																X	X	X	X	X	X	X					
Interior Decorator												X	X	X	X	X	X	X	X	X	X	X		X			
Iron Work																X			X	X	X	X					
Janitorial Service															X	X	X	X	X	X	X	X					
Karate, Instruction															X	X	X	X	X	X	X	X					
Kennels																X			X	X	X	X					
Keys, Locksmith															X	X	X	X	X	X	X	X					
Laboratories, Medical												X	X		X	X	X		X	X	X	X	X	X	X		
Laboratories, Testing															X	X	X		X	X	X	X					
Laundries, Self-Service														X	X	X			X	X	X	X					
Lawn, Tree, and Garden Service																X			X	X	X	X					
Liquor Store															X	X	X	X	X	X	X	X					
Livestock, Auction																			X	X	X	X					
Lumber, Building Material																X			X	X	X	X					
Manufactured Home Sales																			X	X	X	X					
Massage Parlor																			X ⁹								

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USES PERMITTED ³	ZONING DISTRICTS																										
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R ²	OG ²	CL ²	CF ^{2,14}	CH ²	MU ²	CBD ²	HI ²	GI ²	LI ²	CM-RS-8 ²	CM-R ²	CM ²	CU	P	
Motor Vehicle Sales (Automobiles)																S	S		X ³	X ³	X ³						
Motor Vehicle Sales (Other Than Automobiles)																S	S		X	X	X						
Motor Vehicle Service ¹²																X	X		X	X	X						
Movie Theater															X	X	X	X	X	X	X						
Music or Dancing Academy															X	X	X	X	X	X	X						
Offices												X	X	X	X	X	X	X	X	X	X	X ⁵	X ⁵	X ⁵			
Optical Dispensaries												X	X		X	X	X	X	X	X	X	X	X	X			
Pawn Shop																X		X	X	X	X						
Personal Service Establishment														X	X	X	X	X	X	X	X						
Pet Crematory																			S	S	S						
Pet Funeral Home															X	X			X	X	X						
Pet Shops															X	X	X	X	X	X	X						
Pharmacies												X	X	X	X	X	X	X	X	X	X	X	X	X			
Photo Finishing														X	X	X	X	X	X	X	X						
Photo Finishing Pick-Up Station														X	X	X	X		X	X	X						
Radio, TV, or Recording Studio																X	X	X	X	X	X						
Radio and Television Transmission Towers															S	S		S	S	S						S	
Rap Parlor																			X ^B								
Reducing and Weight Control Service												X	X	X	X	X	X	X	X	X	X	X	X	X			
Restaurant and Carry-Out Restaurant														X	X	X	X	X	X	X	X						
Restaurant, Drive-In																X			X	X	X						
Restaurant, Specialty														X	X	X	X	X	X	X	X						
Restaurant, Specialty -Limited												S	S	X	X	X	X	X	X	X	X	S	S	S			
Retail Shop, other than enumerated elsewhere														X	X	X	X	X	X	X	X						
Salvage and Surplus Merchandise																X			X	X	X						
Sauna																			X ^B								
Sheet Metal Shop																X			X	X	X						
Shopping Center, Community																X	X		X	X	X						
Shopping Center, Neighborhood															X	X	X		X	X	X						
Shopping Center, Regional																X	X		X	X	X						
Specialty Shop												X	X	X	X	X	X	X	X	X	X			X			
Tavern																X		X	X	X	X						
Taxidermy Studio																S			S	S	S						
Towing ¹²																X			X	X	X						

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USES PERMITTED ³	ZONING DISTRICTS																									
	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	RMO	OG R ²	OG ²	CL ²	CF ^{2,14}	CH ²	MU ²	CBD ²	H ²	GI ²	LI ²	CM-RS-8 ²	CM-R ²	CM ²	CU	P
Veterinary Office												X	X	X	X	X	X		X	X	X			X		
Veterinary Clinic															X	X	X		X	X	X					
Veterinary Hospital																X	X		X	X	X					
Vehicle Sales (Non-Motorized)																X	X		X	X	X					
Vehicle Wash														X		X	X		X	X	X					
Video Rental														X	X	X	X	X	X	X	X					
Wholesaling																X		X	X	X	X					
Wireless Telecommunications Towers, Antennas ¹⁷	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S
Wrecker Service, Wrecker Storage Yard ¹²																X			X	X	X					
INDUSTRIAL																										
Manufacture, Storage, Distribution of:																										
Abrasive Products																			X	X						
Alcoholic Beverage Manufacture																			X ²⁰	X ²⁰						
Asbestos Products																			S							
Automobile Dismantlers and Recyclers ⁷																			S ⁷							
Automobile Manufacture																			X	X						
Automobile Parts and Components Manufacture																			X	X						
Automobile Seats Manufacture																			X	X						
Bakery Goods, Candy																			X	X	X					
Boat Manufacture																			X	X						
Bottling Works																			X	X	X					
Brewery																			X	X						
Canned Goods																			X	X						
Chemicals																			X							
Composting Facility																			S							S
Contractor's Storage, Indoor																X		X	X	X	X					
Contractor's Yard or Storage, Outdoor																X		X	X	X	X					
Cosmetics																			X	X	X					
Custom Wood Products																		X	X	X	X					
Electrical or Electronic Equipment, Appliances, and Instruments																			X	X	X					
Fabricated Metal Products and Machinery																			X	X	X					
Fertilizer																			X							
Food and Beverage Products except animal slaughter, stockyards, rendering, and brewery																			X	X	X					

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Furniture and Fixtures																			X	X							
Jewelry																				X	X	X					
Leather and Leather Products except tanning and finishing																			X	X	X						
Leather and Leather Products, Tanning and Finishing																			X								
Lumber and Wood Products																			X	X							
Mobile Home Construction																			X								
Musical Instruments																			X	X	X						
Office/Art Supplies																			X	X	X						
Paints																			X	X							
Paper Mills																			S								
Paper Products excluding paper and pulp mills																			X	X							
Petroleum, Liquefied Petroleum Gas and Coal Products except refining																			S								
Petroleum and Coal Products Refining																			S								
Pharmaceuticals																			X	X	X						
Photographic Film Manufacture																			X	X							
Pottery, Figurines, and Ceramic Products																			X	X	X						
Primary Metal Distribution and Storage																			X	X							
Primary Metal Manufacturing																			X	X							
Printing and Publishing																X	X	X	X	X	X						
Rubber and Plastic Products except rubber or plastic manufacture																			X	X							
Rubber and Plastic Products, Rubber and Plastic Manufacture																			X	X							
Saw Mills																			X								
Scrap Processing Yard																			S								
Scrap Metal Processors																			S								
Scrap Metal Distribution and Storage																			S								
Secondary Material Dealers																			S								
Silverware and Cutlery																			X	X	X						
Small Moulded Metal Products																			X	X							
Sporting Goods																			X	X	X						
Stone, Clay, Glass, and Concrete Products																			X	X							
Textile, Apparel Products, Cotton--Factoring, Grading																			X	X	X						
Textile, Apparel Products, Cotton Gin																			X	X							

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	RS 15	RS 12	RS 10	RS 8	RS 6	RS 4	RD	RM 12	RM 16	RS-A	R MO	OG R ²	OG ²	CL ²	CF ^{2,14}	CH ²	MU ²	CBD ²	HI ²	GI ²	LI ²	CM-RS-8 ²	CM-R ²	CM ²	CU	P	
Tire Manufacture																			X	X							
Tobacco Products																				X	X						
Toiletries																				X	X	X					
Transportation Equipment																				X	X	X					
Warehousing, Transporting/Distributing ¹⁸																				X	X	X					
TRANSPORTATION AND PUBLIC UTILITIES																											
Bus Terminal or Service Facility																	X			X	X	X					
Garbage or Refuse Collection Service																				X	X						
Refuse Processing, Treatment, and Storage																					S						
Gas, Electric, Water, Sewerage Production and/or Treatment Facility																				X	X	S					
Landfill ¹⁹																				S							
Post Office or Postal Facility														X	X	X	X	X	X	X	X	X					
Telephone or Communication Services															X	X	X	X	X	X	X	X					
Electric Transmission, Gas Piping, Water Pumping Station	S	S	S	S	S	S	S	S	S	S	S	S	S	X	X	X	X	X	X	X	X	X					
Taxicab Dispatch Station																X				X	X	X					
Freight Terminal, Service Facility																X				X	X	X					
OTHER																											
Advertising Sign																X				X	X	X					
Home Occupations	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	S ¹¹	X			X					S ¹¹	S ¹¹	S ¹¹			
Junkyard																				S							
Recycling center																S				X	X	X					
Self-Service Storage Facility ¹⁶														S	S	X	S			X	X	X					
Wholesale Establishments																X		X		X	X	X					
Temporary Mobile Recycling Center															S	S				S	S	S				S	

X = Use permitted by right.
S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.



**MEMORANDUM
CITY OF MURFREESBORO
LEGAL DEPARTMENT**

TO: Chair Jones and Members of the Planning Commission
FROM: David A. Ives *dai*
DATE: July 6, 2020
RE: Revision to Amendment of McKnight Park Master Plan

In May 2014, following months of planning, study, and public hearings before the Planning Commission and City Council, the McKnight Park Master Plan was amended, in part, to declare 4.2 ac. (+/-) of land at the Southwest corner of the Park to be surplus and available for sale. A copy of the illustration showing the Amendments to the Master Plan, including the land declared to be surplus is attached as **Exhibit A**.

Since May 2014 a number of events relative to this surplus land have occurred, including:

- Construction of commercial facilities between the surplus property and Memorial Boulevard, including an Arby's and a Chick-fil-A;
- Construction, by the developer of those facilities, of a park access road along a portion of the Western side of the surplus property;
- Construction of a hangar and related office space for TDK Aviation at the Northern end of the Airport hangar complex and adjacent to McKnight Park; and, most recently,
- Construction of a new Maintenance Facility on a portion of the parking lot to the North of the surplus property, in a slightly different configuration than shown in the Amended Master Plan.

For all of these reasons, staff believes that the surplus property should be re-configured as shown on Exhibit B. This configuration moves the park access road from the East side of the surplus property to the West side. It also slightly enlarges the surplus property as it does not appear that a substantial "gap" between the new Maintenance Facility and the surplus property would be useful for anyone. The surplus tract now encompasses 5.65 +/- acres.

In 2014 the plan was to sell this surplus property (along with a 60 ft. x 225 ft. strip between the Arby's and the Chick-fil-A) to a commercial developer and use the proceeds to acquire additional parkland, now identified as the approx. 73 acre Loyd Farm which joins the Southern boundary of the Barfield Wilderness Area. That is still the plan, and it is expected that the adjoining property owner will be interested in acquiring the 60 ft. x 225 ft. strip. The only change is that instead of selling the 5.65 +/- acre surplus property for commercial development, the plan now is to "transfer" that property for its appraised value to the Airport for future expansion.

Since this revision constitutes a further amendment to a Master Plan, a 30-day notice is required for the Planning Commission public hearing. Accordingly, staff requests that Planning Commission set this matter for public hearing on September 2, 2020.

I will be happy to answer any questions.



PARKING SUMMARY

- 2-FIELD COMPLEX
 - 40 ADDITIONAL PARKING
- 4-FIELD COMPLEX
 - 186 RECONFIGURED PARKING
 - 156 OVERFLOW PARKING
 - 41 RESERVED PARKING
- SMALL GROUP PAVILION COMPLEX

- SMALL GROUP PAVILION AREA
 - 36 SMALL GROUP PAVILION PARKING
- MAINTENANCE FACILITY
 - 5 STAFF PARKING
- SITE TOTALS
 - 186 RECONFIGURED PARKING
 - 588 NEW PARKING

WALKWAY SUMMARY

- 0.43 MI - PERIMETER WALKWAY
- 0.38 MI - 4-FIELD COMPLEX WALKWAY
- 0.35 MI - PAVILION COMPLEX & OPEN ACTIVITY AREA WALKWAY
- 0.21 MI - OPEN ACTIVITY AREA WALKWAY

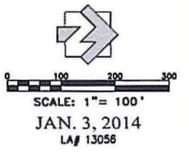
OVERFLOW GRASS PARKING AREA, PRIMARILY LOCATED ON AIRPORT PROPERTY

Site A

McKNIGHT PARK

PRELIMINARY REDEVELOPMENT MASTER PLAN

MURFREESBORO, TENNESSEE



Ex B

CITY OF MURFREESBORO
MAP 80, PARCEL 36.
D.B. 199, PG. 195

CITY OF MURFREESBORO
MAP 69, PART OF
PARCEL 72.00
D.B. 199, PG. 195
245,977 SQ.FT.
5.647 ACRES

N77°25'40"W
40.00'

N2°34'20"E 958.37'

N2°34'20"E 236.27'

S77°38'19"E 284.30'

24'

N2°17'21"E 747.65'

50'

50'

2202

2126

2122

2116

2110

CITY OF
MURFREESBORO MAP
80, PARCEL 36.00 D.B.
199, PG. 195

2104 STE A

2104 STE B

2104 STE C

LT. PATRICK McBRIDE DR

EXHIBIT MAP

**CITY OF MURFREESBORO SURPLUS
PROPERTY
PART OF MAP 69, PARCEL 72.00**

DEED BOOK 199, PAGE 195

CITY OF MURFREESBORO - 13TH CIVIL DISTRICT
RUTHERFORD COUNTY, TENNESSEE

DATE 06-29-2020 SCALE 1" = 50'

MEMORIAL BOULEVARD
(100' WIDE R/W)

SEC, Inc.

SITE ENGINEERING CONSULTANTS

ENGINEERING · SURVEYING · LAND PLANNING

850 MIDDLE TENNESSEE BLVD · MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 · FAX: (615) 895-2567

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
SEPTEMBER 2, 2020
PROJECT PLANNER: MARINA RUSH**

4.h. Mandatory Referral/ROW Abandonment [2020-713] to consider the abandonment of a portion of Esther Lane Right-of-Way, Mid-South Property Acquisitions, LLC and the City of Murfreesboro Planning Department applicants.

In this mandatory referral, the Planning Commission is being asked to consider approving the abandonment of a portion of Esther Lane right-of-way (ROW) as depicted on the attached maps. The ROW area to be abandoned includes a portion along the south side of Esther Lane, approximately 691 linear feet long by 10 feet in width, and along the north side of Esther Lane, also approximately 691 linear feet long by 10 feet width.

The purpose of the request is to reduce the current 80-foot width of this segment of Esther Lane ROW to a width of 60 feet instead, consistent with the remainder of Esther Lane to the west. There is 10 feet of ROW on each side of this segment of Esther Lane proposed to be abandoned, leaving 30 feet of ROW from the centerline of the street in both directions.

This report includes an attached map depicting the location of the portion of Esther Lane ROW to be abandoned. The blue line represents the ROW to be abandoned along the Mid-South Property Acquisitions, LLC property frontage and the red lines represent the ROW to be abandoned along the frontage of the adjacent properties, as included as additional study area by the City. A site plan for the Mid-South Property Acquisitions, LLC property is included in the staff report attachments depicting the details for that property, including a proposed addition that is dependent on the ROW abandonment in order to comply with minimum building setback requirements.

Staff obtained comments from other City departments and utility providers regarding the impact of the proposed abandonment. No existing utilities are required to be relocated in conjunction with this ROW abandonment. However, a 10' public utility easement must be retained over the entire ROW abandonment area in order to accommodate the existing utilities. The responses from the City Departments and utility providers are included in the attached memorandum from Planning staff. Based on the responses received, staff recommends the following conditions of approval:

Recommended Conditions of Approval

1. A 10' public utility easement shall be retained over the entire study area.
2. Subdivision plat(s) shall be submitted for review and approval and then recorded in order to incorporate the abandoned ROW into the adjacent lot(s).
3. The property owner(s) for each parcel shall be responsible for preparing and submitting the legal descriptions and exhibits necessary for the City Legal Department to draft the necessary legal instruments.
4. The quitclaim deed(s) transferring the subject ROW and recording the required easement(s) shall be executed and recorded prior to the recording of the final plat(s).
5. All recording fees shall be paid by the applicant.

Action Needed

The Planning Commission will need to conduct a public hearing on this request and then formulate a recommendation to the City Council.

Memorandum

To: Greg McKnight, Planning Director
From: Marina Rush, Principal Planner
Date: September 2, 2020
Re: Esther Lane Right-of-Way (ROW) abandonment (portion)

Following is a summary of the City department staff and utility provider comments regarding the requested abandonment of a portion of approximately 692 linear feet of ROW abandonment of Esther Lane:

Engineering Department

The request to abandon ROW should be subject to submission and recording of a deed (or deeds) transferring the abandoned ROW. The deed should reserve a 10' public utility easement along both sides of Esther Lane. In order to facilitate the abandonment process, the applicant should provide a legal description and exhibits necessary for the City to draft the legal documents as well as any recording fees. In addition, the ROW abandonment should be subject to the final approval of the legal documents by the City Attorney.

Fire and Rescue Department

The ROW abandonment will not affect the Murfreesboro Fire and Rescue Department.

Police Department

The ROW abandonment will not affect the Murfreesboro Police Department.

Solid Waste Department

The ROW abandonment will not affect the Murfreesboro Solid Waste Department.

Murfreesboro Water Resources Department (MWRD)

The Department has no water and sewer infrastructure facilities along the south side of Esther Lane. It has an existing 16-inch water main within the ROW abandonment area along the north side of Esther Lane. The Department has an existing 8-inch sewer main within the ROW abandonment area along the north side of Esther Lane. Therefore, the Department requests an easement to be retained for the full width and length of the abandonment request.

Consolidated Utility District (CUD)

The ROW abandonment will not affect CUD.

Middle Tennessee Electric Membership Corporation (MTEMC)

MTEMC has overhead electric facilities in the Esther Lane ROW, primarily along the north side, and an electric pole on the south side that serves AT&T facilities. The ROW abandonment will require new utility easements to be recorded on the affected properties.

AT&T

AT&T has existing lines on both sides of Esther Lane. On the north side are aerial cables and on the south side are multiple cabinets at 1350 Rutledge Way. The ROW abandonment will require new utility easements to be recorded on the affected properties.

Atmos Energy

Atmos Energy is requesting an easement from the property owner(s) for their facilities in the abandonment area. Atmos is also asking for a minimum of three feet of separation from their facilities for any future utilities or signage.

Comcast

Comcast has aerial facilities within the Esther Lane ROW along the north side only. The ROW abandonment will require new utility easement along the north side affected properties for the existing Comcast facilities.

July 14, 2020

Mr. Matthew Blomeley
Murfreesboro Planning & Engineering Dept
111 W. Vine St
Murfreesboro, Tennessee 37130

RE: Mid-South Machine Expansion
Esther Lane Right-of-Way Abandonment Request
Murfreesboro, Tennessee

Dear Mr. Blomeley:

Please accept this as our formal request for the City of Murfreesboro to abandon a portion of Right-of-Way for Esther Lane that is shown to the west of Rutledge Way. Furthermore, the attached exhibit highlights this area.

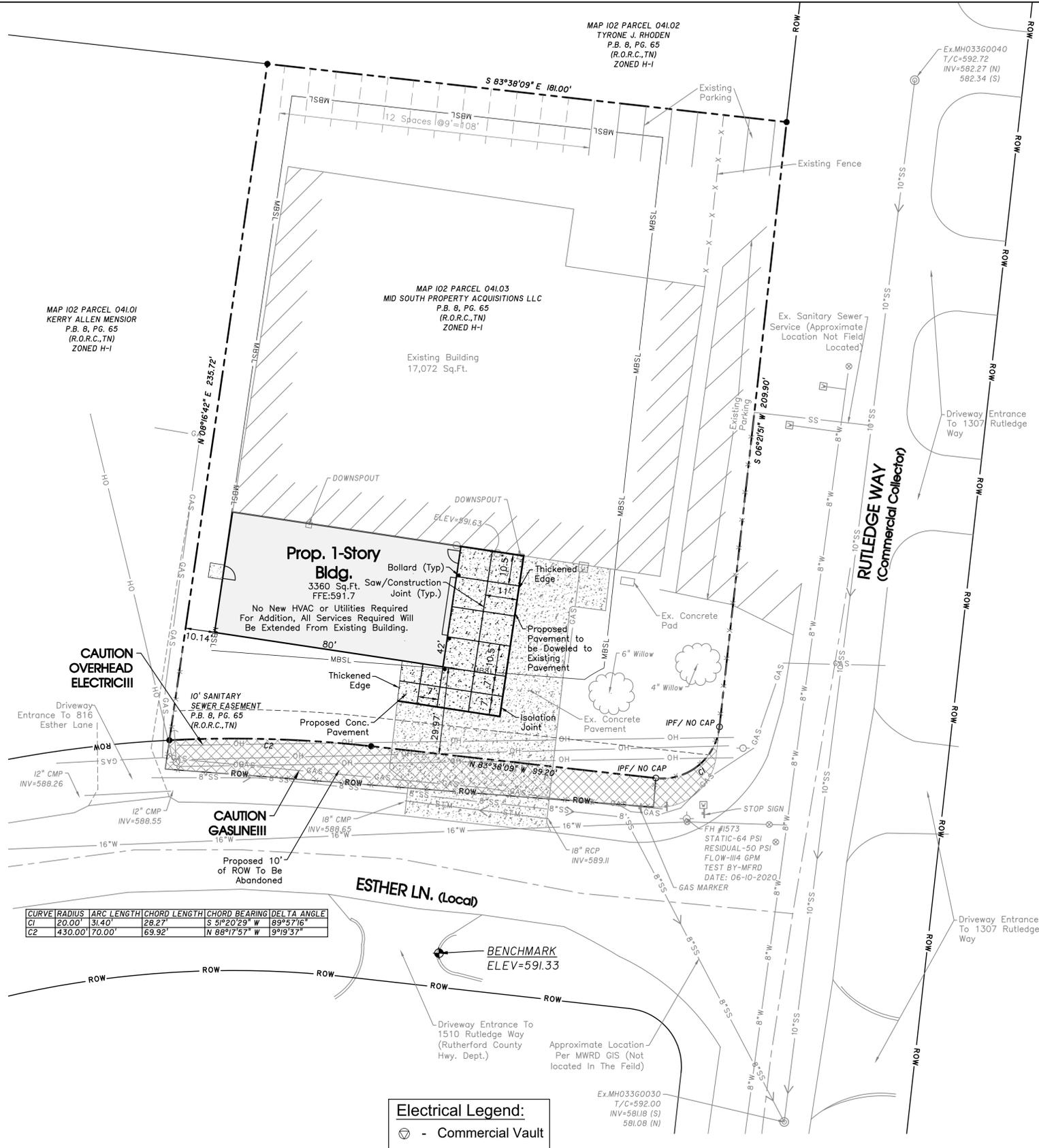
This segment of right-of-way along Esther Lane appears to be excess and not needed.

If you should have any questions concerning this letter, please feel free to call me at (615) 890-7901 or via email at mtaylor@sec-civil.com

Sincerely,



Matt Taylor, P.E.
Vice-President
SEC, Inc



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	20.00'	31.40'	26.27'	S 5°20'29" W	89°57'16"
C2	430.00'	170.00'	69.92'	N 68°17'57" W	9°19'37"

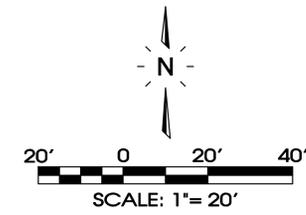
Electrical Legend:

	- Commercial Vault
	- Transformer

The proposed electrical, gas, water and telecommunications information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information.

Note:
 1) No New Solid Waste Service Required.
 2) No New Lighting Proposed With Addition.

Note:
 Planning Department Approval Of This Site Plan, May Or May Not Adequately Reflect The Latest Requirements And/Or Plans Approved By Murfreesboro Water Resources Department (MWRD). This Also Applies To Site Plans That Are Included In The Building Permit Set. Contractor Must Verify With MWRD That They Are Using Approved Utility Plans.



Legend:

	EXIST. CONCRETE MONUMENT		BENCHMARK
	IRON PIN SET (I.P.S.)		HANDICAP PARKING SYMBOL
	IRON PIN FOUND (I.P.F.)		VAN ACCESSIBLE HANDICAP DESIGNATION
	EXIST. SIGN POST		HC SIGN
	EXIST. SEWER CLEANOUT		PROPOSED SIGN POST
	EXIST. MANHOLE (SEWER & PHONE)		CONCRETE BOLLARD
	EXIST. CATCH BASIN (STORM SEWER)		WHEEL STOP
	EXIST. WATER/GAS VALVE		CONCRETE SIDEWALK
	EXIST. TELEPHONE RISER		EXTRUDED CURB
	EXIST. GAS RISER		CURB & GUTTER
	ELECTRICAL ENCLOSURE		TRAFFIC ARROW
	EXIST. WATER METER		TURN LANE ARROWS
	EXIST. UTILITY POLE		REVISION NUMBER
	EXIST. FIRE HYDRANT		DRAINAGE STRUCTURE DESIGNATION
	POST INDICATOR VALVE		DRAINAGE PIPE DESIGNATION
	BLOW OFF VALVE		RIP RAP
	REDUCER		RUNOFF FLOW ARROW
	REMOTE FIRE DEPT. CONNECTION		INLET FILTER PROTECTION
	CONCRETE THRUST BLOCK		PROPOSED SPOT ELEVATION
	DOUBLE DETECTOR CHECK VALVE		EXIST. SPOT ELEVATION
	FIRE DEPT. CONNECTION		SEWER/STORM FLOW DIRECTION
	FIRE HYDRANT		CATCH BASIN
	GATE VALVE & BOX		CURB INLET
	WATER METER		AREA DRAIN
	GAS METER		HEADWALL
	GREASE TRAP		WINGED HEADWALL
	EXTERIOR CLEANOUT		CONCRETE SWALE
	MANHOLE		TYPE- X- HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	~ ~ ~
EXISTING FENCELINE	- X - X - X - X -
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	---601---
PROPOSED CONTOUR LINES	---601---
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W

Owner/Developer:
 Mid South Property Acquisitions, LLC
 1310 Rutledge Way
 Murfreesboro, TN 37129
 Contact: Rickey Butler

Dead Reference:
 Plat Book 8 Page 65, Lot 1
 Tax Map 102 Parcel 41.03
 R.Bk. 1798 Pg. 3319

Yard Requirements:
 Front: 42'
 Side: 10'
 Rear: 20'

Intended Use:
 Warehouse

Land Use Data:
 Zoned: H-1
 1-Story Building
 Building Ht.: 20'-11"
 Existing: 17,072 Sq.Ft.
 Proposed: 3,360 Sq.Ft.
 Total Floor Area: 20,432 Sq.Ft.
 1 Lot on: 0.98± Acres

Parking Requirements:
 1.5 Spaces x 10 Employees + (1 Space x 5 business Vehicles) = 13 Spaces Required
 Existing Provided = 16 Total Spaces Provided

Flood Map No.:
 This site lies within Zone X, outside the 100 Year Floodplain, per Community Panel 47146C020H dated January 5, 2007.

Owner/Developer:
 Mid South Property Acquisitions, LLC
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 880-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 885-2567
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

SEC, Inc.
 SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE

REVISIONS:

DATE:	6-11-20
CHECKED:	MAT
FILE NAME:	20116project
SCALE:	1"=20'
JOB NO.:	20116
SHEET:	C2.0

MidSouth Machine Building Addition
 Murfreesboro, Tennessee

Site & Utility Plan

REVIEW SET
 (Not intended for construction)



**MEMORANDUM
CITY OF MURFREESBORO
LEGAL DEPARTMENT**

TO: Chairman Jones and Members of the Planning Commission
CY: Craig Tindall, Adam Tucker
FROM: David A. Ives *dai*
DATE: August 27, 2020
RE: Disposition of Evergreen Cemetery

MANDATORY REFERRAL

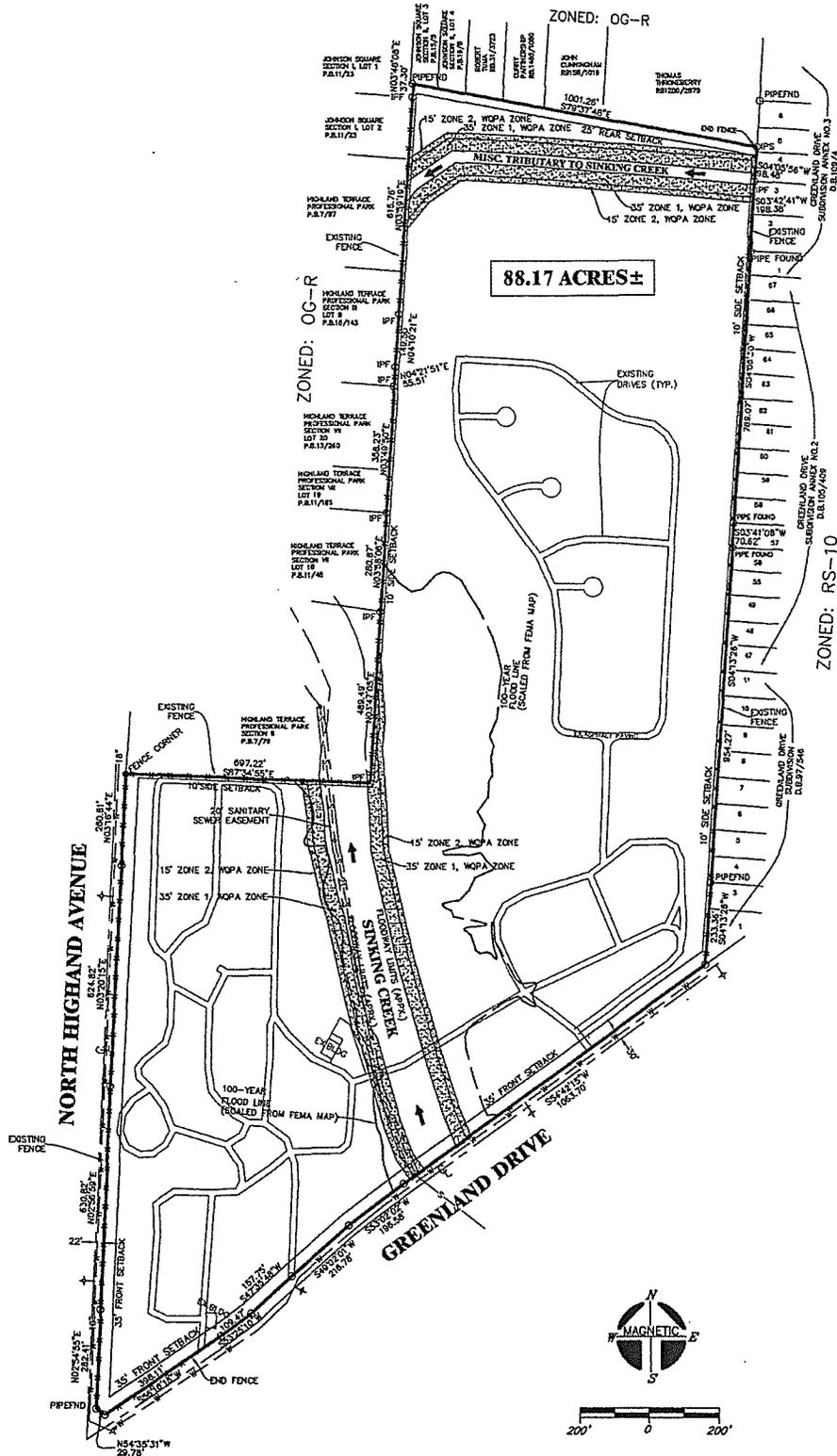
In 1949 the City created the Evergreen Cemetery Commission and deeded the Evergreen Cemetery property to that Commission. Ownership and operation of Evergreen Cemetery has been problematic since that time. Questions have arisen as to whether the powers granted to the Commission and the transfer of property to it were proper and valid under state law.

An independent management review in 2017 recommended that the City either transfer Evergreen Cemetery to a private entity or contract with a private entity to operate the cemetery.

"Evergreen Cemetery Inc. d/b/a Evergreen Cemetery" was recently incorporated as a Tennessee non-profit corporation and is prepared to assume ownership and operation of Evergreen Cemetery completely independent of the City. Staff requests that the Planning Commission consider and recommend approval of its recommendation that the City quitclaim its interest in the Evergreen Cemetery to this non-profit corporation.

A copy of a survey of the Evergreen Cemetery property is attached.

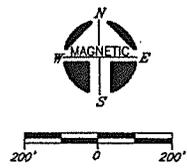
I will be happy to try to answer any questions.



88.17 ACRES±

AREA IS DESIGNATED AS A WATER AREA. THERE SHALL BE NO CONSTRUCTION OR DISTURBANCE OF VEGETATION, EXCEPT AS AUTHORIZED BY THE DIRECTOR OF RESOURCES DEPARTMENT OR DISTURBANCE OF THE WATER AREA, INCLUDING PLACEMENT OF HERBICIDES OR OTHER TREATMENTS. IN ZONE 2 ONLY, PROPERTY TO HAVE MANAGED VEGETATION, INCLUDING MOWING, NO-TILL PLANTING, ETC. CITY CODE, CHAPTER 27.2.

ZONING: RS-10
 FRONT SETBACK: 35'
 SIDE SETBACK: 10'
 REAR SETBACK: 25'



LEGEND FOR MONUMENTS
 PS O IRON PIN SET
 PF O IRON PIN FIND
 R O RAILROAD SPIKE
 F FENCE
 S SURVEY POINT
 N NAIL
 CM CONC. MARKER FIND.

OWNER: EVERGREEN CEMETERY
 ADDRESS: 519 GREENLAND DRIVE
 MURFREESBORO, TN 37130
 TAX MAP: 90K, "A", PARCEL: 32
 FLOOD MAP PANEL: 470188 0260 H ZONE: A
 FLOOD MAP DATED: JANUARY 3, 2007
 NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN ON OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 5, 2020

CITY HALL

6:00 P.M.

MEMBERS PRESENT

Ken Halliburton, Vice-Chair
Jennifer Garland
Ronnie Martin
Warren Russell
Chase Salas
Eddie Smotherman

STAFF PRESENT

Matthew Blomeley, Assistant Planning Director
Teresa Stevens, Sign Administrator
Carolyn Jaco, Recording Assistant
David Ives, Deputy City Attorney
Roman Hankins, Assistant City Attorney
Robert Holtz, Building & Codes Director

Vice-Chairman Ken Halliburton called the meeting to order after determining there was a quorum. Mr. Warren Russell made a motion to approve the minutes of the July 8, 2020 and July 15, 2020, Planning Commission meetings, seconded by Mr. Eddie Smotherman. The motion carried by unanimous vote in favor.

Public Hearings

Street renaming [2020-901] to rename an approximately 700'-long segment of East Overall Creek Road to Constantine Drive, City of Murfreesboro Planning Department applicant.

Mr. Matthew Blomeley summarized the street renaming proposal from the staff report which had been provided to the Planning Commission in the agenda packet. Staff feels this request to rename this portion of roadway would help eliminate confusion at the current intersection of East Overall Creek Road and Constantine Drive and would be in the public interest. Notices had been mailed to the adjacent residents and Staff is not aware of any opposition to this street renaming.

Vice-Chairman Ken Halliburton opened the public hearing.

Mr. Kevin Atwood, representing Alcorn Properties – said his company owns the one house and property which fronts this segment of roadway. They support the renaming of this portion of East Overall Creek Road.

Vice-Chairman Ken Halliburton closed the public hearing.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 5, 2020

Mr. Eddie Smotherman made a motion to approve, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.

Sign Ordinance Amendment [2020-802] to amend Murfreesboro City Code, Chapter 25.2 Signs, Section 25.2-2, 25.2-4, 25.2-23, 25.2-24, 25.2-25, and Section 25.2-26, for the purposes of: (1) adding a definition of “External Customer Transaction Portal” and allow certain, limited electronic changeable signs at external locations such as ATMs, drive-up windows, and gasoline pumps; (2) decreasing the time a temporary sign can be claimed and increasing the fee of temporary signs picked up in the ROW; (3) prohibiting certain materials from use in signage; (4) reducing the maximum allowable size of temporary signs; and (5) allowing murals on more than two sides of a building, City of Murfreesboro Building and Codes Department applicant.

Ms. Teresa Stevens summarized the staff report which had been provided to the Planning Commission in the agenda packet. She made known a stakeholders meeting had been conducted on June 2, at 5:00 p.m. at City Hall. Some changes were made after the stakeholders meeting based on the input. Continuing, Ms. Stevens began a PowerPoint presentation to explain the proposed changes to the Sign Ordinance.

The Planning Commission began discussing the proposed amendments. Mr. Eddie Smotherman commented on digital signs that are being displayed at local fueling stations. He recommended for these types of signs to be reviewed further to address the display lighting on the screen during the day and at night. He would like the digital display screen lighting to be consistent throughout the City.

Mr. Ronnie Martin asked if the proposed amendments would apply to the current campaign signs. Ms. Teresa Stevens answered that it would not affect the current campaign signs. Vice-Chairman Ken Halliburton asked about limits for temporary signs for tenants at a commercial development. Ms. Stevens explained temporary signs were addressed by parcel. She explained that three temporary signs were permitted by parcel. Vice-Chairman Ken Halliburton wanted to know, if these proposed amendments were approved, how would it affect tires that are being used as

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 5, 2020

temporary signs? Ms. Stevens explained that temporary signs would not be permitted to be “grandfathered-in”. Mr. David Ives stated this amendment would allow the City to regulate temporary tire signs.

Ms. Jennifer Garland asked if area sign companies and businesses would be notified about the proposed amendments. Ms. Stevens stated they would make every effort to provide the information to area businesses and provide this information on the city’s website. In addition, it was discussed during the stakeholders meeting. Mr. Robert Holtz stated that, if the proposed amendments were approved by the Planning Commission and City Council, the changes would go into effect after 6 months. During that 6 months, they would be contacting sign companies, developers, and businesses to advise them of existing violations.

Vice-Chairman Ken Halliburton opened the public hearing. No one came forward to speak for or against the Sign Ordinance Amendment; therefore, Vice-Chairman Ken Halliburton closed the public hearing.

Mr. Ronnie Martin made a motion to approve as presented, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.

Staff Reports and Other Business

Mr. Eddie Smotherman recommended for staff to review electronic message boards further.

Vice-Chairman Ken Halliburton asked for an update regarding the updates to the Murfreesboro 2035 future land use map. Mr. Matthew Blomeley stated that City staff is working with consultants Ragan Smith by holding weekly meetings. At this time, he does not have an exact timeframe for completion; however, Staff will provide more information during the August 19, 2020 day meeting.

**MINUTES OF THE MURFREESBORO
PLANNING COMMISSION
AUGUST 5, 2020**

There being no further adjourned business the meeting adjourned at 6:30 p.m.

Chair

Secretary

GM: cj

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 19, 2020

1:00 P.M.

COUNCIL CHAMBERS

MEMBERS PRESENT

Kathy Jones, Chair
Ken Halliburton, Vice-Chair
Jennifer Garland
Ronnie Martin
Chase Salas
Warren Russell

STAFF PRESENT

Matthew Blomeley, Assistant Planning Director
Margaret Ann Green, Principal Planner
Marina Rush, Principal Planner
Austin Cooper, Planner
Carolyn Jaco, Recording Assistant
David Ives, Deputy City Attorney
Roman Hankins, Assistant City Attorney
Katie Noel, Project Engineer
Valerie Smith, Asst. Director Water Resources
Sam Huddleston, Exec. Dir. Of Dev. Services

Chair Kathy Jones called the meeting to order after determining there was a quorum.

Consent Agenda

Mr. Ronnie Martin requested for item “f” for Valley Farms, Section 1 [2020-2057] final plat to be removed from the consent agenda. He asked for this item to be placed under “Staff Reports and Other Business” for further discussion.

Chair Kathy Jones read the following items to be considered for approval.

East Vine Villas [2020-2054] final plat for 1 lot and horizontal property regime plat for 6 units on 0.71 acres zoned PRD located along East Vine Street, BNA Homes, LLC developer.

Generals Landing Townhomes, Section 2, Phase 2B [2020-2056] final plat for 2 lots and horizontal property regime plat for 77 units on 11.99 acres zoned PRD located along West Thompson Lane, Blue Sky Construction, Inc. developer.

The Meadows at Kimbro Woods, Section 6 [2020-1014] preliminary plat for 18 lots on 3.63 acres zoned PRD located along Saint Andrews Drive, KW53, LLC developer.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 19, 2020

Carlton Landing, Section 2 [2020-1018] preliminary plat for 38 lots on 11.29 acres zoned RS-10 located west of New Salem Highway, Cornerstone Development, LLC developer.

The Crossings of Three Rivers, Resubdivision of Lots 22 & 23 [2020-2055] final plat for 4 lots on 0.37 acres zoned PRD located along Hospitality Lane, Three Rivers, LLC developer.

Valley Farms, Section 1 [2020-2057] final plat for 36 lots on 10.87 acres zoned PUD (Rutherford County) and served as an outside the City sewer customer located along Dunbar Lane, Valley Farms Group, LLC developer. **THIS FINAL PLAT WAS REMOVED FROM THE CONSENT AGENDA TO DISCUSS FUTHER UNDER OTHER BUSINESS.**

Rivers Edge, Section 3, Phase 2 [2020-2058] final plat for 66 lots on 20.15 acres zoned RS-10 located along Blue Heron Drive and Murano Drive, Rivers Edge Investments, LLC developer.

Brookwood Pointe [2020-2065] final plat for 1 lot on 13.93 acres zoned PRD located along North Tennessee Boulevard, Ole South Properties developer.

Parkway Place, Section 2 [2020-2059] final plat for 5 lots on 20.88 acres zoned PID located along Richard Reeves Drive, Swanson Development, LP developer.

Salem Square Road Design [2020-3093] site plan for private streets on 22.19 acres zoned CH located at the southeast corner of Barfield Road and New Salem Highway, New Salem Land Development, Inc. developer.

Ms. Jennifer Garland made a motion to approve the consent agenda, except for item f. Valley Farms final plat, subject to all staff comments, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.

Gateway Design Overlay

Waterstone Lot 6 (Volunteer Behavioral Health) [2019-6009 & 2020-3088] initial/final design review for 190 ft2 generator enclosure on 2.3 acres zoned MU & GDO-3 located along Williams Drive, Volunteer Behavior Health Care System developer. Ms. Margaret Ann Green

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 19, 2020

summarized the site plan from the staff report which had been provided to the Planning Commission in the agenda packet. This plan has been reviewed and approved by the Design Review Committee for the small generator enclosure. Ms. Green recommended approval of both initial and final design.

Mr. Matt Taylor was in attendance to represent the application.

Vice-Chairman Ken Halliburton made a motion to approve both the initial design and final design review and site plan subject to all staff comments, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.

Plats and Plans

Haynes Family, Lots 3-5 [2020-1015] master plan amendment and preliminary plat for 3 lots on 4.5 acres zoned CH located along Memorial Boulevard, Track West Partners developer. Mr. Austin Cooper summarized the staff report which had been provided to the Planning Commission in the agenda packet. Mr. Cooper explained this master plan and preliminary plat includes full access onto Memorial Boulevard near the access point across the street with Brookhaven Place. In addition, there would be two access points at the rear of the property and south of the property. Mr. Cooper made known that a traffic signal was planned to be installed during the first week of September 2020 at the intersection of Eleanor Way and Memorial Boulevard.

Mr. Warren Russell made a motion to approve subject to all staff comments, seconded by Ms. Jennifer Garland. The motion carried by unanimous vote in favor.

New Business

Zoning application [2020-410] for approximately 0.4 acres located at 206 Dill Lane to be rezoned from RS-15 to RS-8, The Journey Home, Inc. applicant. Ms. Margaret Ann Green summarized the staff report which had been provided to the Planning Commission in the agenda

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 19, 2020

packet. The existing structures on this property would be removed to create two separate lots of record. The applicant is proposing to construct two single-family residences on these lots to provide services to allow the applicant to move forward with its mission.

Mr. Matt Taylor was in attendance to represent the application.

Ms. Jennifer Garland made a motion to schedule a public hearing on September 2, 2020, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.

Annexation plan of services and annexation petition [2020-503] for approximately 1 acre located along Clays Mill Drive and Sulphur Springs Road, Allison Magna and Elizabeth Helander applicants. Ms. Margaret Ann Green summarized the staff report which had been provided to the Planning Commission in the agenda packet. This annexation request has been taken to the Rutherford County Road Board and it provided its consent for the City to annex the 150 linear feet of Clays Mill Drive right-of-way. The proposal is to annex both sides of the road into the city limits so that it would be less confusing for City schools and City service delivery.

Mr. Ronnie Martin made a motion to schedule a public hearing on September 2, 2020, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.

Annexation plan of services and annexation petition [2020-502] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road, Overall Creek Partners and Somphone Ruangtip applicants. Mr. Chase Salas made known he would be abstaining from all discussion and vote regarding this annexation petition.

Ms. Marina Rush summarized the staff report which had been provided to the Planning Commission in the agenda packet. Ms. Rush made known this proposal is within the City of Murfreesboro's Urban Growth Boundary and is contiguous with the City limits along the south and eastern property lines.

Mr. Vijay Patel and Mr. Bill Huddleston were in attendance representing the application.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 19, 2020

Ms. Jennifer Garland made a motion to schedule a public hearing on September 2, 2020, seconded by Vice-Chairman Ken Halliburton. The motion carried by unanimous vote in favor with one abstention (Mr. Salas).

Zoning application [2020-411] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road to be zoned CH simultaneous with annexation, Overall Creek Partners applicant. Mr. Chase Salas made known he would be abstaining from all discussion and vote regarding the zoning application.

Ms. Marina Rush summarized the staff report which had been provided to the Planning Commission in the agenda packet. She stated the applicant's intent was to remove the two houses and to combine the two lots prior to development. Staff recommends that these actions take place prior to the second and final reading by City Council. This is to make certain the 2 lots do not remain as individual lots with the houses remaining.

Continuing, Ms. Rush made known the future land use map of the Murfreesboro 2035 Comprehensive Plan indicates that Auto-Urban Commercial is the most appropriate land use character for the project area. This would include strip commercial, commercial centers, auto-focused uses, restaurants, etc. and requires a significant amount of land area. Commercial Highway zoning is consistent with the recommendations of the future land use map.

Mr. Vijay Patel and Mr. Bill Huddleston were in attendance to represent the application.

Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on September 2, 2020, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor with one abstention (Mr. Salas).

Zoning application [2020-412] to amend the PRD zoning (Laurelstone PRD) on approximately 46.5 acres located at along Lascassas Pike and DeJarnette Lane, Goodall Homes LLC applicant. Ms. Margaret Ann Green summarized the staff report which had been provided to the Planning Commission in the agenda packet. She made known the reason for the

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 19, 2020

amendment request was to allow three different types of dwellings instead of two. This property had been annexed and zoned back in 2017. Now, the applicant would like to add single-family detached dwelling units in addition to the two different attached dwelling units being cottages and villas. Overall, this would reduce the total number of units.

Continuing, Ms. Green made known the request for Laurelstone PRD zoning amendment would consist of the following:

- Introduce a new lot style by adding 31 single-family detached lots
- Reduce the number of Villa units by 4
- Reduce the number of Cottage units by 40, primarily those facing Lascassas Pike.
- Reduce the number of off-street parking spaces – lose 8 spaces overall
- Connect to Old Pitts Lane and remove the existing cul-de-sac condition
- Remove 1,331 linear feet of roadway
- Redesign the site so that the units are further from Bushman Creek
- Modify the open space plan

Mr. Matt Taylor was in attendance to represent the application. Mr. Taylor came forward stating the main change to this development would be the decrease in density by adding the single-family detached units. The amenities would remain but located in other areas of this site while creating more green space along the west side of Bushman Creek. The quality of the product would remain the same, just less of it.

Mr. Ronnie Martin wanted to know what is the reason for reducing the number of units. Mr. Matt Taylor stated the owner has identified a change in the housing market and feels that adding the third product of single-family detached units would address the needs in the housing market. With

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 19, 2020

this change they are still committed to installing turn lanes on Lascassas Pike and installing a bridge over Bushman Creek.

Mr. Ronnie Martin made a motion to schedule a public hearing on September 2, 2020, seconded by Ms. Jennifer Garland. The motion carried by unanimous vote in favor.

Mandatory Referral/ROW Abandonment [2020-713] to consider the abandonment of a portion of Esther Lane Right-of-Way, Mid-South Property Acquisitions, LLC and the City of Murfreesboro Planning Department applicants.

Ms. Marina Rush summarized the staff report which had been provided to the Planning Commission in the agenda packet. The purpose of the request is to reduce the current 80-foot right-of-way width of this segment of Esther Lane to a width of 60 feet to be consistent with the remainder of Esther Lane to the west.

Vice-Chairman Ken Halliburton made a motion to schedule a public hearing on September 2, 2020, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.

Staff Reports and Other Business

Ms. Margaret Ann Green came forward to discuss the zoning request application for **Clari Park [2020-409] Medical Center Parkway and Wilkinson Pike**. She made known that City Staff and the Legal Department have been working with the development team for Clari Park. All have continued to work on the proposal to address the concerns that had been made known during the June 17, 2020, and July 15, 2020 Planning Commission meetings.

Continuing, Ms. Green stated the applicant will provide a revised pattern book before their public hearing. Originally, the commercial outparcels had been requested to be zoned as Planned Unit Development, but now they are modifying their request to zone those outparcels to Commercial Highway instead. The pattern book will address these changes as well as the required off-site improvements that will occur with this development.

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 19, 2020

Vice-Chairman Ken Halliburton made a motion to schedule a public hearing for the revised zoning request on September 2, 2020, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.

For other business, Mr. Matthew Blomeley came forward to further discuss **Valley Farms, Section 1 [2020-2057] final plat for 36 lots on 10.87 acres zoned PUD (Rutherford County) and served as an outside the City sewer customer located along Dunbar Lane, Valley Farms Group, LLC developer**, which had been removed from the consent agenda. Mr. Blomeley made known the preliminary plat had been approved by the Planning Commission in 2017. Since then the developer has been moving forward with construction. The final plat being discussed would allow permitting for individual lots for houses once this final plat is recorded.

Continuing, Mr. Blomeley explained that with outside City sewer customers the plans go through the City's Planning Commission review process as well as Rutherford County's. The individual permits for the homes, however, are solely processed by Rutherford County.

Mr. Blomeley stated that, if there are any questions regarding the final plat, Mr. Chris Maguire with Huddleston-Steele was in attendance to represent the application and Ms. Valerie Smith, Assistant Director of the Water Resources Department, was available to address any sewer-related questions.

Mr. Ronnie Martin explained the reason he had pulled this item for further discussion was to make known this final plat was an outside the City sewer customer and there had been legal issues raised regarding other developments being served as outside the City sewer customers. Mr. Martin made known he had contacted Ms. Valerie Smith regarding what made this development, Valley Farms, different than other requests for outside the City sewer service.

Ms. Valerie Smith came forward stating that Staff has had conversations regarding projects that have been approved as outside the City sewer customers within the Buchanan sanitary sewer

MINUTES OF THE MURFREESBORO PLANNING COMMISSION AUGUST 19, 2020

assessment district. One of the main reasons that made this project different from others was it is in a list of projects that are “grandfathered-in” because of the following:

- The development had been approved as an outside the City sewer customer.
- The applicant purchased all off-site sewer easements to develop this subdivision.
- The applicant has a contract to build to City standards.
- Plans were submitted to the Water Resources Department for review for the sewer extension in January 2018.
- This project was in process prior to the onset of the policy to not serve new outside the City sewer customers any longer.

Mr. Ronnie Martin wanted this information to be made known part of the record. This timeline is very important when making a decision.

Mr. Ronnie Martin made a motion to approve subject to staff comments, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.

There being no further business, the meeting adjourned at 1:50 p.m.

Chair

Secretary

GM: cj