

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

AUGUST 19, 2020
1:00 PM

Kathy Jones
Chair

1. Call to order

2. Determination of a quorum.

3. Consent Agenda:

- a.** East Vine Villas [2020-2054] final plat for 1 lot and horizontal property regime plat for 6 units on 0.71 acres zoned PRD located along East Vine Street, BNA Homes, LLC developer. (Project Planner: Austin Cooper)
- b.** Generals Landing Townhomes, Section 2, Phase 2B [2020-2056] final plat for 2 lots and horizontal property regime plat for 77 units on 11.99 acres zoned PRD located along West Thompson Lane, Blue Sky Construction, Inc. developer. (Project Planner: Austin Cooper)
- c.** The Meadows at Kimbro Woods, Section 6 [2020-1014] preliminary plat for 18 lots on 3.63 acres zoned PRD located along Saint Andrews Drive, KW53, LLC developer. (Project Planner: Jafar Ware)
- d.** Carlton Landing, Section 2 [2020-1018] preliminary plat for 38 lots on 11.29 acres zoned RS-10 located west of New Salem Highway, Cornerstone Development, LLC developer. (Project Planner: Jafar Ware)
- e.** The Crossings of Three Rivers, Resubdivision of Lots 22 & 23 [2020-2055] final plat for 4 lots on 0.37 acres zoned PRD located along Hospitality Lane, Three Rivers, LLC developer. (Project Planner: Jafar Ware)
- f.** Valley Farms, Section 1 [2020-2057] final plat for 36 lots on 10.87 acres zoned PUD (Rutherford County) and served as an outside the City sewer customer located along Dunbar Lane, Valley Farms Group, LLC developer. (Project Planner: Brad Barbee)
- g.** Rivers Edge, Section 3, Phase 2 [2020-2058] final plat for 66 lots on 20.15 acres zoned RS-10 located along Blue Heron Drive and Murano Drive, Rivers Edge Investments, LLC developer. (Project Planner: Brad Barbee)

MURFREESBORO PLANNING COMMISSION AGENDA

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- h. Brookwood Pointe [2020-2065] final plat for 1 lot on 13.93 acres zoned PRD located along North Tennessee Boulevard, Ole South Properties developer. (Project Planner: Brad Barbee)
- i. Parkway Place, Section 2 [2020-2069] final plat for 5 lots on 20.88 acres zoned PID located along Richard Reeves Drive, Swanson Development, LP developer. (Project Planner: Brad Barbee)
- j. Salem Square Road Design [2020-3093] site plan for private streets on 22.19 acres zoned CH located at the southeast corner of Barfield Road and New Salem Highway, New Salem Land Development, Inc. developer. (Project Planner: Marina Rush)

4. Gateway Design Overlay:

- a. Waterstone Lot 6 (Volunteer Behavioral Health) [2019-6009 & 2020-3088] initial/final design review for 190 ft² generator enclosure on 2.3 acres zoned MU & GDO-3 located along Williams Drive, Volunteer Behavior Health Care System developer. (Project Planner: Margaret Ann Green)

5. Plats and Plans:

- a. Haynes Family, Lots 3-5 [2020-1015] master plan amendment and preliminary plat for 3 lots on 4.5 acres zoned CH located along Memorial Boulevard, Track West Partners developer. (Project Planner: Austin Cooper)

6. New Business:

- a. Zoning application [2020-410] for approximately 0.4 acres located at 206 Dill Lane to be rezoned from RS-15 to RS-8, The Journey Home, Inc. applicant. (Project Planner: Margaret Ann Green)
- b. Annexation plan of services and annexation petition [2020-503] for approximately 1 acre located along Clays Mill Drive and Sulphur Springs Road, Allison Magna and Elizabeth Helander applicants. (Project Planner: Margaret Ann Green)
- c. Annexation plan of services and annexation petition [2020-502] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road, Overall Creek Partners and Somphone Ruangtip applicants. (Project Planner: Marina Rush)
- d. Zoning application [2020-411] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road to be zoned CH simultaneous with annexation, Overall Creek Partners applicant. (Project Planner: Marina Rush)

MURFREESBORO PLANNING COMMISSION AGENDA

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- e. Zoning application [2020-412] to amend the PRD zoning (Laurelstone PRD) on approximately 46.5 acres located at along Lascassas Pike and DeJarnette Lane, Goodall Homes LLC applicant. (Project Planner: Margaret Ann Green)
- f. Mandatory Referral/ROW Abandonment [2020-713] to consider the abandonment of a portion of Esther Lane Right-of-Way, Mid-South Property Acquisitions, LLC and the City of Murfreesboro Planning Department applicants. (Project Planner: Marina Rush)

7. Staff Reports and Other Business:

8. Adjourn.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: AUSTIN COOPER**

- 3.a. East Vine Villas [2020-2054] final plat for 1 lot and horizontal property regime plat for 6 units on 0.71 acres zoned PRD located along East Vine Street, BNA Homes, LLC developer.**

This is a final plat and horizontal property regime review for the East Vine Villas subdivision located along East Vine Street. The property is zoned PRD. Staff recommends that any approval of the final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Austin Cooper, 615.893.6441, acooper@murfreesborotn.gov

- 1) Please move the BNA homes label to below Brian Burns' title in the signature block and remove the Plat book and page number from above the date line.
- 2) Please include both sides of ROW and include ROW width.
- 3) Please revise purpose note to read, "The purpose of this plat is to create 1 lot of record and to record a horizontal property regime with 6 units and record easements as shown."
- 4) Remove parcels from location map to make more legible.
- 5) The zoning is PRD please revise zoning information in the site data table.
- 6) Please include a circled one to show the lot is being recorded.
- 7) Revise easement in the front of the lot to be a public utility easement.
- 8) Include reference to City Core Overlay District in site data information.
- 9) Label building diagram on the top and call out which building is which.
- 10) Correct roadway classification for Gayle and East Vine Street. They are both local streets
- 11) Include note for lawyer signature in accordance with the horizontal property regime act.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) No Comments

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

- 1) No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, [bhunter@cudrc.com](mailto:bhunter@ cudrc.com)

- 1) No Comments

Middle Tennessee Electric Membership Corporation

Josh Seng, 615.898.6738, Josh.Seng@mtemc.com

- 1) No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

- 1) No Comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

- 1) Show gang vault meter easement.

Informational and Procedural Comments

Development Services – Planning

Austin Cooper, 615.893.6441, acooper@murfreesborotn.gov

Matthew Blomeley, 615.893.6441, mblomeley@murfreesborotn.gov

- 1) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Transportation Plan.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) No Comments

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

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- 1) No Comments

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- 1) No Comments

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- 1) No Comments

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1) No Comments

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Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

1) No Comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

1) No Comments

GLOBAL POSITION SYSTEM SURVEY NOTES

- The topographic portion of this survey was performed using the following global positioning system (GPS) survey equipment: TOPCON Hiper Plus-Model #01-840-01 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods. The topographic features shown were obtained by using the TDOT CORS network for horizontal and for vertical control.
- The relative positional accuracy is stated in the Category "IV" survey certification located above the surveyor's seal on this drawing.
- The dates that fieldwork was performed for this survey were: 05/12/20
- The datum(s) for the TDOT CORS Station Control Point that was used:
HORIZ.: NAD83(2011) EPOCH 2010
VERT.: NAVD 1988
- Fixed Control Station designation with published data:
TDOT CORS STATION-TN38
STATE PLANE (TN 4100-US SURVEY FT.- NORTHING: 569,154.86
EASTING: 1,837,086.15
ELEVATION: 558.34 FT.
- Fixed Control Station designation with RAW file data:
TDOT CORS STATION-TN38
STATE PLANE (TN 4100-US SURVEY FT.- NORTHING: 569,154.8786
EASTING: 1,837,086.078
ELEVATION: 558.25 FT.
- Geoid model used- GEOID09
- Combined grid factors for TDOT CORS Station TN38:
0.99992680 (STATE PLANE-TN 4100-US SURVEY FT.)

LINE TABLE		
LINE	BEARING	LENGTH
L1	N08°15'08"E	13.48'
L2	N78°20'00"W	3.84'

STANDARD PLAT NOTES

- A "no-fill" certification by a registered engineer licensed by the State of Tennessee will be required prior to the issuance of a certificate of occupancy for any structure constructed upon any lot or lots that extend into a regulatory floodway or area of pooling water.
- Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice of consultation with the individual lot Owner of this construction.
- Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- Prior to issuance of a certificate of occupancy for any lot in this subdivision the Owner shall post a building permit Surety in an amount to be determined by the City Engineer to assure construction of lot infrastructure, including but not limited to sidewalks, drainage improvements, or construction of water quality elements. Such construction shall be completed within nine (9) months of issuance of the certificate of occupancy.
- Any street in this subdivision may be extended into adjoining property at any time without additional notice or consultation.
- The streets identified on the plat may be constructed or reconstructed in the future without consultation or notice to the Owners of the lots in the subdivision.
- A mandatory owners association is required as a condition of approval in order to meet obligations established by the Developer.
- The common areas shown on the subdivision shall be the responsibility of the owners association to maintain.

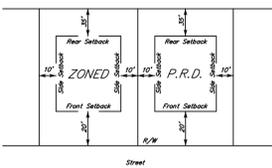


1 LOT: 0.71± ACRES

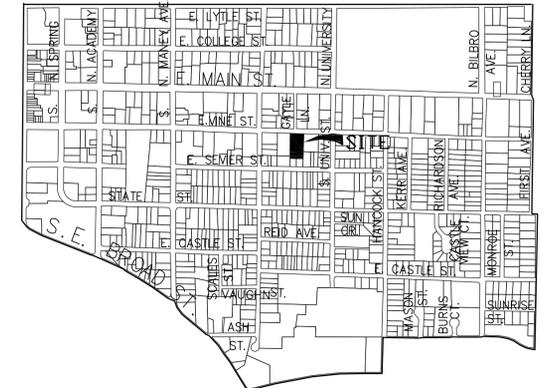
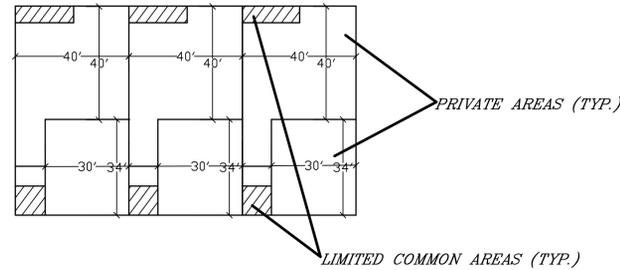
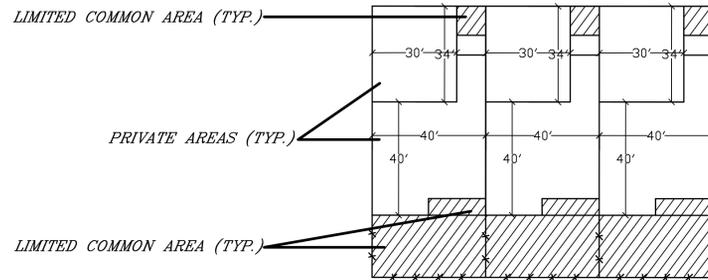
LEGEND FOR MONUMENTS

- IPS ○ IRON PIN SET
- IPF ○ IRON PIN FIND
- RAILROAD SPIKE
- ✕ FENCE
- SURVEY POINT
- ▲ NAIL
- CONC. MARKER FND.

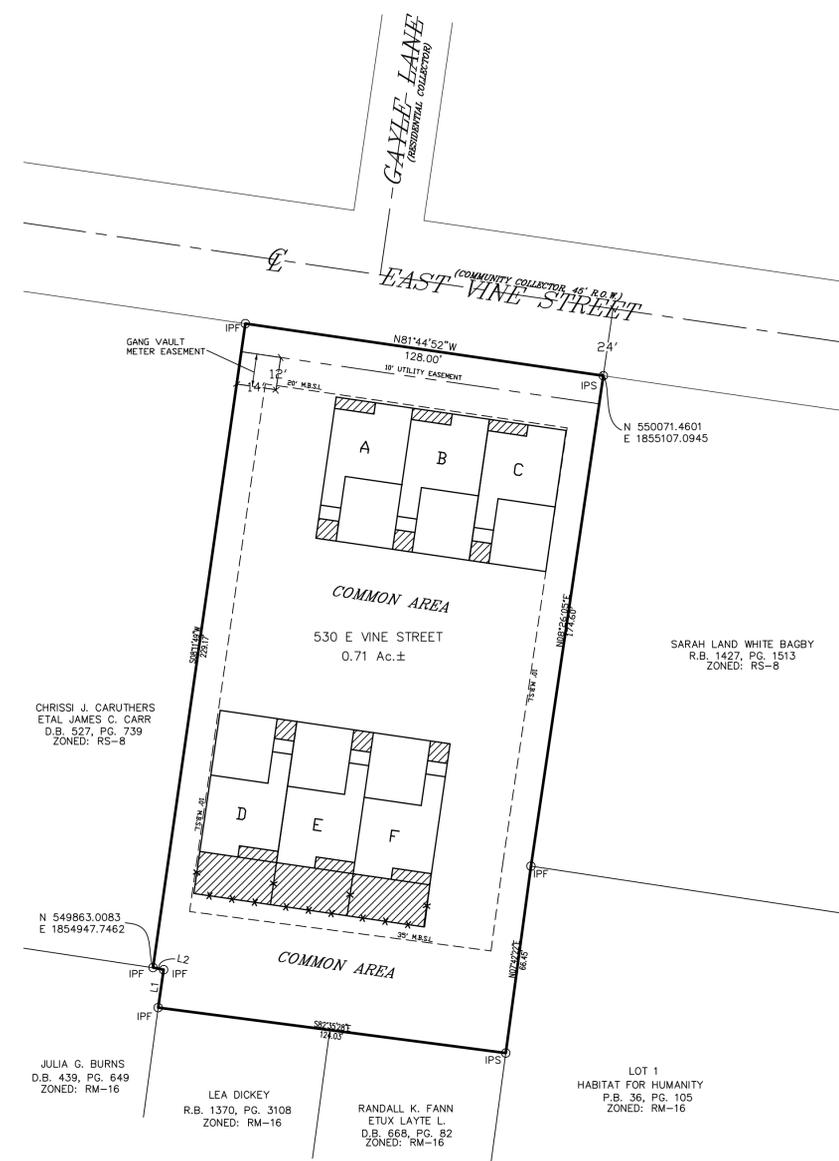
ZONING: PRD
FRONT SETBACK: 20'
SIDE SETBACK: 10'
REAR SETBACK: 35'



TYPICAL BUILDING SETBACK DETAIL



LOCATION MAP
N.T.S.



NOTE:
THE PURPOSE OF THIS PLAT IS TO DEVELOP URBAN TOWNHOMES TOTALING SIX UNITS.

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS

OWNER: BNA HOMES LLC
ADDRESS: 530 EAST VINE STREET
MURFREESBORO, TN 37130
TAX MAP: 091M / GROUP: L / PARCEL: 2.01
ZONING: PRD
DEED BOOK: 221, PAGE 327
FLOOD MAP PANEL: 47149 C0260H ZONE: X
FLOOD MAP DATED: JANUARY 05, 2007

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS EITHER RECORDED OR BY PRESCRIPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

Certificate of Ownership and Dedication
I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent and establish the minimum building restriction lines, and dedicate all street, alleys, walks, and utilities therein, parks and other open spaces to public or private use as noted.

PLAT BOOK: DB 46
PAGE: 213
BNA HOMES LLC

Date: _____
PLAT BOOK: DB 46
PAGE: 213
BRIAN BURNS, CHIEF
MANAGER OF CONSTRUCTION

Certificate of Approval for Recording
I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date: _____
Planning Commission Secretary

Certificate of Approval of Sewer Systems
I hereby certify that (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date: _____
Murfreesboro Water Resources Official

Certificate of Approval of Water Systems Located in the Water Service Jurisdiction of the City of Murfreesboro
I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with the city codes and specifications and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria; or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date: _____
Murfreesboro Water Resources Official

Certificate of Approval for Electric Power in the Electric Service Jurisdiction of Middle Tennessee Electric Membership Corporation
Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's Requirements.

Date: _____
Middle Tennessee Electric Membership Corporation

Certificate of Approval of Streets and Drainage
I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date: _____
City Engineer

DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK: _____, PAGE: _____



FINAL PLAT & HORIZONTAL PROPERTY REGIME PLAT
EAST VINE VILLAS
13th CIVIL DISTRICT - RUTHERFORD COUNTY - TN
DATE: JUNE, 2020 SCALE 1"=30' SH. 1 OF 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: AUSTIN COOPER**

- 3.b. Generals Landing Townhomes, Section 2, Phase 2B [2020-2056] final plat for 2 lots and horizontal property regime plat for 77 units on 11.99 acres zoned PRD located along West Thompson Lane, Blue Sky Construction, Inc. developer.**

This is a final plat and horizontal property regime review for the Generals Landing Townhome subdivision located along West Thompson Lane. The property is zoned PRD. Staff recommends that any approval of the final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Austin Cooper, 615.893.6441, acooper@murfreesborotn.gov

- 1) Please include the circles around unit numbers as they are being recorded in this section. I apologize for telling you otherwise before.
- 2) Include ROW width for West Thompson Lane.
- 3) Spell out McChrystal Drive and provide ROW width.
- 4) Provide box around location map.
- 5) West Thompson Lane is also Route 268. Please show on plat
- 6) Remove water line from West Thompson Lane.
- 7) Include dedication of right of way in plat.
 - a. Include in purpose note as well.
- 8) Label area above lot 5 that looks like an MBSL for section 2 of generals landing Townhomes subdivision. If it is, please remove.
- 9) Fill in Lot 3 Book and Page Number prior to the recording of this plat.
- 10) Call out McChrystal Street as Local Street and not just local.
- 11) 15' MED easement should be called out as an electric easement since MED no longer exists.
- 12) Label extensions of drainage and electric easements on the other side of Magruder Drive.
- 13) Why does setback line change to 5' on the west side of lot 5 close to Thompson Lane.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) No Comments

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

- 1) No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

- 1) No Comments

Middle Tennessee Electric Membership Corporation

Josh Seng, 615.898.6738, Josh.Seng@mtemc.com

- 1) No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

- 1) No Comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

- 1) Show required easement for gang vaults.
- 2) MWRD must receive surety prior to signing the plat.

Informational and Procedural Comments**Development Services – Planning**

Austin Cooper, 615.893.6441, acooper@murfreesborotn.gov

Matthew Blomeley, 615.893.6441, mblomeley@murfreesborotn.gov

- 1) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Transportation Plan.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

- 1) No Comments

Consolidated Utility District

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1) No Comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@ murfreesborotn.gov

1) No Comments

Certificate of Ownership and Dedication
 I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent and establish the minimum building restriction lines, and dedicate all street, alleys, walks, and utilities therein, parks and other open spaces to public or private use as noted.

Date: _____
 Record Book: 1477
 Page: 2639

Certificate of Approval for Electric Power
 I hereby certify that the subdivision shown hereon has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power service to the subdivision subject to the Owner complying with the applicable rules and regulations of MED. No electric power service will be provided until MED's requirements for electric power service have been met.

Date: _____
 Murfreesboro Electric Department Official

Certificate of Approval for Recording
 I hereby certify that the subdivision plot shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date: _____
 Planning Commission Secretary

Certificate of Approval of Streets and Drainage
 I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date: _____
 City Engineer

Certificate of Approval of Sewer Systems
 I hereby certify that (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

CERTIFICATION OF COMPLIANCE WITH THE HORIZONTAL PROPERTY ACT
 I hereby certify that this plat has been prepared in conformance with the Horizontal Property Act, TCA 66-27-101 et. seq.

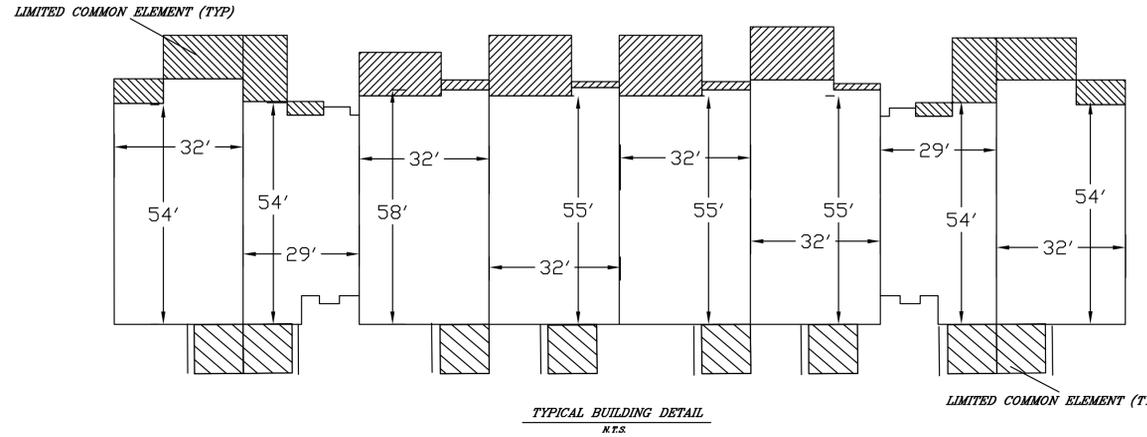
Date: _____
 ATTORNEY: Jeff Reed, Member
 Hudson, Reed & McCreary, PLLC

Date: _____
 Murfreesboro Water Resources Official

Certificate of Approval of Water Systems Located in the Water Service Jurisdiction of the City of Murfreesboro

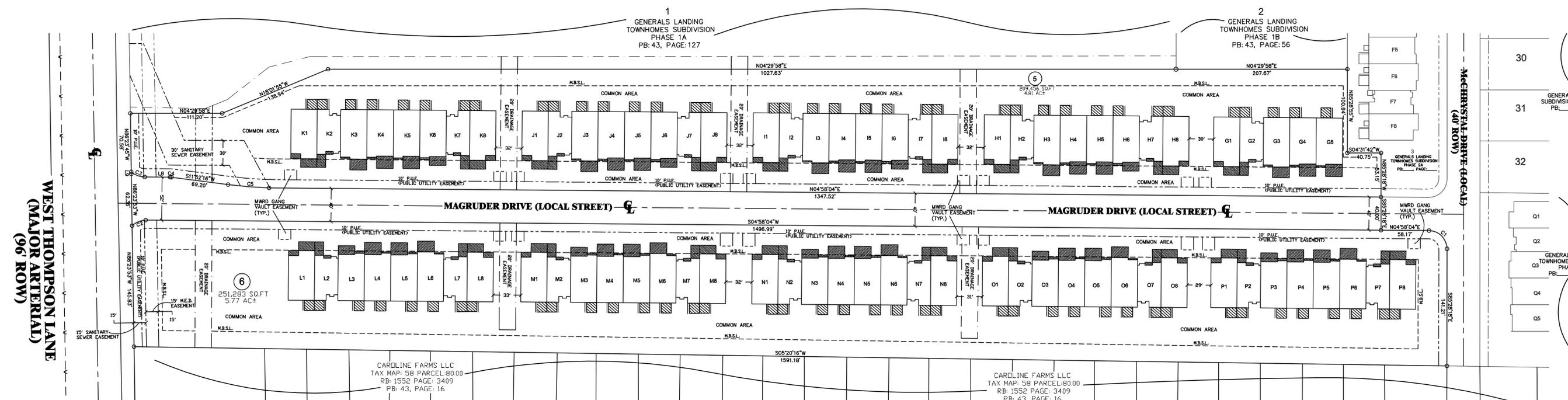
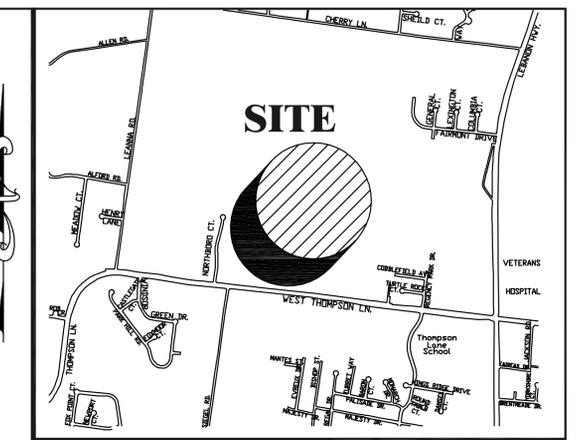
I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with the city codes and specifications and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria; or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date: _____
 Murfreesboro Water Resources Official



LINE TABLE		
LINE	LENGTH	BEARING
L1	30.60	S04°58'04"W
L2	2.56	N86°23'45"W

CURVE TABLE				
CURVE	DELTA	RADIUS	ARC CHORD	BEARING
C1	89°33'38"	22.00	34.39	S49°44'53"W
C2	40°54'21"	25.48	18.19	S18°05'55"E
C3	39°51'28"	25.48	17.73	N24°53'48"E
C4	6°54'12"	15.00	1.81	S08°25'10"W
C5	5°21'34"	532.43	49.81	N09°05'04"E



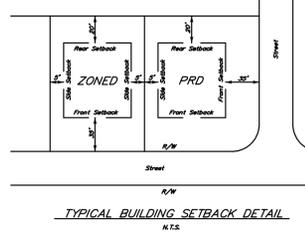
- PLAT NOTES**
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
 - Underground utilities shown were located using available above-ground evidence, and also from information obtained from the respective utility companies. The existence or non-existence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
 - It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from his structure to the drainage system constructed by the subdivision developer.
 - Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
 - Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
 - Generals Landing's Homeowners' Association Document is Recorded in Record Book 1724, Page 1798.

RELEASE & COVENANT NOT TO SUE
 Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.

- LEGEND FOR MONUMENTS**
- IPS O IRON PIN SET
 - IFF O IRON PIN FND.
 - O RAILROAD SPIKE
 - FENCE
 - SURVEY POINT
 - ▲ NAIL
 - CONC. MARKER FND.

Certificate of Accuracy
 I hereby certify that this is a category "IV" survey and the precision of the GPS portion of this survey (in relative positioning accuracy given at the 95% confidence level) is 1:10,000 as shown hereon and that this survey was done in compliance with current Tennessee minimum standards of practice for land surveyors.

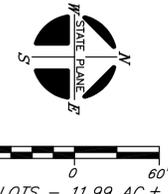
ZONING: PRD
 FRONT SETBACK: 35'
 SIDE SETBACK: 5'
 REAR SETBACK: 20'



THE PURPOSE OF THIS PLAT IS TO CREATE TWO LOTS OF RECORD, TO RECORD EASEMENTS AS SHOWN, AND TO ESTABLISH A HORIZONTAL PROPERTY REGIME FOR 77 UNITS, INCLUDING COMMON AREAS AND LIMITED COMMON ELEMENTS.

OWNER: BLUE SKY CONSTRUCTION INC.
 ADDRESS: 6 N. PUBLIC SQUARE
 MURFREESBORO, TN 37129
 TAX MAP: 58 PART OF PARCEL: 82.00

A PORTION OF THIS PROPERTY IS NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD AREA" ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD MAP PANEL: 47149C0145H ZONE: X
 DATED: JAN. 05, 2007



FOR REVIEW ONLY

HUDDLESTON-STEEL ENGINEERING, INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE: 893 - 4084, FAX: 893 - 0080

FINAL PLAT AND HORIZONTAL PROPERTY REGIME PLAT
GENERAL'S LANDING TOWNHOMES SUBDIVISION SECTION II, PHASE 2B
 8TH CIVIL DISTRICT - RUTHERFORD COUNTY, TENNESSEE
 DATE: JULY, 2020 SCALE: 1"=60' SH. 1 OF 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: JAFAR WARE**

3.c. Kimbro Woods/The Meadows at Kimbro Woods [2020-1014] preliminary plat for 18 lots on approximately 18 acres zoned PRD located west of Saint Andrews Drive and north of Veterans Parkway, KW53, LLC developer. (Project Planner: Jafar Ware)

This is the preliminary plat review for 18 lots on 3.63 acres zoned PRD. The purpose of this plat is to create a 18-lot residential subdivision. Preliminary plat approval shall not confer a vested right to proceed with development of the property as shown on the preliminary plat but rather shall authorize the applicant to submit construction plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends that any approval of this preliminary plat be made subject to all staff comments.



Staff Comments

Development Services – Planning 615-893-6441

Jafar Ware jware@murfreesborotn.gov

1. Label the entirety of Shady Forest Drive.
2. Provide a letter from the developer which states that he has reviewed all building envelopes and that they are sufficient for the proposed houses and that he understands that no setback variances will be granted by the Board of Zoning Appeals because the need for a variance would be self-created.
3. Revise plan to demonstrate 50' at front setback line.
4. Show and label a 10' PUE along the frontages of all lots
5. Label all adjacent common areas.
6. Make Lot 146 a corner lot (make the portion of the lot adjacent to Shady Forest Drive and Holderwood Drive) and submit a Landscape Plan.
7. Include a note which states that the following lots will require a certified Land Surveyor to lay-out the footing and to provide written confirmation that there are no encroachments into setbacks or easements: Lots 149, 188, 191, 192, and 196.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. ADA compliant handicap ramps should be provided at intersection of Shady Forest and Saint Andrews Drive.
2. Grading in the water quality protection area should be limited.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.1403, tstevens@murfreesborotn.gov

1. No Comments.

Consolidated Utility District

Brandon Hunter, 615.225.3311, [bhunter@cudrc.com](mailto:bhunter@ cudrc.com)

William Steele, 615.663.1441, wsteele@cudrc.com

1. Show water line tying into existing water line at the intersection of Community Circle and Vineland Drive near lot 146-147.
2. Show full driveway into the lot for clarity. Not just the cut-out in the curbing.
3. Show all proposed storm lines and catch basins on plan.

4. Show all electric transformers, boxes, vaults, and lines on plan (CUD reserves the right for further review and comment once electric and storm utilities have been added to the plant.
5. If additional water services are required for entrance, common area, mail kiosk, or detention areas for irrigation, show proposed meter locations. Additional charges will be incurred for taps to be installed by CUD after water line is complete and asphalt has been installed
6. Developer to submit notary signed developer agreement to CUD prior to water plans being created.
7. Lot 188 was submitted with Section 5. Confirm whether Lot 188 is in Section 5 or 6.
8. Maintain 10' separation between water and sewer. Verify all water and sewer have 10' separation.
9. Add the following CUD water line notes:
 - a. Water service, domestic, fire and/or irrigation is provided by Consolidated Utility District of Rutherford County (CUDRC).
 - b. See CUD water plans for specific details and layout.
 - c. All "live or wet" water main line taps are to be made by CUDRC.
 - d. CUD water line technical specifications may be found at www.cudrc.com.
 - e. Utility contractor must attend pre-arranged water line pre-construction meeting with authorized representative from CUD and receive formal TDEC "notice to proceed" from CUD before any water line construction commences.
 - f. During water line construction, an authorized representative of CUDRC will be inspecting the entire water line installation process to ensure that the construction conforms to approved plans and specifications.
 - g. Maintain 10 feet horizontal separation and 18 inches vertical separation (water over sewer) between sanitary sewer and water lines.
 - h. Contractor required to stake all water meter locations prior to taps being installed.
10. Contact CUD Engineering Department for additional information 615-867-7330.

Murfreesboro Electric Department

Engineering Division, 615.893.5514, engineering@medtn.com

1. No Comments.

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

1. No Comments.

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

1. Water and/or sewer main construction drawings and hydraulics must be submitted to MWRD for detailed review and approval separate from planning commission review.
2. Property is within the Salem/Barfield assessment district. Add this note to the plan.
3. Resubmit two sets of plans to MWRD for the review of the sewer.
4. Add the Release & Covenant Not to Sue note to the plan:

- a. Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
5. MWRD must receive contract and surety prior to signing the plan.
6. The Developer is financially responsible for providing water, repurified water, sewer service to each lot. Revise plans accordingly.
7. Submit a copy of the final Electric Utility Plan to MWRD.
8. Contact MWRD to confirm compliance with the sewer allocation ordinance.

Informational and Procedural Comments

Development Services – Planning 615-893-6441

Jafar Ware, jware@murfreesborotn.gov

1. Per the engineer's certification on this plan, this property lies in Zones AE and X, inside and outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
2. This site plan is affected by the City's Major Transportation Plan. Saint Andrews Drive is on the Major Transportation Plan to be widened to 3 lanes. The design engineer shall coordinate all sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
3. Designate an area on the plans for construction debris storage. Unkempt sites shall not be permitted and may be subject to stop-work orders.
4. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Construction plans require approval of engineering staff separate from the planning commission review. A PFD of construction plans should be sent to the engineering point of contact for review.
2. A State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided prior the city issuing a Land Disturbance Permit.
3. A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.

4. Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.
5. Prior to the land disturbance permit being issued, a long term operation and maintenance plan and associated agreement must be reviewed and approved by the Murfreesboro Engineering Department

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments.

Building and Codes Department

Kevin Jones, 615.893.3750, kevinjones@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.1403, tstevens@murfreesborotn.gov

1. No Comments.

Consolidated Utility District

Brandon Hunter, 615.225.3311, [bhunter@cudrc.com](mailto:bhunter@ cudrc.com)

William Steele, 615.663.1441, wsteele@cudrc.com

1. No Comments.

Murfreesboro Electric Department

Engineering Division, 615.893.5514, engineering@medtn.com

1. No Comments.

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

1. No Comments.

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

1. No Comments.



1. Water service, domestic, fire and/or irrigation is provided by Consolidated Utility District of Rutherford County (CUDRC).
2. See CUDRC water plans for specific details and layout.
3. All "live or wet" water main line tags are to be made by CUDRC.
4. CUDRC water line technical specifications may be found at www.cudrc.com.
5. Utility contractor must attend pre-arranged water line pre-construction meeting with authorized representative from CUDRC and receive formal TDEC "notice to proceed" from CUDRC before any water line construction commences.
6. During water line construction, an authorized representative of CUDRC will be inspecting the entire water line installation process to ensure that the construction conforms to approved plans and specifications.
7. Maintain 10 feet horizontal separation and 18 inches vertical separation (water over sewer) between sanitary sewer and water lines.
8. Contractor required to stake all water meter locations prior to taps being installed.
9. Contact CUD Engineering Department for additional information 615-867-7330.

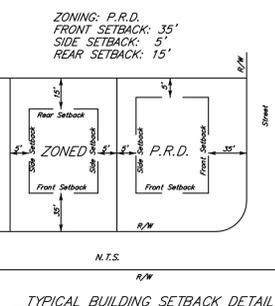
1. Complete specifications for the sewer lines, "Sewer Line Specifications and Drawings", February, 2019 Ed., are on file at the Murfreesboro Water Resources Department Engineering Annex and can also be found online at <http://www.murfreesborotn.gov/index.aspx?nid=284>
2. Sewer construction must be in accordance with all MWRD specifications and drawings.
3. Contractor must have a State of Tennessee license, Municipal Utility (MU) classification, to perform work.
4. Add the Release & Covenant Not to Sue note to the (plot / plan).
Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
5. Trench check dams, as called out in the MWRD Specifications, are to be installed at the discretion of the Water Resources Department.
6. The existing sewer mains and/or manholes must be (tested / televised) before and after construction. Should the sewer not be (tested / televised) prior to construction any defects found after construction will be the responsibility of the contractor to repair at his or her expense.
7. All proposed manholes must be wrapped in a Consoal, or an approved equal, 12" minimum water and soil barrier wrap at each manhole section joint and at any other manhole component as directed by MWRD.
8. No more than 25 percent of the dollar amount of the Contract may be awarded to subcontractors
9. A maximum of 2 - 6" (6 in.) adjustment rings will be allowed per any existing or proposed manholes associated with this installation. If any manhole requires adjustment beyond the 2 - 6" adjustment rings allowed then the contractor must remove, adjust, or add barrel sections to the manhole to get it to grade at his or her own expense.
10. All newly constructed sanitary sewer mains, rehabilitated sanitary sewer laterals and mains, existing sanitary sewer mains that intersect under or over a newly constructed or removed utility, or any sewer main that has been physically altered in any way must be fully televised via an in-line Closed Circuit Television (CCTV) post construction survey fully compliant with the guidelines set forth by the North American Sanitary Sewer Company's (NASSCO) Pipeline Assessment Certification Program (PACP) at the expense of the contractor.

TM:114 PAR:21.08
STEVE JEMSON

NOTE: A LICENSED SURVEYOR WILL BE REQUIRED TO LAY OUT THE FOOTING FOR LOTS 146, 147, 191, AND 192. IN ADDITION, WRITTEN CONFIRMATION FROM THE SURVEYOR MUST BE PROVIDED THAT THERE IS NO ENCRoACHMENT INTO ANY SETBACKS OR EASEMENTS.

NOTE: CONTRACTOR/DEVELOPER IS REQUIRED TO STAKE WATER METER LOCATIONS AND PROPERTY CORNERS FOR EACH LOT PRIOR TO WATER TAPS BEING INSTALLED.

NOTE: WATER LINE DESIGN BY CUD. SEE CUD WATER LINE PLANS FOR SPECIFIC DETAILS AND LAYOUT.



THIS PROPERTY IS LOCATED WITHIN THE SALEM/BARFIELD SEWER ASSESSMENT DISTRICT.

LOT NUMBERS WITH AN ASTERISK (*) INDICATE A FILL LOT.

NOTE: COMPACTION REPORTS WILL BE REQUIRED ON ALL FILL LOTS PRIOR TO SIGNING OF FINAL PLAT.

NOTE: SIDEWALKS IN COMMON AREA MUST BE CONSTRUCTED BY DEVELOPER WITH ROADWAY.

APPROVED FOR CONSTRUCTION
THIS DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE MURFREESBORO WATER AND SEWER DEPARTMENT
UNDER THE AUTHORITY DELEGATED BY THE TENNESSEE DEPARTMENT OF REVENUE AND CONSERVATION DIVISION OF WATER POLLUTION CONTROL AND IS HEREBY APPROVED FOR CONSTRUCTION.
THIS APPROVAL SHALL NOT BE CONSIDERED AS GUARANTEE OR PRESUMPTION OF CORRECT OPERATION OR AS WARRANTY BY THE APPROVING WATER AND SEWER DEPARTMENT THAT THE FACILITIES WILL BEACH THE DESCRIBED QUALITY.
APPROVAL DATE: _____
APPROVAL EXPIRES IN 18 MONTHS
BY _____

NOTES:
1. IN TENNESSEE, IT IS A REQUIREMENT PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS NO LESS THAN THREE (3) WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
2. UNDERGROUND UTILITIES SHOWN WERE LOCATED USING AVAILABLE ABOVE-GROUND EVIDENCE, AND ALSO FROM INFORMATION OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES. THE EXISTENCE OR NON-EXISTENCE OF THE UTILITIES SHOWN AND ANY OTHER UTILITIES WHICH MAY BE PRESENT ON THIS SITE OR ADJACENT SITES SHOULD BE CONFIRMED WITH THE UTILITY OWNER PRIOR TO COMMENCING ANY WORK.



SECTION VI - 18 LOTS - 3.63 AC.±

OWNER: KWS,LLC
ADDRESS: 1804 WILLIAMSON CT, SUITE 201
BRENTWOOD, TN 37027
TAX MAP: 114, PARCELS: 21.10 & 21.21
FLOOD MAP PANEL: 47149C 0265H ZONES:AE & X
DATED: JANUARY 5, 2007

NOTE: THIS PARCEL IS SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS OTHER RECORDED OR BY PRESUMPTION THAT A COMPLETE TITLE SEARCH MAY REVEAL.

THE SURVEY IS A TOPOGRAPHIC SURVEY FOR INFORMATION ONLY AND IS NOT A GENERAL PROPERTY SURVEY AS DEFINED UNDER RULE 0820-3--07.

FOR REVIEW ONLY

HUDDLESTON-STEELE
ENGINEERING
2115 N.W. BRAD STREET, MURFREESBORO, TN 37129
TELEPHONE: (615)893-4084, FAX: (615)893-3700

#	DATE	REVISION DESCRIPTION
1		
2		

PRELIMINARY PLAN
LAYOUT AND UTILITY PLAN - SECTION VI
THE MEADOWS
AT KIMBRO WOODS
12th Civil District - Rutherford County, TN.

DATE: JULY, 2020 SCALE 1"=50' SH. 2 OF 6

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: JAFAR WARE**

3.d. Carlton Landing, Section 2 [2020-1018] preliminary plat for 38 lots on 11.29 acres zoned RS-10 located along New Salem Highway, Cornerstone Development, LLC developer.

This is the preliminary plat review for 38 lots on 11.29 acres zoned RS-10. The purpose of this plat is to create a 38-lot residential subdivision. Preliminary plat approval shall not confer a vested right to proceed with development of the property as shown on the preliminary plat but rather shall authorize the applicant to submit construction plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends that any approval of this preliminary plat be made subject to all staff comments.



Staff Comments

Development Services – Planning 615-893-6441

Jafar Ware jware@murfreesborotn.gov

1. Include a note which states that the following lots will require a certified Land Surveyor to lay-out the footing and to provide written confirmation that there are no encroachments into setbacks or easements: Lots 62, 63, 72, 73, 80, 81, 92, and 93.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. For lots 86 and 87 to be recorded as legal lots of record, the roadway along the frontage must be constructed.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.1403, tstevens@murfreesborotn.gov

1. No Comments.

Consolidated Utility District

Brandon Hunter, 615.225.3311, [bhunter@cudrc.com](mailto:bhunter@ cudrc.com)

William Steele, 615.663.1441, wsteele@cudrc.com

1. Owner to submit notary signed CUD Developer Agreement to CUD prior to water plans being created.
2. Revise CUD water line notes as follows:
 - a. Water service, domestic, fire and/or irrigation is provided by Consolidated Utility District of Rutherford County (CUDRC).
 - b. See CUD water plans for specific details and layout.
 - c. All “live or wet” water main line taps are to be made by CUDRC.
 - d. CUD water line technical specifications may be found at www.cudrc.com.
 - e. Utility contractor must attend pre-arranged water line pre-construction meeting with authorized representative from CUD and receive formal TDEC “notice to proceed” from CUD before any water line construction commences.
 - f. During water line construction, an authorized representative of CUDRC will be inspecting the entire water line installation process to ensure that the construction conforms to approved plans and specifications.
 - g. Maintain 10 feet horizontal separation and 18 inches vertical separation (water over sewer) between sanitary sewer and water lines.
 - h. Contractor required to stake all water meter locations prior to taps being installed.

3. Contact CUD Engineering Department for additional information 615-867-7330.

Middle Tennessee Electric Membership Corporation

Josh Seng, 615.893.5514, josh.seng@mtemc.com

1. No Comments.

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

1. No Comments.

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

1. Water and/or sewer main construction drawings and hydraulics must be submitted to MWRD for detailed review and approval separate from planning commission review.
2. Property is within the Rockvale and Overall Creek assessment districts. Add this note to the plat.
3. Resubmit two sets of plans to MWRD for the review of the sewer.
4. MWRD must receive contract prior to approving the plans.

Informational and Procedural Comments

Development Services – Planning 615-893-6441

Jafar Ware, jware@murfreesborotn.gov

1. Per the engineer's certification on this plan, this parcel lies in Zone X and is not included in areas designated as "Special Flood Hazard."
2. This site plan is affected by the City's Major Transportation Plan. New Salem Highway (State Route 99) is on the Major Transportation Plan to be widened to 5 lanes.
3. The design engineer shall coordinate all sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
4. Designate an area on the plans for construction debris storage. Unkempt sites shall not be permitted and may be subject to stop-work orders.
5. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Construction plans require approval of engineering staff separate from the planning commission review. A PFD of construction plans should be sent to the engineering point of contact for review.

2. A State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided prior the city issuing a Land Disturbance Permit.
3. A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
4. Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.
5. Prior to the land disturbance permit being issued, a long term operation and maintenance plan and associated agreement must be reviewed and approved by the Murfreesboro Engineering Department

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments.

Building and Codes Department

Kevin Jones, 615.893.3750, kevinjones@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.1403, tstevens@murfreesborotn.gov

1. No Comments.

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

William Steele, 615.663.1441, wsteele@ cudrc.com

1. No Comments.

Middle Tennessee Electric Membership Corporation

Josh Seng, 615.893.5514, josh.seng@ mtemc.com

1. No Comments.

Murfreesboro Fire and Rescue Department

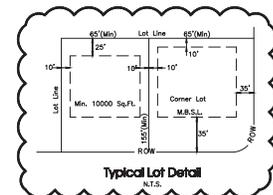
Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

1. No Comments.

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

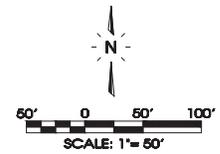
1. No Comments.



Minimum Floor Elevation Note:
Under the newly adopted plumbing code, The City of Murfreesboro requires that Minimum Floor Elevations (MFE) be set at or above the casing elevation of the upstream sanitary sewer manhole. As an alternative, the home builder/owner shall install a special cleanout and sign a release and covenant not to sue, in favor of the city, due to any problems relative to the sanitary sewer and house elevations. The home builder/owner shall be responsible for complying with this requirement.

The proposed electrical, gas, water and telecommunications information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information.

- Note:**
1. Pool, Playground, and Clubhouse To Be Constructed Prior To Section 2 Final Plat Being Recorded.
 2. Sidewalks Except As Noted will be responsibility of lot owner/builder in accordance with Subdivision Regulations.
 3. MPE's are due to Local Drainage.
 4. All Striping in Public R.O.W. To Be Thermoplastic.



Water Provider: Consolidated Utility District Of Rutherford County

APPROVED FOR CONSTRUCTION
THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE MURFREESBORO WATER RESOURCES DEPARTMENT UNDER THE AUTHORITY DELEGATED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DIVISION OF WATER POLLUTION CONTROL DIVISION OF WATER SUPPLY AND IS HEREBY APPROVED FOR CONSTRUCTION.
THE APPROVAL SHALL NOT BE CONSIDERED AS GUARANTEEING OR WARRANTING BY THE MURFREESBORO WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES WILL MEET THE DESIGNER'S GOALS.
APPROVAL DATE: _____
APPROVAL EXPIRES IN 12 MONTHS
BY: _____
FOR SANITARY SEWER CONSTRUCTION ONLY

Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
○	IRON PIN SET (P.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (P.F.S.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	+	CONCRETE BOLLARD
○	EXIST. CATCH BASIN (STORM SEWER)	+	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	+	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	+	EXTRUDED CURB
⊕	EXIST. GAS RISER	+	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	+	TRAFFIC ARROW
⊕	EXIST. WATER METER	+	TURN LANE ARROWS
○	EXIST. UTILITY POLE	+	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	+	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	+	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	+	RIP RAP
⊕	REDUCER	+	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. PROTECTION BLOCK	+	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	+	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	+	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	+	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	+	CATCH BASIN
⊕	GATE VALVE & BOX	+	CURB INLET
⊕	WATER METER	+	AREA DRAIN
⊕	GAS METER	+	HEADWALL
⊕	GREASE TRAP	+	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT EED	+	CONCRETE SWALE
○	MANHOLE	+	TYPE - X - HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	
EASEMENTS	
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E E
EXISTING TREE LINE	
EXISTING FENCE LINE	X X X
MINIMUM BUILDING SETBACK LINE	MBSL
PHASE BOUNDARY	=====
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	-----
PROPOSED CONTOUR LINES	401
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W W
PROPOSED WATER	W W W

Developer/Owner: **Consolidated Development, LLC**
216 Noah Dr., Ste 100
Fenton, TN 37054
Contact: Harry Milgrom
Phone: 615-646-2342

Land Data:
38 Lots on 11.26 Acres

Deed Reference:
Tax Map 123 Parcel 2.0
R.O.W. 10' P.U. 2007

Zoning:
RS-10

Setbacks:
Front: 35'
Side: 10'
Rear: 25'

Flood Map:
No portion of this site lies within the 100 Year Flood Zone per Map 47146C02049H Dated January 5, 2007.

Approved by the Murfreesboro Planning Commission, with such conditions as are indicated in the minutes of the Commission on _____.

Preliminary Plat approval shall not constitute final approval for recording purposes.

SIC, Inc.
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
1505 MURFREESBORO BOULEVARD, SUITE 200
MURFREESBORO, TN 37132
PHONE: (615) 890-7900 FAX: (615) 898-2567
NO PORTION OF THE INFORMATION HEREON IS TO BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SIC, INC.

REVIEW SHEET
Not Internet-Ready

Cartlon Landing Section 2
Murfreesboro, Tennessee

Preliminary Plat

REVISED: 8-2002; Surf. Comments

DRAWN/SCALE/CHECKED
DATE: 7-16-20
FILE NAME: 10/06049H
SCALE: 1"=50'
JOB NO.: 10192
SHEET: 5 of 11

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: JAFAR WARE**

- 3.e. The Crossings of Three Rivers, Resubdivision of Lots 23 and 24 [2020-2055] final plat for 4 lots on 0.37 acres zoned PRD located along Hospitality Lane, Three Rivers, LLC developer. (Project Planner: Jafar Ware)**

This is the final plat review for the creation of 4 lots on 0.37 acres zoned PRD located along Hospitality Lane. The purpose of this plat is to re-subdivide Lots 23 and 24. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning 615-893-6441

Jafar Ware jware@murfreesborotn.gov

1. No Comments.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. No Comments.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.1403, tstevens@murfreesborotn.gov

1. No Comments.

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

William Steele, 615.663.1441, wsteele@ cudrc.com

1. A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review.
Digital copies can be emailed in pdf format to CUDengineering@cudrc.com.

Middle Tennessee Electric Membership Corporation

Josh Seng, 615.893.5514, josh.seng@ mtemc.com

1. No Comments.

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@ murfreesborotn.gov

1. No Comments.

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@ murfreesborotn.gov

1. No Comments.

Informational and Procedural Comments

Development Services – Planning 615-893-6441

Jafar Ware, jware@murfreesborotn.gov

1. Per the engineer's certification on this plan, this parcel lies in Zone X and is not included in areas designated as "Special Flood Hazard."
2. This site plan is not affected by the City's Major Transportation Plan.
3. The design engineer shall coordinate all sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
4. Designate an area on the plans for construction debris storage. Unkempt sites shall not be permitted and may be subject to stop-work orders.
5. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. No Comments.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No Comments.

Building and Codes Department

Kevin Jones, 615.893.3750, kevinjones@murfreesborotn.gov

1. No Comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.1403, tstevens@murfreesborotn.gov

1. No Comments.

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

William Steele, 615.663.1441, wsteele@ cudrc.com

1. No Comments.

Middle Tennessee Electric Membership Corporation

Josh Seng, 615.893.5514, josh.seng@ mtemc.com

1. No Comments.

Murfreesboro Fire and Rescue Department

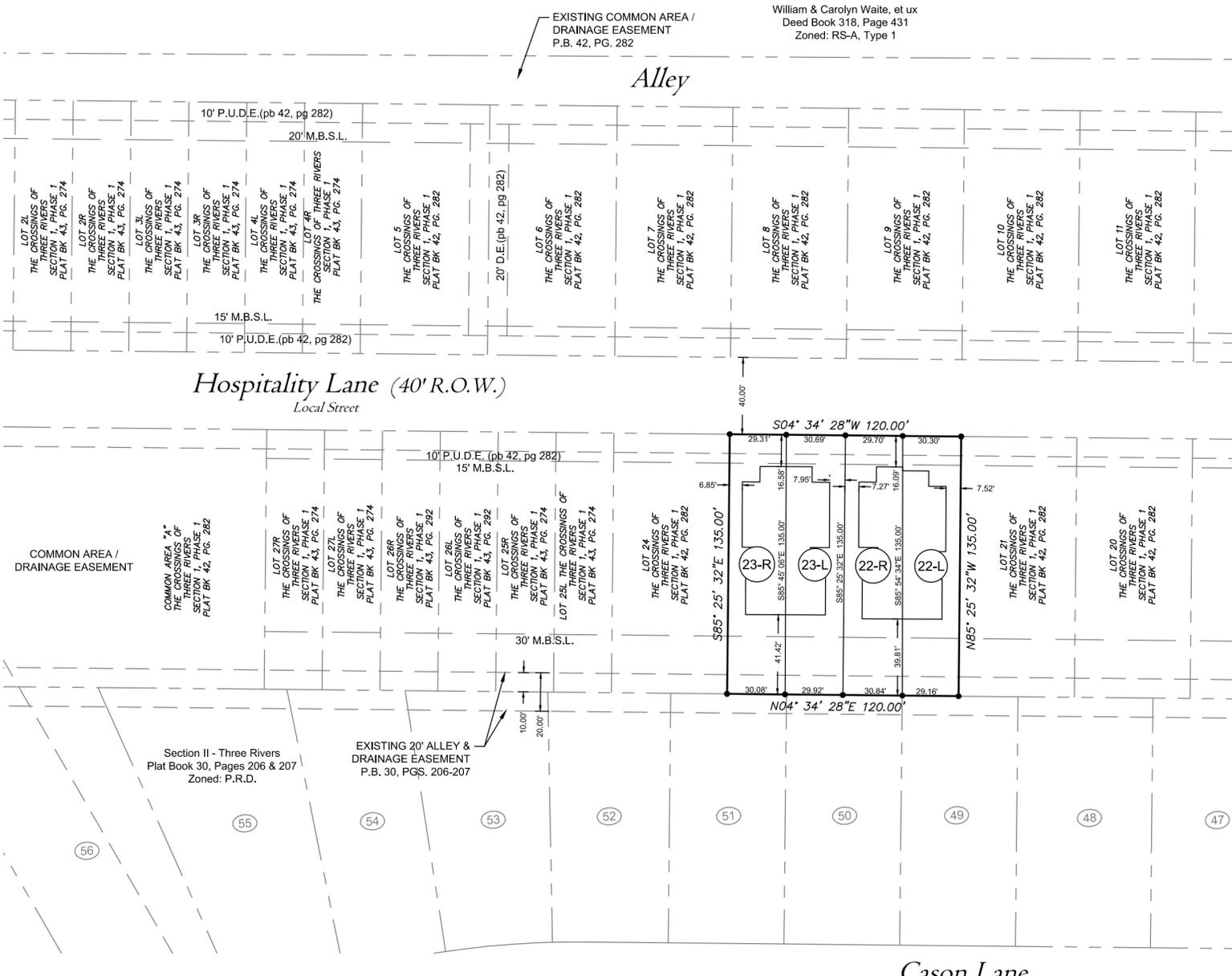
Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

1. No Comments.

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

1. No Comments.



Certificate of Ownership and Dedication - I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent and establish the minimum building restriction lines, and dedicate all streets, alleys, walks, and utilities therein, parks and other open spaces to public or private use as noted.

Date _____ Three Rivers, LLC
 Zachary Randolph, Vice President

Deed Book: 42

Page: 282

Certificate of Approval of Water Systems Located in the Water Service Jurisdiction of Consolidated Utility District of Rutherford County - I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County if they are more stringent, and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria, or (2) that a Surety for these improvements has been posted with the Consolidated Utility District of Rutherford County to assure completion of same.

Date _____ Consolidated Utility District Official

Certificate of Approval for Recording - I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register Of Deeds provided that it is so recorded within one year of this date.

Date _____ Planning Commission Secretary

Certificate of Approval of Sewer Systems - I hereby certify that: (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications, and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same, or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date _____ Murfreesboro Water Resources Official

William & Carolyn Waite, et ux
 Deed Book 318, Page 431
 Zoned: RS-A, Type 1

SITE DATA	
REFERENCE:	Plat Book 42, Pg. 282
TAX MAP, PARCELS:	Map 114F, Parcel 022.00 Map 114F, Parcel 023.00
ZONING:	PRD
OWNER/DEVELOPER:	Three Rivers, LLC
CONTACT:	Kevin Hyneman
ADDRESS:	2550 Meridian Blvd., Suite 200 Franklin, TN 37067
AREA OF LOTS:	0.37 AC.
AREA OF R.O.W.:	0.00 AC..

Certificate of Accuracy - I hereby certify that this is a category 1 survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown hereon. I also certify that the monuments have been or will be placed as shown hereon to the specifications of the City Engineer.

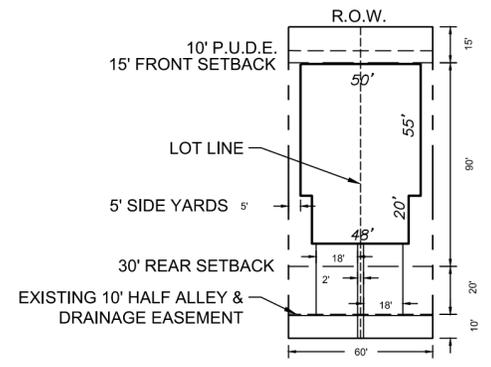
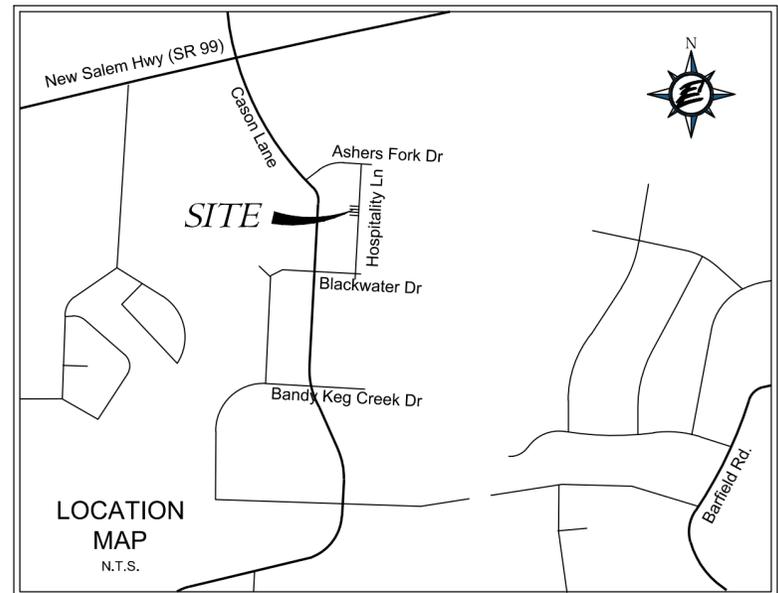
16 July 2020
 Date _____
 2220
 Tennessee Reg. No. _____



LEGEND

OVER HEAD UTILITIES	—OH—
EASEMENT	---
EXISTING PROPERTY LINE	----
UNDER GROUND TELEPHONE	—UGT—
WATER LINE	—W—
SANITARY SEWER LINE	—SA—
TREE LINE	~~~~~
FENCE LINE	—X—

Lot Table		
Lot	Square Feet	Acres
22-L	4013	0.09
22-R	4086	0.09
23-L	4091	0.09
23-R	4009	0.09



- PLAT NOTES**
- The purpose of this plat is to re-subdivide lots 22 & 23.
 - Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
 - It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from his structure to the drainage system constructed by the subdivision developer.
 - Parcels are subject to all easements as shown and any other easements, and/or restrictions by record or prescription, that a complete title search may reveal.
 - Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainageways; including, but not limited to, sanitary sewer, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines.
 - Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
 - This property is within the Salem/Barfield Sanitary Sewer Assessment District.
 - Water service, domestic and fire protection are provided by Consolidated Utilities District (C.U.D.) of Rutherford County, Tennessee.
 - No HVAC units will be permitted in the 5' side setback.
 - Garages will be restricted to vehicular parking as their primary use. All garages must be made available for the parking of two vehicles at all times.
 - The recording of this plat voids, vacates, and supercedes the previous recording of lots 22 and 23 Crossings of the Three Rivers recorded in Plat Book 42, Page 282. All other information remains the same.

SPECIAL NOTE:
 The Right of Way and P.U.D.E.s may not be used without the written permission of the developer until such time as Murfreesboro has accepted the streets for public use.

FINAL PLAT

RESUBDIVISION OF LOTS 22 & 23

THE CROSSINGS OF

THREE RIVERS SUBDIVISION

SECTION 1, PHASE 1

A PLANNED RESIDENTIAL DEVELOPMENT

12th CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

Date: 16 July 2020

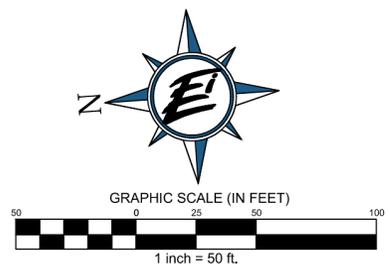
FIRM PANEL NO.:
 These lots are not included in areas designated as "Special Flood Hazard" on the National Flood Insurance Program community map 470165, Panel Nos. 0255H & 0265H, Zone X, Dated Jan. 5, 2007

Date of recording: _____

Time of recording: _____

Plat Book / Record book: _____

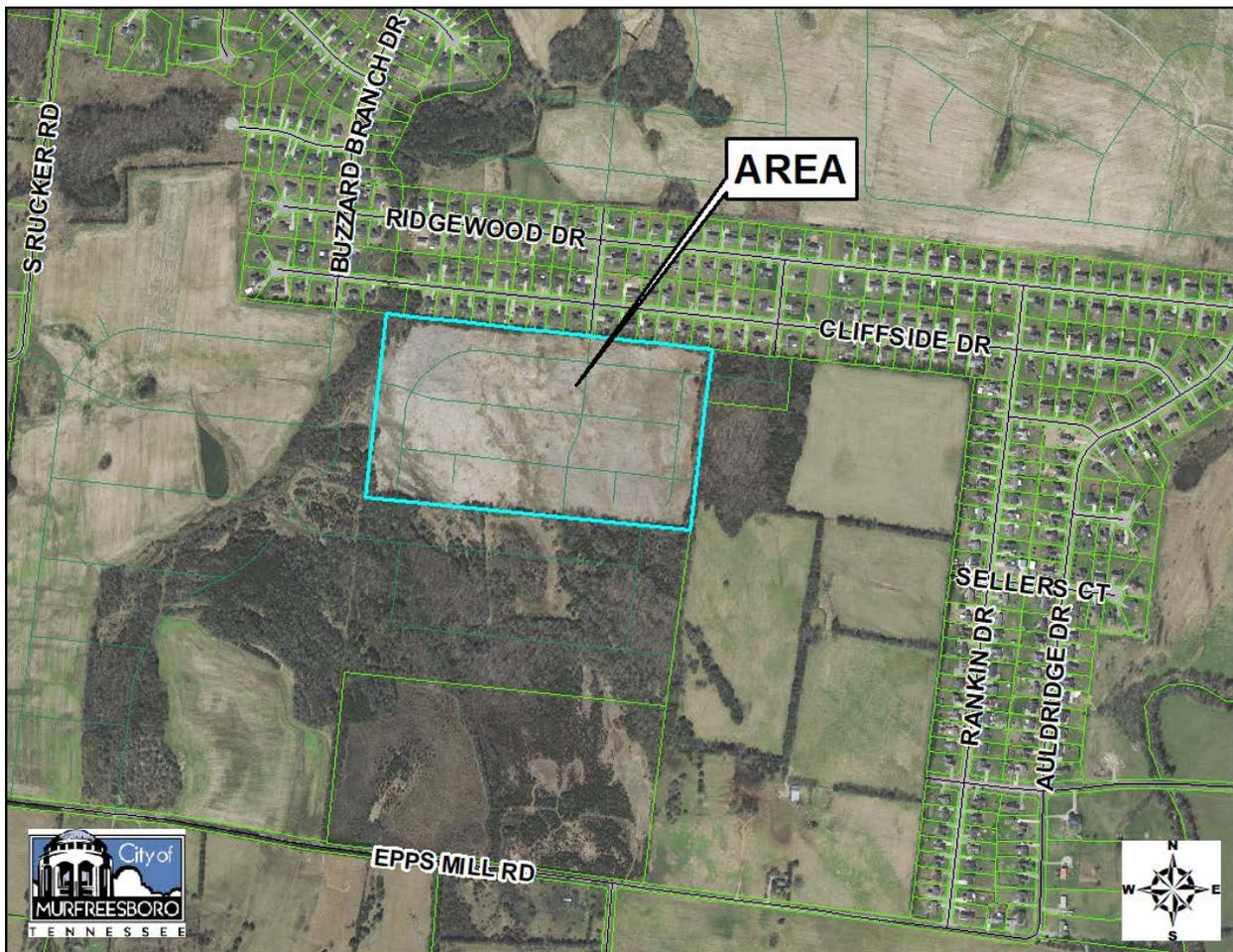
Page: _____



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: BRAD BARBEE**

3.f. Valley Farms, Section 1 [2020-2057] final plat for 36 lots on 10.87 acres zoned PUD (Rutherford County) and served as an outside the City sewer customer located along Dunbar Lane, Valley Farms Group, LLC developer.

This is the final plat review for Valley Farms, Section 1. The property is zoned PUD (Rutherford County). The purpose of this plat is to create thirty-six lots of record, two common space areas, and to record easements and dedicate right of way, as shown. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. Retitle the final plat, “Valley Farms Subdivision, Section 1”
2. Provide the title of the owner as it related to the development in the Certificate of Ownership and Dedication. Is “owner” the correct title for a member of an LLC?
3. In the location map, zoom in and enlarge the font size.
4. On lot 12, the setback line goes into the easement. Please correct.
5. Provide the typical driveway width on the plat (16ft minimum).
6. Send E911 approval for the new streets.
7. The clear space easements appear to be different sizes on different lots but are all dimensioned in the same in the detail. Please correct.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

No comments

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

1. Re-label 15’ easement as 15’ CUD water line easement.
2. Callout and label 10’x10’ CUD clear space esmt. (TYP). on plat.
3. Show proposed driveway locations on plat.
4. Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
5. A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to CUDengineering@cudrc.com.
6. Once water line construction is complete, show CUD clear space easements centered on actual water service locations. Actual locations will need to be field verified.

MTEMC

Josh Seng, 615.893.5514, josh.seng@mtemc.com

No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

No comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

1. Property is within the Buchanan/Elam assessment district. Add this note to the plat.
2. Add the Release & Covenant Not to Sue note to the plat:
 - Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
3. MWRD must receive surety prior to signing the plat.
4. Show driveways per approved construction plans.

Informational and Procedural Comments**Development Services – Planning**

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

Matthew Blomeley, 615.893.6441, mblomeley@murfreesborotn.gov

1. Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
2. This site plan is not affected by the City's Major Transportation Plan.
3. The design engineer shall coordinate all sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
4. Designate an area on the plans for construction debris storage. Unkempt sites shall not be permitted and may be subject to stop-work orders.
5. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
2. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
3. Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

No Comments

MTEMC

Josh Seng, 615.893.5514, josh.seng@mtemc.com

No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

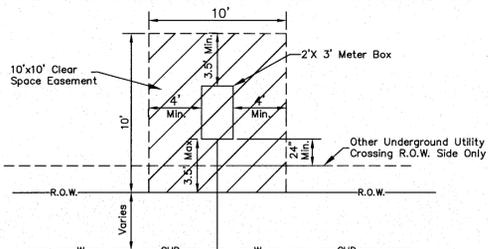
No comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

No comments

- PLAT NOTES:**
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in Excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
 - Underground utilities shown were located using available aboveground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be Present on this site or adjacent sites shall be confirmed with the utility owner prior to commencing any work.
 - It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
 - Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
 - This survey was performed using the following global positioning system (GPS) survey equipment: TOPCON Hiper Plus-Model J01-840-01 (Dual frequency). The GPS portion of this survey was performed using RTK (Real-Time Kinematic) surveying methods.
 - All surrounding property are Zoned "RM" per the Rutherford County Regional Planning Commission.
 - Permanent or temporary soil stabilization shall be applied to denuded areas within 15 days after final grade is reached on any portion of the site. Soil stabilization shall also be applied within 15 days to denuded areas which may not be at final grade, but will remain dormant (undisturbed) for longer than 60 days.
 - Properties adjacent to the site of land disturbance shall be protected from sediment deposition. This may be accomplished by preserving a well-vegetated buffer strip around the lower perimeter of the land disturbance; by installing perimeter controls such as sediment barriers, filters, or dikes, or sediment basins; or by a combination of such measures.
 - Per Consolidated Utility District of Rutherford County (CUD), all fire hydrants shall be placed in coordination with Consolidated Utility District.
 - Per Rutherford County Regional Planning Commission (RCRPC), a Homeowners Association (HOA) will be required. The HOA documents shall include language that the HOA will be responsible for the perpetual maintenance of all common areas. HOA documents are recorded in Record Book _____ Page _____. The Long-Term Maintenance Agreement is recorded in Record Book _____ Page _____. Per RCRPC, repair or maintenance of any improvements (i.e. driveways, landscaping, utility lines, retaining walls, mailboxes, etc.) located in a drainage easement due to ditch or culvert maintenance repairs is the responsibility of the property owner.
 - Minimum Pad Elevations (MPE) indicated are offered to provide direction to the homebuilder on affected lots to address localized drainage conditions.
 - Water line is shown for graphical purposes only. Please contact Consolidated Utility District for water line location, size, and placement of fire hydrants.
 - Per the City of Murfreesboro, property is within the Buchanan/Clam assessment district.
 - Per the City of Murfreesboro, under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
 - Driveways shown have not been located or installed at the signing of this plat and are shown per the City of Murfreesboro request.



NOTES:

- Clear Space to be void of drainage facilities, structures, driveways, mailboxes, sidewalks, trees, public utilities and utility service connections.
- Sewer service and trees to be located a minimum 10 feet away from water service.
- Other underground utility crossings shall comply with separation requirements outlined in C.U.D. Technical Specifications.

SINGLE FAMILY RESIDENTIAL METER CLEAR SPACE REQUIREMENT
N.T.S.

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open spaces to public or private use as noted.

Date: _____ Steve Knox-Owner

Record Book 1624, Page 3666
Record Book 1624, Page 3662

CERTIFICATE OF ACCURACY

I hereby certify that the plan shown and described hereon is true and correct survey to the accuracy required by the Rutherford County, Tennessee, Planning Commission and that the monuments have been placed as shown hereon to the specifications of the County Commissioners or the County Engineer.

Date: 8/5/2020
Phillip G. Chapman, Tenn. R.L.S. No. 2007

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for Rutherford County, Tennessee with the exception of such variances, if any, as are noted in the minutes of the planning commission and that it has been approved for recording in the office of the County Registrar.

Date: _____ SECRETARY, PLANNING COMMISSION

Certificate of Electric

Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's Requirements.

Date: _____ M.T.E.M.C. Official

CERTIFICATE OF APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the planning commission and that it has been approved for recording in the office of the Rutherford County Registrar of Deeds provided that it is so recorded within one year of this date.

Date: _____ SECRETARY, PLANNING COMMISSION

Certificate of Water Service

I hereby certify that the subdivision plat entitled "Section I Valley Farms" has been approved by the engineers for Consolidated Utility District of Rutherford County (CUDRC) for water service, provided, however, that the lines, valves, and fittings must be installed in accordance with Consolidated Utility District of Rutherford County (CUDRC) specifications as determined by its engineers. No water service will be provided until that certification has been made in writing.

Date: _____ Consolidated Utility District Official

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I hereby certify that: (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with City codes and specifications and the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date: _____ Murfreesboro Water Resources Official



CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	BEARING
C1	0°57'24"	385.00'	6.43'	6.43'	S6°45'42"W
C2	8°13'27"	385.00'	55.26'	55.22'	S11°21'08"W
C3	5°27'02"	385.00'	36.63'	36.61'	S18°11'23"W
C4	8°7'45'07"	25.00'	38.29'	34.65'	S22°57'40"E
C5	18°52'47"	275.00'	81.02'	80.72'	S75°16'38"E
C6	18°14'44"	325.00'	103.49'	103.06'	N74°35'38"W
C7	79°34'11"	25.00'	34.72'	32.00'	S74°44'39"W
C8	16°19'27"	385.00'	109.69'	109.32'	S43°07'17"W
C9	16°04'26"	325.00'	91.18'	633.88'	S59°19'13"W
C10	9°37'54"	325.00'	54.63'	1314.29'	S72°10'23"W
C11	8°59'23"	325.00'	50.99'	659.97'	S81°29'02"W
C12	10°09'46"	325.00'	57.65'	63.94'	N88°56'23"W
C13	0°08'30"	325.00'	0.80'	0.80'	N83°47'15"W
C14	90°00'00"	25.00'	39.27'	35.36'	S51°17'00"W
C15	90°00'00"	25.00'	39.27'	35.36'	N38°43'00"E
C16	90°00'00"	25.00'	39.27'	35.36'	N51°17'00"E
C17	90°00'00"	25.00'	39.27'	35.36'	S38°43'00"E
C18	1°43'50"	275.00'	8.31'	8.31'	S84°34'54"E
C19	16°59'46"	275.00'	81.58'	81.28'	N86°03'18"E
C20	13°41'26"	275.00'	65.71'	67.05'	N58°07'44"E
C21	12°56'31"	335.00'	75.86'	75.70'	N44°47'45"E
C22	10°74'50"	25.00'	47.01'	40.38'	N15°33'28"W
C23	14°17'38"	275.00'	68.61'	68.43'	N76°34'10"E
C24	8°15'25"	325.00'	46.84'	46.80'	S79°35'17"E
C25	8°26'27"	325.00'	47.88'	47.84'	S71°42'21"E
C26	93°22'50"	25.00'	40.74'	36.38'	N66°17'28"E
C27	13°19'03"	335.00'	77.87'	77.69'	N12°56'32"E

LINE TABLE

LINE	BEARING	LENGTH
L1	S83°43'00"E	7.50'
L2	S83°43'00"E	23.77'
L3	S67°00'00"	10.22'
L4	N51°17'00"E	18.15'
L5	N51°17'00"E	58.53'
L6	S83°43'00"E	8.33'

RESERVED FOR FUTURE DEVELOPMENT

OWNER/DEVELOPER: VALLEY FARMS GROUP, LLC
ATTN: STEVE KNOX
ADDRESS: PO BOX 12164
MURFREESBORO, TN 37129

TAX MAP 157, PARCEL 7.00
RECORD BOOK 1624, PAGE 3666

I hereby certify that this is a category "I" survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown hereon and that this survey was done in compliance with current Tennessee Minimum Standards of Practice for Land Surveyors.

8/5/2020

PHILLIP G. CHAPMAN
REGISTERED LAND SURVEYOR
TENNESSEE No. 2100

DATE OF RECORDING: _____
TIME OF RECORDING: _____
PLAT BOOK: _____, PAGE: _____

FINAL PLAT SECTION I VALLEY FARMS

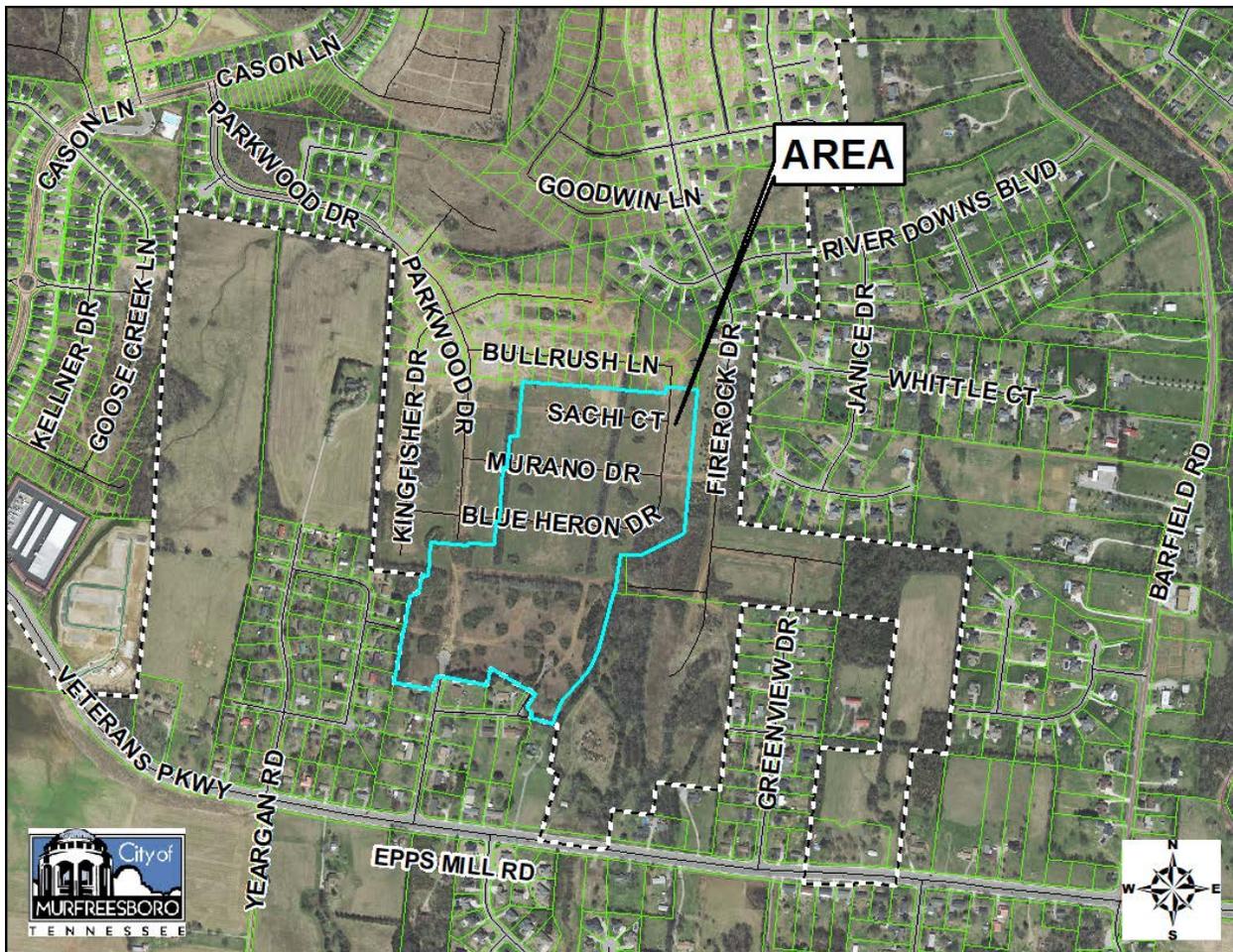
25TH CIVIL DISTRICT OF RUTHERFORD COUNTY, TENNESSEE

DATE: JUNE 2020 SCALE: 1" = 50' SHEET 1 OF 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: BRAD BARBEE**

- 3.g. Rivers Edge, Section 3, Phase 2 [2020-2058] final plat for 66 lots on 20.15 acres zoned RS-10 located along Blue Heron Drive and Murano Drive, Rivers Edge Investments, LLC developer.**

This is the final plat review for Rivers Edge, Section 3, Phase 2. The property is zoned RS-10. The purpose of this plat is to create sixty-six lots of record, two common areas, and to record easements and dedicate right of way, as shown. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. Show the minimum building setbacks lines on lots 159-166
2. Should common area 3 be labeled as common area 2? Where is the second common area in this section?
3. Add a note that the required landscaping must be installed and accepted prior to signing the final plat.
4. Are the driveway locations shown practical? Will they work with the building envelopes? Should they be in alignment with the building envelopes?
5. Move the proposed driveway location for lot 185 further away from the intersection.
6. Change the street classification to Local Street instead of Local.
7. Provide a legible location map.
8. Use the title block provided in the City of Murfreesboro Subdivision Regulations for the Certificate of Approval of Water Systems located in the Water Service Jurisdiction of Consolidated Utility Service District of Rutherford County.
9. What is the unidentified line on lot 177?

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

No comments

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

1. Lot numbers do not match CUD water plans. Submit updated CAD file and construction plans to CUDengineering@cudrc.com for review.
2. Show 10'x10' CUD clear space easement on plat.
3. Water line construction must be completed and accepted by CUDRC before signature of Final Plat.
4. A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to CUDengineering@cudrc.com.

5. Once water line construction is complete, show CUD clear space easements centered on actual water service locations. Actual locations will need to be field verified.

MTEMC

Josh Seng, 615.893.5514, josh.seng@mtmc.com

No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

No comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

No comments

Informational and Procedural Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

Matthew Blomeley, 615.893.6441, mblomeley@murfreesborotn.gov

1. Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
2. This site plan is not affected by the City's Major Transportation Plan.
3. The design engineer shall coordinate all sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
4. Designate an area on the plans for construction debris storage. Unkempt sites shall not be permitted and may be subject to stop-work orders.
5. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.

2. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
3. Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

No Comments

MTEMC

Josh Seng, 615.893.5514, josh.seng@mtemc.com

No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

No comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

No comments



CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date: _____
 Record Book 1921, Page 2235
 Rivers Edge Investments, LLC
 Jeff Moody, Manager/Owner

CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plan shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date: _____
 SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
 I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications, or the specifications of the Consolidated Utility District of Rutherford County if they are more stringent; and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria.

Date: _____
 CONSOLIDATED UTILITY DISTRICT OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I hereby certify that: (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the Tennessee Department of Environment and Conservation, Design Criteria for Sewer Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to ensure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date: _____
 MURFREESBORO WATER RESOURCES DEPARTMENT OFFICIAL

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER
 I hereby certify that the subdivision shown hereon has been approved by the Murfreesboro Electric Department (MED) for electric power service, that the subdivision is within the service area of MED, and that MED is able to provide electric power service to all developments of more than one acre. This development will require a permit to be provided to the City's Environmental Engineer prior to construction progressing. This development will require a State of Tennessee Construction General Permit.

Date: _____
 MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE
 I hereby certify that: (1) the streets, drainage structures, drainage improvements, and stormwater quality control for the subdivision shown hereon have been installed in accordance with city specifications; or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date: _____
 CITY ENGINEER

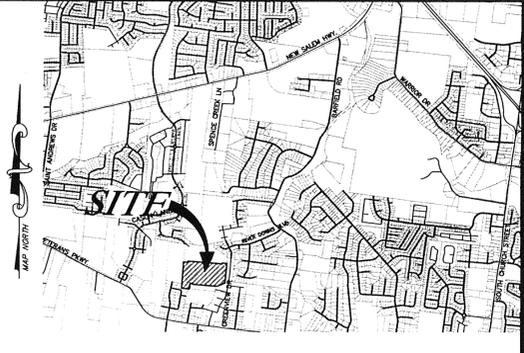
LINE TABLE

LINE	BEARING	LENGTH
L1	S85°18'01"E	29.87'
L2	N85°18'01"W	32.15'
L3	S85°18'01"E	3.65'
L4	N85°18'01"W	13.37'
L5	S85°18'01"E	28.20'
L6	S85°18'01"E	25.20'
L7	S85°18'01"E	22.20'
L8	S85°18'01"E	19.20'
L9	S85°18'01"E	16.20'
L10	S85°18'01"E	13.20'
L11	S85°18'01"E	10.20'
L12	S85°18'01"E	21.40'
L13	S05°18'37"W	21.97'
L14	S85°18'01"E	12.80'
L15	S85°18'01"E	32.41'
L16	S63°15'39"W	17.12'
L17	S85°18'01"E	28.96'
L18	N04°45'07"E	17.73'

CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD BRC.	CHORD DIST.
C1	89°23'22"	25.00'	39.00'	N50°00'18"E	35.17'
C2	45°34'23"	50.00'	39.77'	N62°30'50"W	38.73'
C3	60°14'17"	50.00'	52.57'	S87°47'51"E	50.18'
C4	45°50'04"	50.00'	40.00'	N39°09'58"E	38.94'
C5	46°53'07"	50.00'	40.92'	N07°11'37"W	39.78'
C6	47°09'23"	50.00'	41.15'	N54°12'32"W	40.00'
C7	53°04'51"	50.00'	46.32'	N03°40'01"E	44.68'
C8	45°34'23"	50.00'	39.77'	N71°54'48"E	38.73'
C9	90°36'38"	25.00'	39.54'	N39°59'42"W	35.54'
C10	89°23'22"	25.00'	39.00'	N50°00'18"E	35.17'
C11	90°36'38"	25.00'	39.54'	N39°59'42"W	35.54'
C12	18°43'47"	210.00'	68.65'	N14°40'31"E	68.34'
C13	34°20'15"	210.00'	125.85'	N41°12'32"E	123.98'
C14	34°11'01"	210.00'	125.29'	N25°28'01"E	123.44'
C15	02°08'18"	210.00'	7.84'	S86°22'10"E	7.84'
C16	10°18'57"	250.00'	45.01'	N89°32'30"E	44.95'
C17	15°28'54"	250.00'	67.55'	N76°38'35"E	67.35'
C18	48°09'08"	250.00'	210.10'	N44°49'34"E	203.98'
C19	15°10'24"	250.00'	66.21'	N13°09'48"E	66.01'
C20	02°15'59"	250.00'	11.81'	N05°26'36"E	11.67'
C21	175°7'04"	50.00'	15.67'	N48°42'10"W	15.60'

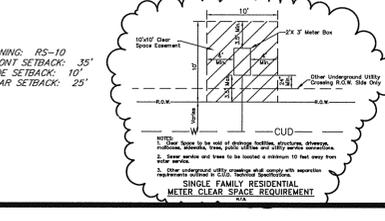
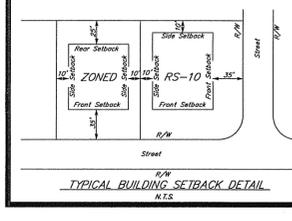
CERTIFICATE OF ACCURACY - I hereby certify that this is a category "T" survey and the ratio of precision of the survey is 1:20,000 as shown hereon and that this survey was done in compliance with current Tennessee Minimum Standards of Practice for Land Surveyors. I also certify that the monuments have been or will be placed as shown hereon to the specifications of the City Engineer.



LOCATION MAP
 N.T.S.

PLAT NOTES

- The purpose of this plat is to create 66 lots of record, 2 common areas for stormwater detention, right-of-way and to record easements as shown.
- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
- It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the house, from his structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription. A complete title search should be conducted with the utility owner prior to commencing any work.
- Public utility and drainage easements shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways, including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines. Easements in this subdivision may not be infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction.
- Water, sewer, domestic and fire protection, are provided by Consolidated Utility District (C.U.D.). The owner/developer should contact C.U.D. for related fees to project which may be substantial. All main waterline taps are to be made by C.U.D. See plans by C.U.D. for Water Line Line Construction. Water line construction must be completed and accepted by CUDRC before signature of Final Plat. A hard copy or digital print of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed to CUDengineering@curd.com.
- It is the responsibility of the owner/developer to obtain all necessary permits from the State of Tennessee Construction General Permit is required. Evidence of this permit must be provided to the City's Environmental Engineer prior to construction progressing. This development will require a State of Tennessee Construction General Permit.
- A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer. Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.
- An erosion prevention and sediment control plan will be required with an application for a Land Disturbance Permit. This plan will include a temporary sediment basin.
- Final approval subject to approval of construction drawings and hydraulic calculations by M.W.S.D.
- Property is within the Sevier/Barfield Assessment District.
- Sidewalks indicated on the plat of this subdivision shall be the responsibility of the future owners (not the developer) of the adjoining lots to construct. However, the sidewalks in front of all common areas shall be constructed by the subdivision developer.
- Per this City of Murfreesboro, this development is required to comply with the City's Stormwater Quality Requirements. Prior to any permit submitted to the Planning and Engineering Department that demonstrates compliance with the Quality Requirements and submit a Stormwater Management Record Sheet. Submit an EPC inspection report prior to signing of final plat. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan and Agreement. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a signed stormwater post-construction BMP maintenance agreement.
- Per the City of Murfreesboro, grading on lots must be complete before release of building permits.
- Per the City of Murfreesboro, geotechnical reports on lots will file will be required prior to release of building permits.
- Per the City of Murfreesboro, in accordance with TCA Section 75-59-10(b)(1), Competitive Bid and Video Services Act, in cases of new construction or property development where utilities are to be placed underground, the installer or property owner shall give all providers of cable or video services the City of Murfreesboro dates on which trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals, referred to as "equipment", to be provided at each such providers' expense.
- Per the City of Murfreesboro, under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of existing elevation of the nearest manhole the upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and estimate the cost of a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- Per the City of Murfreesboro, public infrastructure except final easement must be accepted by City prior to platting into warranty period and signing the final plat.
- Any street in this subdivision may be extended into adjoining property at any time without additional notice or consultation.
- The streets identified on the plat may be constructed or reconstructed in the future without consultation or notice to the Owners of the lots in the subdivision.
- A mandatory owners association is required as a condition of approval in order to meet obligations established by the Developer. The common areas shown on this subdivision shall be the responsibility of the owners association to maintain.
- Per the City of Murfreesboro, sidewalks adjacent to common areas are to be constructed by the roadway contractor.
- Per the City of Murfreesboro, a licensed surveyor will be required to lay out the footing for lots 172-177, and 204 and the surveyor must provide written confirmation that there are no encroachments into easements or setbacks.
- Per the City of Murfreesboro, new development, new development including increase of 10,000 square feet of impervious area, on a lot or within a common plan of design standards.
- Minimum Pad Elevations (MPE's) indicated are offered to provide direction to the home builder on affected lots to address localized drainage conditions.
- The required landscaping for Common Areas 1 and 3 must be installed and possess inspection prior to the City signing the Final Plat.
- MWRD must receive surety prior to signing the Final Plat.
- The recorded documents that affect the Homeowners Association are: Record Book 1729, Pages 1304-1308; Record Book 1077, Pages 3423-35; and Record Book 1921, Page 2225.



Rivers Edge Investments, LLC
 Record Book 1921, Page 2235
 (Tract 2)

Lot No.'s	Minimum Building Pad Elevation	Minimum Finish Floor Elevation
180	631.0	632.0
181	630.5	631.5
182	630.5	631.5
158	629.0	630.0

Alcorn Properties, LLC
 (Record Book 1715, Page 3135)
 Zoned: RS-10 (City)

- LEGEND**
- IPS ○ IRON PIN SET (1/2" REBAR WITH STAMPED PLASTIC CAP)
 - IPF ○ IRON PIN FWD (size and desc. stated)
 - RAILROAD SPIKE
 - * FENCE
 - SURVEY POINT
 - △ NAIL
 - CONC. MARKER FND.

OWNER: Rivers Edge Investments, LLC
 ADDRESS: P.O. Box 38
 Bradyville, TN 37026-0038
 Part of Tax Map 124, Parcel 8.00
 Record Book 1921, Page 2235 (Tract 1)

THESE PARCELS ARE NOT INCLUDED IN AREAS DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY-PANEL NOS. 470165, 0265H & 0270H ZONE: X, DATED JANUARY 05, 2007.

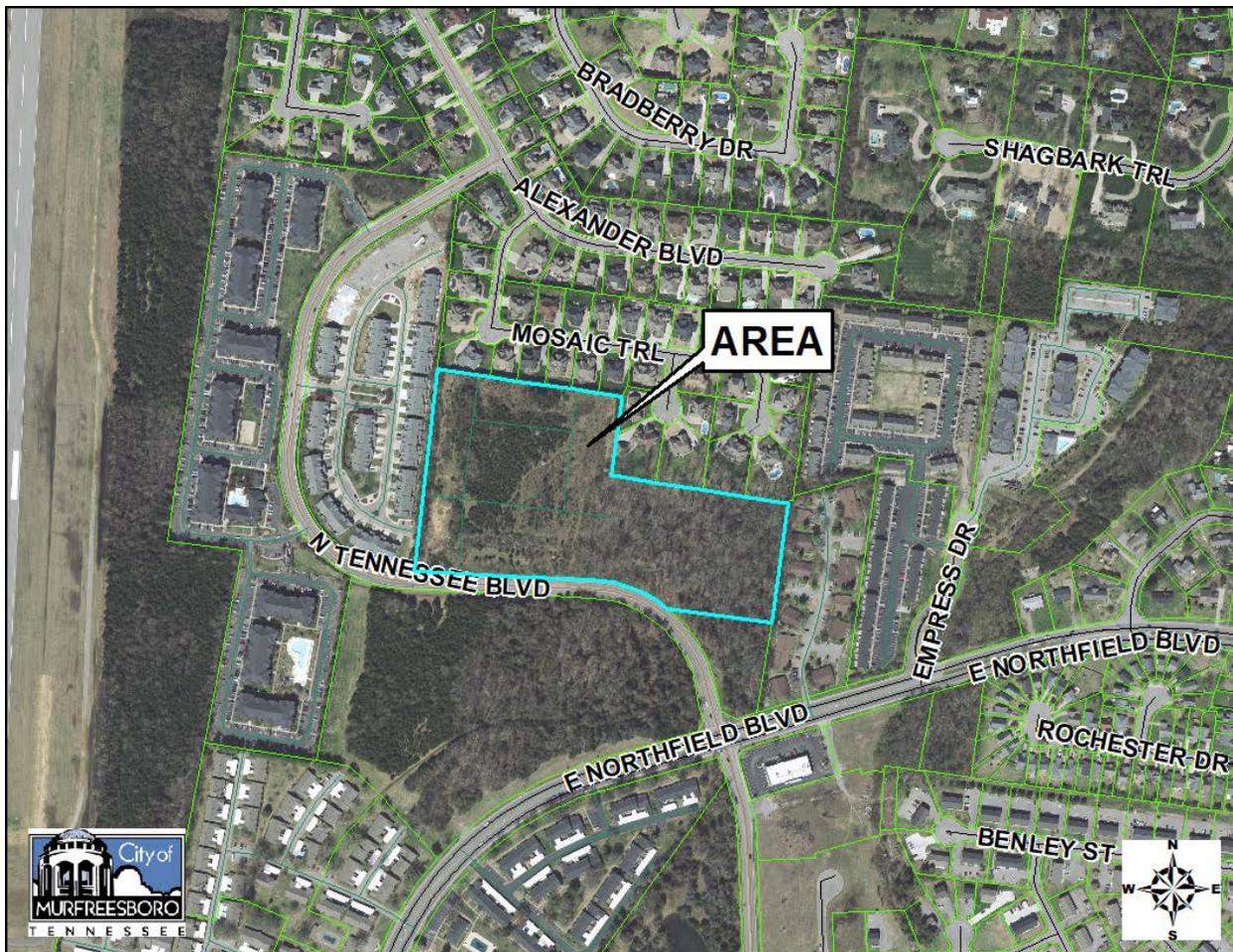


FINAL PLAT
RIVERS EDGE
SUBDIVISION
 SECTION III, PHASE II
 13th Civil District of Rutherford County, Tennessee
 Date: May, 2020 Scale: 1"=50' Sheet 1 of 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: BRAD BARBEE**

3.h. Brookwood Pointe [2020-2065] final plat for 1 lot on 13.93 acres zoned PRD located along North Tennessee Boulevard, Ole South Properties developer.

This is the final plat review for Brookwood Pointe. The property is zoned PRD. The purpose of this plat is to create one lot of record, and to record easements as shown. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. Change the street name to North Tennessee Boulevard.
2. Add additional drainage easement labels in the area of Northwoods lots 401 & 402.
3. Confirm the utility district provider for water service and change the certification if necessary.
4. Confirm that Mr. Dan Bobo is the correct person to sign for Ole South.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

No comments

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, [bhunter@cudrc.com](mailto:bhunter@ cudrc.com)

No comments

MTEMC

Josh Seng, 615.893.5514, josh.seng@mtmc.com

No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

No comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

1. MWRD must receive surety prior to signing the plat.

Informational and Procedural Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

Matthew Blomeley, 615.893.6441, mblomeley@murfreesborotn.gov

1. Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
2. This site plan is not affected by the City's Major Transportation Plan.
3. The design engineer shall coordinate all sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
4. Designate an area on the plans for construction debris storage. Unkempt sites shall not be permitted and may be subject to stop-work orders.
5. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
2. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
3. Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

No Comments

MTEMC

Josh Seng, 615.893.5514, josh.seng@ mtemc.com

No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@ murfreesborotn.gov

No comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@ murfreesborotn.gov

No comments

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, UTILITIES THEREIN, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.

DATE: RECORD BOOK 1847, PAGE 3177
 MAP 81, PARCEL 100
 OLE SOUTH PROPERTIES, INC.
 DAN BOBO, MEMBER

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1 TO 10,000 OR GREATER AS SHOWN HEREON. I ALSO CERTIFY THAT THE MONUMENTS HAVE BEEN, OR WILL BE, PLACED AS SHOWN TO THE SPECIFICATIONS OF THE CITY ENGINEER.

SEC. INC. **David A. Parker**
 8-5-20
 REGISTERED SURVEYOR
 DATE: 2381
 TENN. R.L.S. No. 2381



CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE RUTHERFORD COUNTY HEALTH DEPARTMENT.

DATE: MURFREESBORO WATER RESOURCES OFFICIAL

CERTIFICATE FOR APPROVAL OF WATER SYSTEMS
 CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY WATER SERVICE JURISDICTION

I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE WATER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS, OR THE SPECIFICATIONS OF THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY IF THEY ARE MORE STRINGENT, AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY TO ASSURE COMPLETION OF SAME.

DATE: CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY OFFICIAL

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT (MED) FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLYING WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.

DATE: MURFREESBORO ELECTRIC DEPARTMENT OFFICIAL

CERTIFICATE OF THE APPROVAL OF STREETS AND DRAINAGE

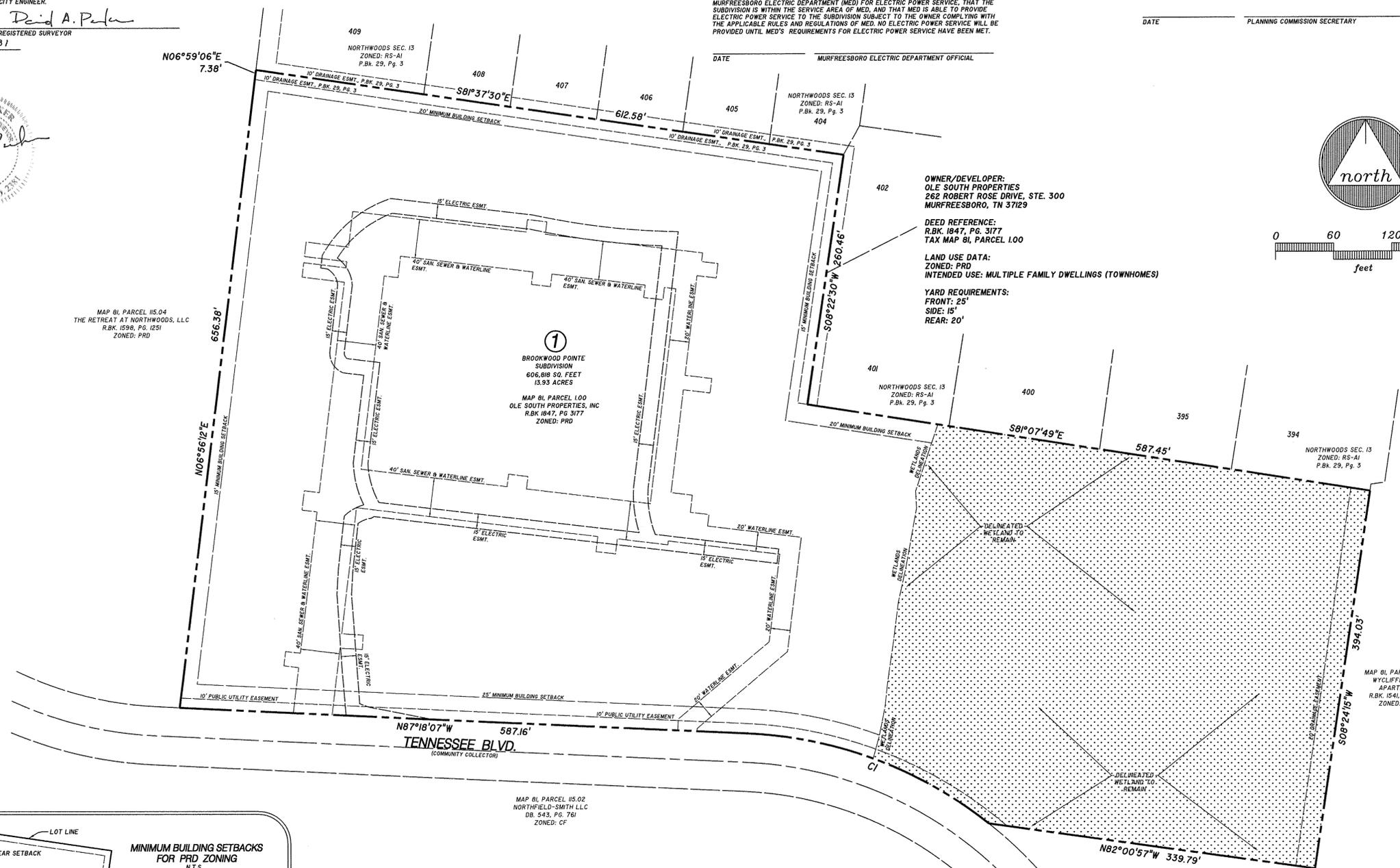
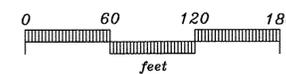
I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, DRAINAGE IMPROVEMENTS, AND STORMWATER QUALITY CONTROLS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME.

DATE: CITY ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RUTHERFORD COUNTY REGISTER OF DEEDS PROVIDED THAT IT IS SO RECORDED WITHIN ONE YEAR OF THIS DATE.

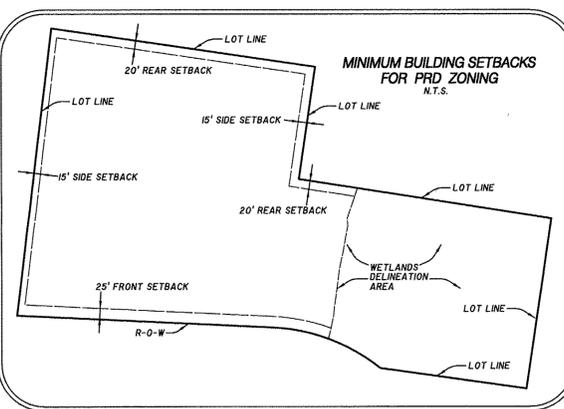
DATE: PLANNING COMMISSION SECRETARY



MAP 81, PARCEL 115.04
 THE RETREAT AT NORTHWOODS, LLC
 R.B.K. 1598, PG. 1251
 ZONED: PRD

OWNER/DEVELOPER:
 OLE SOUTH PROPERTIES
 262 ROBERT ROSE DRIVE, STE. 300
 MURFREESBORO, TN 37129
 DEED REFERENCE:
 R.B.K. 1847, PG. 3177
 TAX MAP 81, PARCEL 100
 LAND USE DATA:
 ZONED: PRD
 INTENDED USE: MULTIPLE FAMILY DWELLINGS (TOWNHOMES)
 YARD REQUIREMENTS:
 FRONT: 25'
 SIDE: 15'
 REAR: 20'

- GENERAL NOTES**
- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 1 LOT OF RECORD AND TO RECORD EASEMENTS AS SHOWN.
 - BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES TIED TO TDOT GPS NETWORK (NAD 83-96).
 - THIS PROPERTY LIES WITHIN ZONE X, NOT IN A SPECIAL FLOOD HAZARD AREA, AS DETERMINED FROM ELEVATIONS SHOWN ON FEMA FIRM MAPS FOR RUTHERFORD COUNTY, MAP NO. S 4748C003 H 8 4748C003 H, EFFECTIVE DATE JANUARY 5, 2007.
 - THIS SURVEYOR HAS NOT PHYSICALLY LOCATED ALL OF THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OR THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. AVAILABILITY AND LOCATION OF UTILITIES SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
 - NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR, THEREFORE, THIS PROPERTY IS SUBJECT TO THE FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH.
 - THE SOILS MATERIALS ON LOTS SHOWN HEREON MAY BE DISTURBED BY CUTTING OR FILLING OPERATIONS PERFORMED DURING OR BEFORE DEVELOPMENT; THEREFORE, THE BUILDER OF ANY PROPOSED STRUCTURE SHALL INVESTIGATE THE CURRENT CONDITIONS AND CONSULT WITH A GEOTECHNICAL EXPERT OR OTHER QUALIFIED PERSON AS HE DEEMS APPROPRIATE TO ASSURE HIMSELF THAT THE DESIGN OF THE PROPOSED FOUNDATION IS ADEQUATE.
 - IT IS THE RESPONSIBILITY OF EACH LOT BUYER OR BUILDER TO DESIGN AND CONSTRUCT IN ACCORDANCE WITH A SUITABLE GRADING AND DRAINAGE PLAN WHICH WILL CONVEY SURFACE WATER, WITHOUT FLOODING IN THE LOT OR UNDER THE BUILDING, FROM THE BUILDING SITE TO THE DRAINAGE SYSTEM CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
 - PUBLIC UTILITY EASEMENTS AS SHOWN ARE INTENDED FOR NON-EXCLUSIVE USE BY UTILITIES SUCH AS MURFREESBORO ELECTRIC DEPARTMENT, NATURAL GAS COMPANIES, AT&T, CABLE TELEVISION SERVICES AND OTHERS.
 - UNDER THE CURRENT ADOPTED PLUMBING CODE, THE CITY OF MURFREESBORO REQUIRES THE MINIMUM FLOOR ELEVATION (M.F.E.) TO BE SET AT OR ABOVE THE TOP OF CASTING ELEVATION OF THE NEAREST MANHOLE THAT IS UPSTREAM OF THE SEWER SERVICE CONNECTION. AS AN ALTERNATIVE, THE HOME OWNER SHALL INSTALL A BACKWATER VALVE PER THE PLUMBING CODE AND EXECUTE AND RECORD A RELEASE OF INDEMNIFICATION AGAINST THE CITY OF MURFREESBORO WITH REGARDS TO THE SANITARY SEWER CONNECTION. THE HOME BUILDER AND/OR HOME OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THIS REQUIREMENT.
 - ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
 - THE STREETS IDENTIFIED ON THIS PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
 - EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.



CURVE DATA

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	TANGENT	CRD BEARING	CRD LENGTH
CI	035°55'02"	430.00'	269.55'	139.37'	169°20'56"W	265.16'

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK _____, PAGE _____

FINAL PLAT

LOT ONE
BROOKWOOD POINTE
SUBDIVISION

CITY OF MURFREESBORO, TENNESSEE
 13th CIVIL DISTRICT OF RUTHERFORD COUNTY

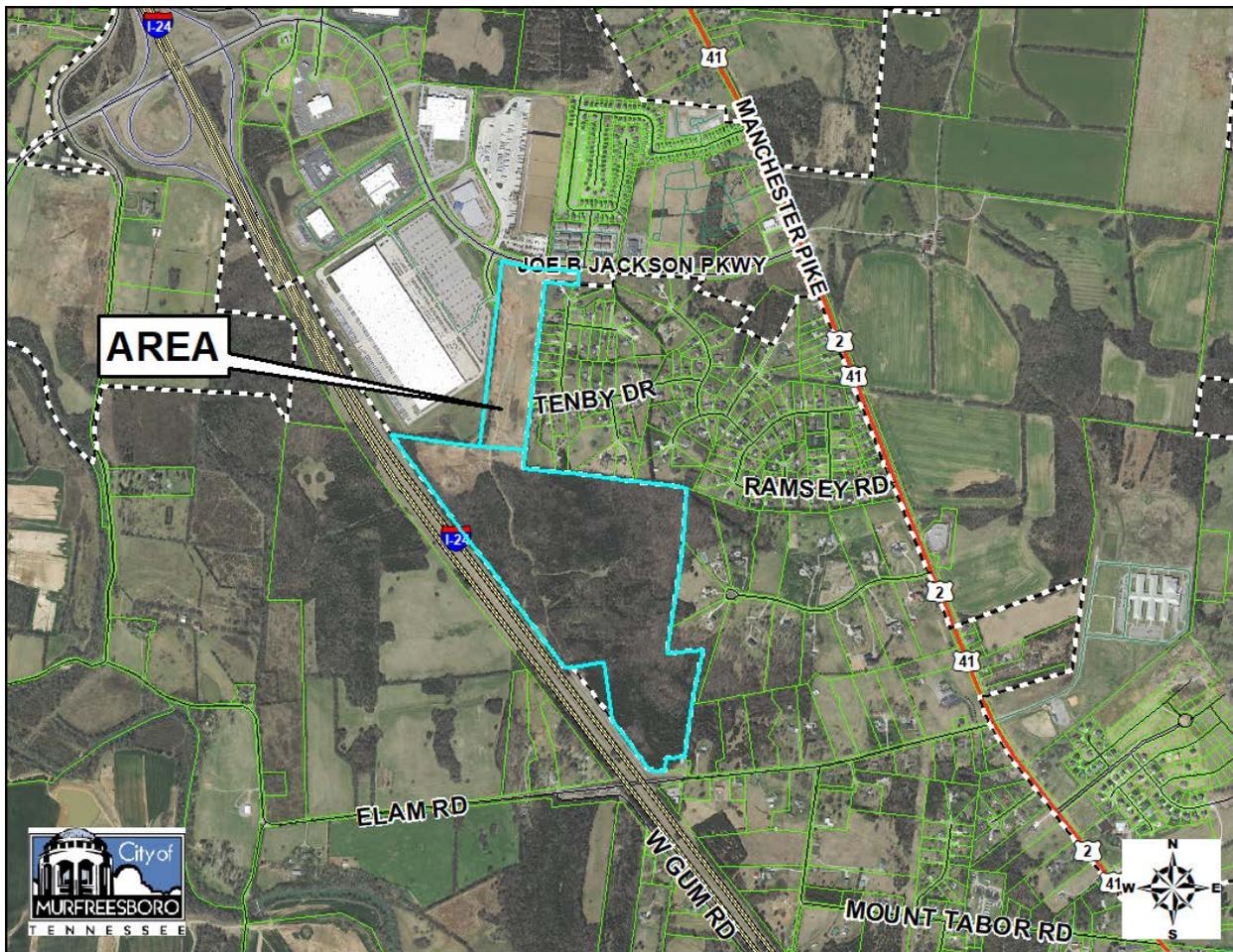
SEC, Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 WWW.SEC-CIVIL.COM
 850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
 PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 96199	DATE: 7/15/2020 REV: 6/4/2020	FILE: 96199-BROOKWOOD POINT RECORD LOT PLAT	DRAWN BY: ATS	SCALE: 1" = 60'	SHEET 1 OF 1
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**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: BRAD BARBEE**

- 3.i. Parkway Place, Section 2 [2020-2069] final plat for 5 lots on 20.88 acres zoned PID located along Richard Reeves Drive, Swanson Development, LP developer.**

This is the final plat review for Parkway Place, Section 2. The property is zoned PID. The purpose of this plat is to create five lots of record, two common area lots, and to record easements and right of way as shown. Staff recommends that any approval of this final plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. Common area C is landlocked. Combine with lot 10.
2. Provide a maintenance agreement specifying who will maintain the common area.
3. Replace the current Certificate of Approval for Electric Power with the one provided in the Murfreesboro Subdivision Regulations.
4. Confirm the title for Mrs. Deborah Kirk as it relates to the partnership.
5. Provide the certificate for CUD instead of MWRD for water service.
6. Fill in the blanks for Section 1 plat book and page number references.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Drainage infrastructure constructed with phase 2 but located in the “to be developed” area should still be placed in a public drainage easement.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, [bhunter@cudrc.com](mailto:bhunter@ cudrc.com)

1. Show additional 40'x40' CUD water line easement for each water stub out location along Richard Reeves Drive.
2. A hard copy or digital copy of the Final Plat is to be submitted to CUDRC for final review. Digital copies can be emailed in pdf format to CUDengineering@cudrc.com.
3. Water line construction must be completed and accepted by CUDRC before signature of Final Plat.

MTEMC

Josh Seng, 615.893.5514, josh.seng@mtmc.com

No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

No comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

1. Show dedicated parcel for MWRD pump station.
2. MWRD must receive surety prior to signing the plat.

Informational and Procedural Comments

Development Services – Planning

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

Matthew Blomeley, 615.893.6441, mblomeley@murfreesborotn.gov

1. Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
2. This site plan is not affected by the City's Major Transportation Plan.
3. The design engineer shall coordinate all sidewalk locations with utility providers. Elimination of conflicts is the responsibility of the developer.
4. Designate an area on the plans for construction debris storage. Unkempt sites shall not be permitted and may be subject to stop-work orders.
5. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
2. Prior to submitting the final plat to the Planning and Engineering Department for signatures, submit a Stormwater Facilities Operation and Maintenance Plan.
3. Prior to submitting the final plat to the Planning and Engineering Department for signatures, provide a signed stormwater post-construction BMP maintenance agreement.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

No Comments

MTEMC

Josh Seng, 615.893.5514, josh.seng@ mtemc.com

No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

No comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

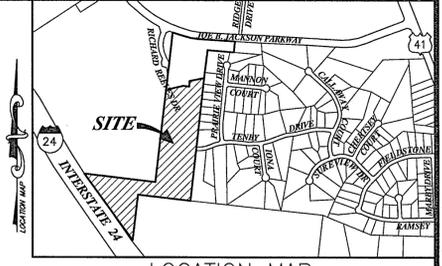
No comments

CURVE TABLE					
CURVE	DELTA	RADIUS	ARC	CHORD	BEARING
C1	22°44'47"	283.71'	112.63'	111.89'	N13°30'48"W
C2	5°58'13"	326.65'	34.04'	34.02'	N1°10'09"E
C3	5°46'53"	220.00'	22.20'	22.19'	N0°49'34"E
C4	3°28'41"	9309.60'	565.10'	565.02'	S35°48'34"E
C5	3°02'35"	220.00'	11.66'	11.66'	N5°14'18"E
C6	84°34'14"	36.00'	53.14'	48.44'	N55°09'25"E
C7	82°58'22"	25.00'	36.20'	33.12'	S54°21'29"W

LINE TABLE		
LINE	BEARING	LENGTH
L1	S6°40'14"W	39.69'
L2	S26°58'14"E	21.07'
L3	S6°37'14"W	21.82'
L4	N48°26'43"E	58.42'
L5	S83°14'24"E	41.00'
L6	N6°45'36"E	60.00'
L7	N83°14'24"W	60.00'
L8	N6°45'36"E	60.00'
L9	N82°33'28"W	68.67'
L10	S87°56'08"W	60.00'

NOTES

- In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
- Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work. It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
- Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
- Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines. Easements in the subdivision may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot owners of this construction.
- Any street in this subdivision may be extended into adjoining property at any time without additional notice or consultation. Any street in this subdivision may be constructed or reconstructed in the future without consultation or notice to the owners of the lots in the subdivision.
- All signage, including flags and flagpoles, is subject to independent review by the Building and Codes Department. All signage must conform to their requirements and require separate sign permits.
- The purpose of this plot is to create 5 lots of record and 2 common areas and to record right-of-way and easements, as shown.
- Per the City of Murfreesboro, the HOA documents demonstrating perpetual maintenance of the common areas must be submitted for review and approval prior to the signing of the final plat.
- Per the City of Murfreesboro, property is within the Buchanan/Elam assessment district.
- Per the City of Murfreesboro, under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole to be set at or above the top of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer.
- Per the City of Murfreesboro, MWRD must receive contract, surety prior to signing the plat.



CERTIFICATE OF OWNERSHIP AND DEDICATION
 I (we) hereby certify that I am (we are) the Owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent and establish the minimum building restriction lines, and dedicate all streets, alleys, walks, and utilities therein, parks and other open spaces to public or private use as noted.

Date _____
 Deborah S. Kirk, President
 Swanson Development, LP

CERTIFICATE OF APPROVAL FOR RECORDING
 I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for the City of Murfreesboro, Tennessee with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the Rutherford County Register of Deeds provided that it is so recorded within one year of this date.

Date _____
 SECRETARY, PLANNING COMMISSION

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE
 I hereby certify that (1) the streets, drainage structures, drainage improvements, and stormwater quality controls for the subdivision shown hereon have been installed in accordance with city specifications, or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date _____
 CITY ENGINEER

CERTIFICATE OF APPROVAL FOR ELECTRIC POWER
 Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the Rules and Regulations, By-laws, Policy Bulletins and Operational Bulletins of MTEMC. No electric service will be provided until MTEMC's requirements have been met and approved in writing by an authorized representative of MTEMC.

Date _____
 MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORP.

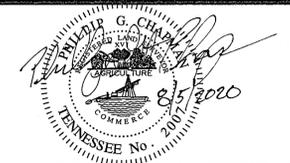
CERTIFICATE OF APPROVAL OF WATER SYSTEMS LOCATED IN THE WATER SERVICE JURISDICTION OF THE CITY OF MURFREESBORO
 I hereby certify that: (1) the water lines and appurtenances for the water system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the Tennessee Department of Environment and Conservation, Community Public Water Systems Design Criteria; or (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same.

Date _____
 MURFREESBORO WATER RESOURCES OFFICIAL

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS
 I hereby certify that: (1) the sewer lines and appurtenances for the sewer system of the subdivision shown hereon have been installed in accordance with city codes and specifications and the requirements of the Tennessee Department of Environment and Conservation, Design Criteria for Sewage Works; (2) that a Surety for these improvements has been posted with the City of Murfreesboro to assure completion of same; or (3) that a subsurface sewage system will be permitted subject to the approval of the Rutherford County Health Department.

Date _____
 MURFREESBORO WATER RESOURCES OFFICIAL

I HEREBY CERTIFY THAT THIS IS A CATEGORY "IV" SURVEY AND THE PRECISION OF THE GPS PORTION OF THIS SURVEY (IN RELATIVE POSITIONING ACCURACY GIVEN AT THE 95% CONFIDENCE LEVEL) IS 1:10,000 AS SHOWN HEREON AND THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYORS.



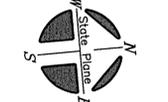
HIDDLESTON-STEELE ENGINEERING INC.
 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 SURVEYING : 893 - 4084, FAX: 893 - 0080

OWNER: Swanson Development, LP
 Attn: Deborah S. Kirk, President
 ADDRESS: 1188 Park Avenue
 Murfreesboro, TN 37129

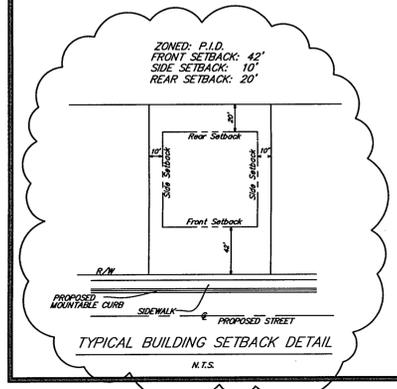
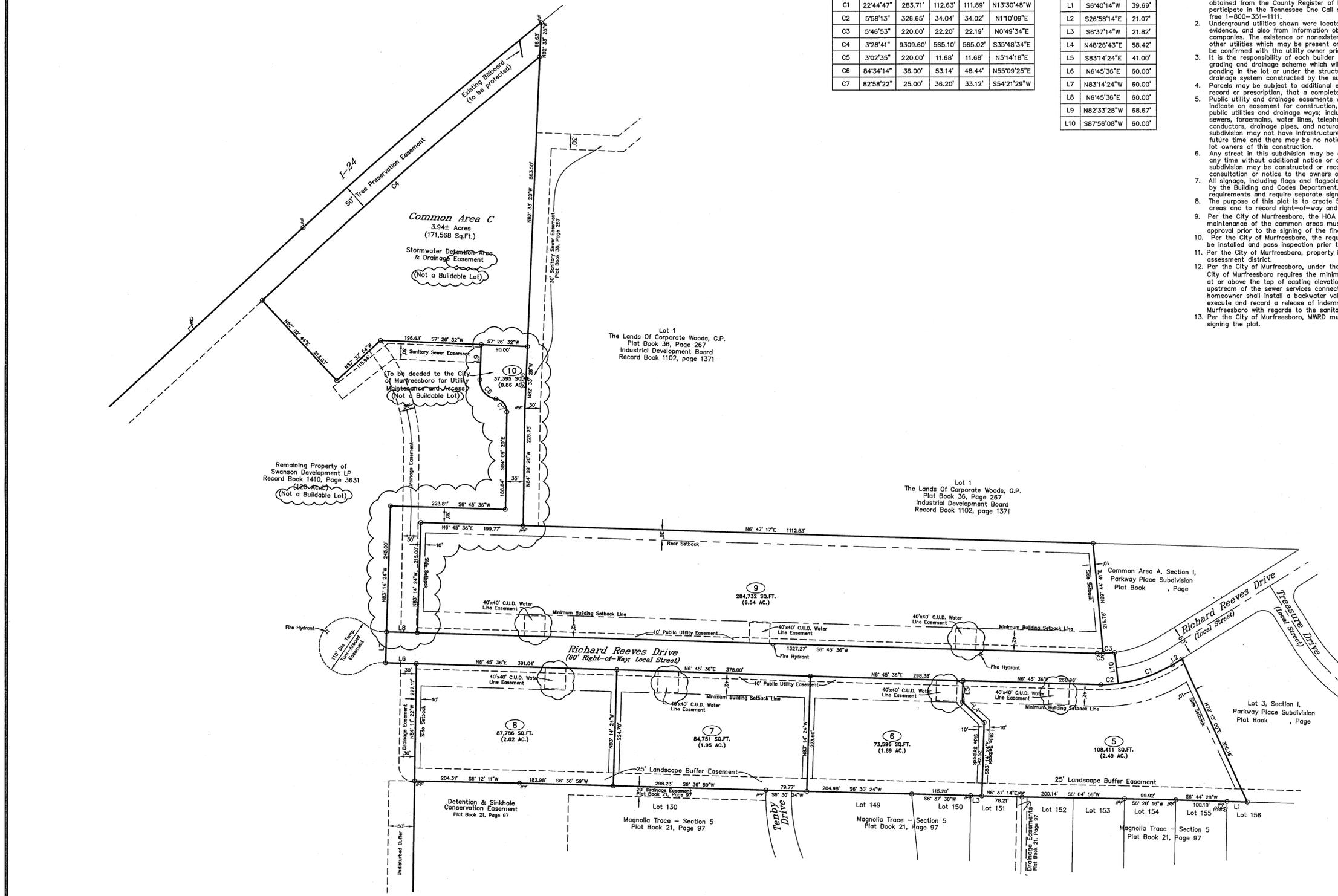
Tax Map 135, Part of Parcel 2.00
 Tax Map 126, Parcel 50.19
 Record Book 1410, Page 3631

THESE LOTS ARE NOT LOCATED IN AN AREA DESIGNATED AS "SPECIAL FLOOD HAZARD" ON THE NATIONAL FLOOD INSURANCE PROGRAM COMMUNITY MAP 47016B, PANEL NO. 0290H, ZONE: X, DATED: 01/05/07.

Bearings based on the Tennessee State Plane Coordinate System (NAD83)



- LEGEND FOR MONUMENTS**
- IPS O IRON PIN SET (1/2" red with HSENGR cap)
 - IPF O IRON PIN FND
 - RAILROAD SPIKE
 - FENCE
 - SURVEY POINT
 - ▲ NAIL
 - CONC. MARKER FND



V:\00000000\Projects\1410\1410_Parkway Place Const. Plan\1410_Parkway Place Final Plat.dwg, Thu, 8/15/2020 12:58:58 AM, A02020

DATE OF RECORDING: _____
 TIME OF RECORDING: _____
 PLAT BOOK: _____, PAGE: _____

Final Plat
PARKWAY PLACE
SUBDIVISION
 Section II

18th Civil District of Rutherford County, Tennessee

Date: July, 2020 Scale: 1"=100' Sheet 1 of 1

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 29, 2020
PROJECT PLANNER, MARINA RUSH**

- 3.j Salem Square Road Design [2020-3093] site plan for private streets on 22.19 acres zoned CH located at the southeast corner of Barfield Road and New Salem Highway, New Salem Land Development, Inc. developer.**

This is the site plan review for a private street design, located at the southeast corner of New Salem Highway and Barfield Road. The property is 22.19 acres in size and zoned CH (Commercial Highway), which allows commercial development. Staff recommends any approval of the site plan be made subject to all staff comments.

Staff Comments

Development Services – Planning

Marina Rush, 615.893.6441, mrush@murfreesborotn.gov

No comments.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Look at alignment of Road B. Left turning movement could be awkward. Staff would like to see the angle of the drive tweaked.
2. Relocate Right Turn Arrow on Road A at Intersection with Road B into the correct travel lane.
3. Add waterlines size, existing and proposed, when final design of water infrastructure is received from C.U.D.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

No comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

No comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

No comments.

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

1. Submit meter application and plumbing plans to CUDengineering@cudrc.com for review, tap fee calculation and meter sizing.
2. Show proposed stub out for water meter location for Thornton's (Lot 1).
3. Owner to submit notary signed CUD Developer Agreement to CUD prior to water plans being created.
4. Submit updated master plan for CUD water line route planning.
5. A portion of the existing 2-inch water line fronting New Salem Hwy. could possibly be used as the point of connection for the Thornton's and another portion as the point of connection for the service to the existing home at 1773 New Salem Hwy until it is vacated at a later time.
6. Revise CUD water line notes as follows:
7. CUD water line notes:
8. Water service, domestic, fire and/or irrigation is provided by Consolidated Utility District of Rutherford County (CUDRC).
9. Revise CUD water line notes as follows:
 - a. Water service, domestic, fire and/or irrigation is provided by Consolidated Utility District of Rutherford County (CUDRC).
 - b. See CUD water plans for specific details and layout.
 - c. All "live or wet" water main line taps are to be made by CUDRC.
 - d. CUD water line technical specifications may be found at www.cudrc.com.
 - e. Utility contractor must attend pre-arranged water line pre-construction meeting with authorized representative from CUD and receive formal TDEC "notice to proceed" from CUD before any water line construction commences.
 - f. During water line construction, an authorized representative of CUDRC will be inspecting the entire water line installation process to ensure that the construction conforms to approved plans and specifications.
 - g. Maintain 10 feet horizontal separation and 18 inches vertical separation (water over sewer) between sanitary sewer and water lines.
 - h. Contractor required to stake all water meter locations prior to taps being installed.

- i. Contact CUD Engineering Department for additional information 615-867-7330.

MTEMC – Middle Tennessee Electric Membership Corporation

Josh Seng, Service Designer, 615.893.5514, josh.seng@mtemc.com

1. Submit preliminary construction, landscaping, photometric, signage, and traffic signal plans in digital AutoCAD and pdf format.
2. Show existing electric.
3. Show proposed MED electric design.
4. Provide an Electric easement for Electric not in public right of way (ROW)
 - a. Overhead – 40ft. 20ft either side of nearest power pole
 - b. Down Guys – 5ft x 30ft
 - c. Underground – 15ft x total underground trench length

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

1. No comments.

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

1. Property is within Salem/Barfield assessment district. Add this note to the plan.
2. Building permits are not to be issued until water and sewer construction plans are approved by MWRD.
3. MWRD must receive contract prior to approving the plans.
4. Submit a copy of the final Grading & Drainage Plan to MWRD.
5. Submit a copy of the final Electric Utility Plan to MWRD.
6. Must execute a Notice of Acknowledgement for Water and/or Sewer mainline construction. Contact MWRD at 615/848-3200 for details.

Informational and Procedural Comments

Development Services – Planning

Marina Rush, 615.893.6441, mrush@murfreesborotn.gov

1. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case or new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the

providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

2. In accordance with City of Murfreesboro, Zoning Ordinance, Appendix A, Planning Commission Site Plan Review Checklist, please add the following standard notes to the Site Plan:
 - a. For any work proposed in the public right-of-way, the following note should be added to the plans: *"Contractor to coordinate with the Traffic Engineer in the City Transportation Department prior to commencement of work in this area to avoid damage to traffic signal devices."*
 - b. The following standard note shall appear on all site plans that are not exempt from providing a Stormwater Management Plan: *"A Stormwater Management Plan demonstrating that the site provides for treatment of the water quality volume and provides for management of the streambank protection volume must be provided."*
 - c. The following standard note shall appear on all site plans: *"An Engineers Certification of the construction of the stormwater management facilities must be provided to the City Engineer prior to issuance certificate of occupancy."*
 - d. The following standard note shall appear on all site plans: *"A Stormwater Fee Credit Application must be submitted prior to the issuance of a building permit."*
 - e. The following standard note shall appear on all site plans: *"A Stormwater Facilities Operation and Maintenance Plan and a Stormwater Facilities Maintenance Agreement must be submitted prior to issuance of a building permit."*
 - f. The following standard note shall appear on all site plans: *"The Stormwater Facilities Maintenance Agreement must be recorded prior to certificate of occupancy."*

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. Signal modification plans will be required with road improvement plan.
2. Roadway improvement plans will require the review and approval of the public infrastructure department.
3. City Right of Way permit and surety will be required prior to any work taking place in the right of way.
4. A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
5. Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for erosion and sediment

control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.

6. Prior certificate of occupancy being issued submit an Engineer's Certification of the construction of the public infrastructure and stormwater management facilities in accordance with the Subdivision Regulations and Stormwater Management Ordinance.
7. Prior to Land Disturbance Permit being issued, a long-term operation and maintenance plan and associated agreement must be reviewed and approved by the Murfreesboro Engineering Department

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

No comments.

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

No comments.

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

No comments.

Consolidated Utility District

Brandon Hunter, 615.225.3311, [bhunter@cudrc.com](mailto:bhunter@ cudrc.com)

1. Water service [domestic, fire, and/or irrigation] is provided by CUDRC.
2. A completed CUDRC "Water Service Availability Form" is to be submitted along with a preliminary plan to CUDRC for a feasibility study and to obtain a CUDRC Will Serve Letter.
3. The owner/developer, for budget purposes, should contact CUDRC for related fees pertaining to the project which may be substantial.
4. A full set of plans must be submitted directly to CUDRC for review. Submit digital PDF of the plans to CUDengineering@cudrc.com.
5. Preliminary construction plans are to be submitted to CUDRC in digital AutoCAD format for waterline design, review, and construction approval prior to the start of any construction. Submit plans to CUDengineering@cudrc.com. Contact CUDRC's Engineering Department (615-225-3339) for further information.
6. All main water line taps are to be made by CUDRC.

7. Submit a completed CUDRC “Meter Application and Fixture Count Submittal Form” along with plumbing plans to [CUDengineering@cudrc.com](mailto:CUDengineering@ cudrc.com).
8. All backflow preventers are to be located outside and in an aboveground hotbox.
9. Owner(s) must submit a completed CUDRC Developer’s Agreement for Extension of Water to CUDRC before CUDRC water plans can be created and released.
10. Owner(s) must submit a notary signed CUDRC Release and Hold Harmless Agreement Related To Permeable Surface Materials if such materials are located within a CUDRC Easement.
11. Owner(s) must submit a notary signed CUDRC Sign Agreement to CUDRC if a sign is within a CUDRC Easement. Any proposed sign within a CUDRC Easement cannot be within ten feet of a CUDRC water line.
12. Owner(s) must submit a notary signed CUDRC Landscaping Agreement to CUDRC if landscaping is within a CUDRC Easement.
13. All canopy trees are to be located a minimum of ten feet from water lines.
14. TDEC approved plans from CUDRC and a “Construction Start Notification” letter are to be issued to the contractor from CUDRC prior to the start of any water line construction.

MTEMC – Middle Tennessee Electric Membership Corporation

Josh Seng, Service Designer, 615.893.5514, [josh.seng@mtemc.com](mailto:josh.seng@ mtemc.com)

1. Developer must sign the developer acknowledgement form prior to MTEMC beginning construction.
2. General contractor and all sub-contractors must adhere to MTEMC’s Standard Operating Procedures for New Construction.

Murfreesboro Fire and Rescue Department

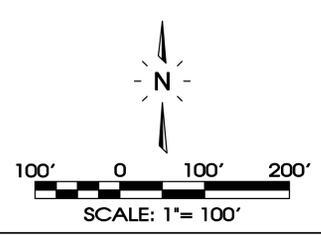
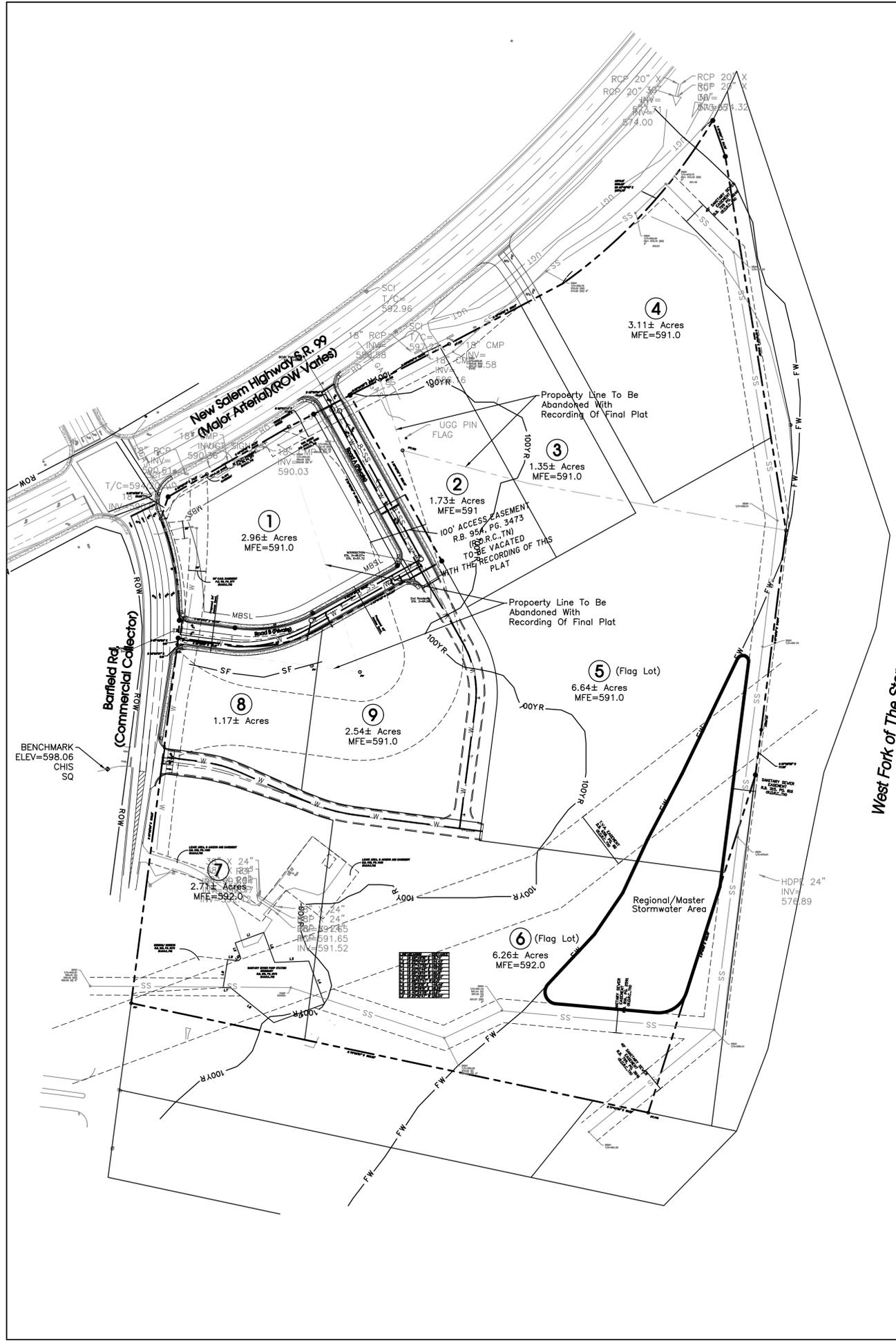
Carl Peas, 615.893.1422, [cpeas@murfreesborotn.gov](mailto:cpeas@ murfreesborotn.gov)

No comments.

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, [gharvey@murfreesborotn.gov](mailto:gharvey@ murfreesborotn.gov)

1. Owner, for budget purposes, should check with MWRD for connection fees, which may be substantial.
2. Use existing water and/or sewer services where available.
3. The developer is financially responsible for providing water, sewer, and/or repurified water service to each lot.
4. If in CUD, building permits are not to be issued until fees are paid.
5. **Grease**
 - A. Any future tenants that are food service type must have a minimum of a 1000-gallon grease interceptor installed for each tenant. Plumbing should be installed in order to accommodate the required grease trap specifications.
 - B. All kitchen waste including the floor drains are to be routed to a grease waste line and shall be separate from the sanitary waste.
 - C. Submit calculations for grease interceptor sizing approval by MWRD. Minimum required size is 1000 gallons and must meet MWRD specifications.
 - D. The FOG applications must be completed and submitted to MWRD.
6. The owner/developer must sign and record a Landscaping, Sign, Fence, Specialty Pavement, Stormwater feature, and/or any other nonconforming structure within a City Easement Agreement with MWRD prior to permits. Submit copy of deed to initiate legal document.
7. Submit construction details of the signage to MWRD regarding its proximity to the water/sewer main(s).
8. Owner/developer must sign a repurified water application.
9. Backflow prevention must be upgraded to meet current standards.
10. Any easement that is to be abandoned must be approved by the Murfreesboro Planning Commission, MWRD's Water & Sewer Board, and by the Murfreesboro City Council.
11. All new sanitary sewer taps, connections, and manhole adjustments are to be per MWRD specifications and be made under MWRD supervision by a MU licensed utility contractor.



Legend:			
□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
+	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	●	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	↔	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⚠	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	A	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊗	RIP RAP
⊕	REDUCER	↘	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	□	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	⊗	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE (63.25)	⊗	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	∨	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT ECO	⊕	CONCRETE SWALE
⊕	MANHOLE	⊕	TYPE- X- HEADWALL
EXISTING PHONE	PH	PROPERTY LINE	---
EXISTING ELECTRIC	OH	EASEMENTS	---
RIGHT OF WAY	ROW	EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E	EROSION EEL	E E E
EXISTING TREELINE	~ ~ ~	EXISTING FENCELINE	-X-X-X-
EXISTING CONTOUR LINES	---60---	MINIMUM BUILDING SETBACK LINE	---
PROPOSED CONTOUR LINES	---601---	PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS	EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS	PROPOSED GAS LINE	GAS
EXISTING STORM	STM	EXISTING STORM	STM
PROPOSED STORM	STM	PROPOSED STORM	STM
EXISTING SANITARY SEWER	SS	EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS	PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W	EXISTING WATER	W W
PROPOSED WATER	W W	PROPOSED WATER	W W

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850 MIDDLE TENNESSEE BOULEVARD
MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2567
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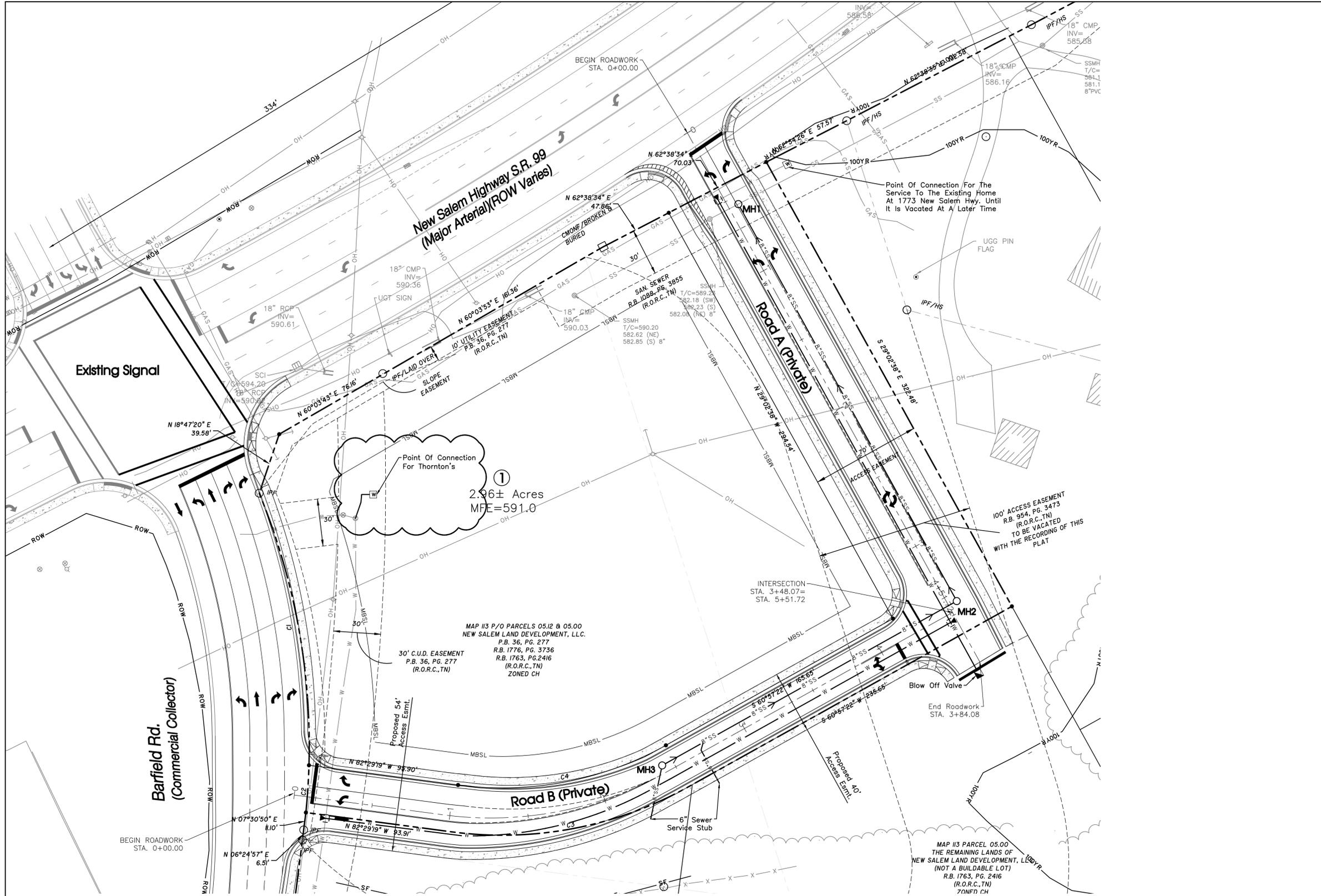
REVIEW SET
(Not Intended for Construction)

Salem Square
Road Design

Murfreesboro, Tennessee

Master Utility Plan

C0.3



Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	—	HC SIGN
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⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	→	TRAFFIC ARROW
⊕	EXIST. WATER METER	↔	TURN LANE ARROWS
○	EXIST. UTILITY POLE	⊕	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	#1	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	⊕	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	→	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	INLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	63.25	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	(63.25)	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	→	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	—	HEADWALL
⊕	GREASE TRAP	—	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT	—	CONCRETE SWALE
⊕	MANHOLE	⊕	TYPE- X- HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREE LINE	~ ~ ~
EXISTING FENCE LINE	- X - X - X - X -
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	=====
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	---60---
PROPOSED CONTOUR LINES	---601---
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W

SPECIAL NOTE TO OWNERS, BUILDERS & CONTRACTORS REGARDING TVA TRANSMISSION LINE EASEMENTS:

THE TENNESSEE VALLEY AUTHORITY (TVA) HAS SPECIFIC REQUIREMENTS REGARDING EASEMENT ENCROACHMENTS. NO PART OF ANY BUILDING, INCLUDING BUT NOT LIMITED TO, ROOF OVERHANGS, BAY WINDOWS OR FIREPLACES IS ALLOWED IN THE TVA TRANSMISSION LINE EASEMENT. BUILDING SETBACKS HAVE BEEN ESTABLISHED 5 FT. OR 10 FT. OFF OF THE TVA EASEMENT. IT IS ADVISABLE TO GET A LICENSED SURVEYOR TO STAKE THE EASEMENT LINE PRIOR TO CONSTRUCTION. OWNERS, BUILDERS AND CONTRACTORS SHOULD CHECK WITH TVA TO GET APPROVAL FOR THE CONSTRUCTION OF ANY IMPROVEMENTS TO BE PLACED WITHIN THE EASEMENT. PLEASE CONTACT MIKE CONNER OR RICK THURPIN IN THE MURFREESBORO OFFICE OF THE TENNESSEE VALLEY AUTHORITY AT 615-667-4342 FOR QUESTIONS REGARDING ANY CONSTRUCTION ISSUES.

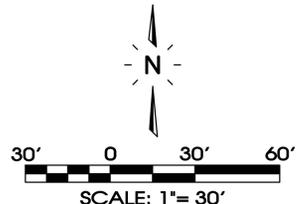
APPROVED FOR CONSTRUCTION

THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE MURFREESBORO WATER RESOURCES DEPARTMENT UNDER THE AUTHORITY DELEGATED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DIVISION OF WATER POLLUTION CONTROL DIVISION OF WATER SUPPLY AND IS HEREBY APPROVED FOR CONSTRUCTION.

THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING A PRESUMPTION OF CORRECT OPERATION OR AS WARRANTING BY THE MURFREESBORO WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES WILL REACH THE DESIGNED GOALS.

APPROVAL DATE: _____
 APPROVAL EXPIRES IN 12 MONTHS

BY _____
FOR SANITARY SEWER ONLY



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REVIEW SET
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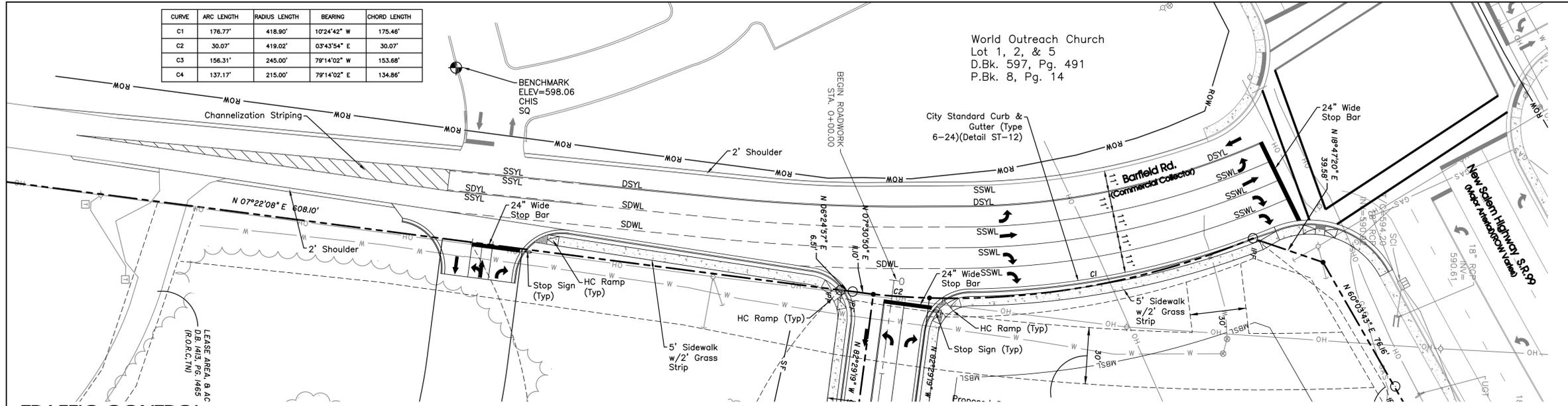
Salem Square Road Design
 Murfreesboro, Tennessee

Utility Plan

REVISION: 08-05-2020; Staff Comment

DRAWN: SJA/CFB3
 DATE: 7-16-20
 CHECKED: MAT
 FILE NAME: 19296RoadDesign
 SCALE: 1" = 30'
 JOB NO. 19296
 SHEET: C2.1

CURVE	ARC LENGTH	RADIUS LENGTH	BEARING	CHORD LENGTH
C1	176.77'	418.90'	102°42' W	175.46'
C2	30.07'	419.02'	03°43'54" E	30.07'
C3	156.31'	245.00'	79°14'02" W	153.68'
C4	137.17'	215.00'	79°14'02" E	134.86'



World Outreach Church
 Lot 1, 2, & 5
 D.Bk. 597, Pg. 491
 P.Bk. 8, Pg. 14

TRAFFIC CONTROL

- ADVANCED WARNING SIGNS SHALL NOT BE DISPLAYED MORE THAN FORTY-EIGHT (48) HOURS BEFORE PHYSICAL CONSTRUCTION BEGINS. SIGNS MAY BE ERECTED UP TO ONE WEEK BEFORE NEEDED, IF THE SIGN FACE IS FULLY COVERED.
- IF THE CONTRACTOR MOVES OFF THE PROJECT, HE SHALL COVER OR REMOVE ALL UNNEEDED SIGNS AS DIRECTED BY THE ENGINEER. COSTS OF REMOVAL, COVERING, AND REINSTALLING SIGNS SHALL NOT BE MEASURED AND PAID FOR SEPARATELY, BUT ALL COSTS SHALL BE INCLUDED IN THE ORIGINAL BID.
- A LONG TERM BUT SPORADIC USE WARNING SIGN, SUCH AS A FLAGGER SIGN, MAY REMAIN IN PLACE WHEN NOT REQUIRED PROVIDED THE SIGN FACE IS FULLY COVERED.
- TRAFFIC CONTROL DEVICES SHALL NOT BE DISPLAYED OR ERECTED UNLESS RELATED CONDITIONS ARE PRESENT NECESSITATING WARNING.
- USE OF BARRICADES, PORTABLE BARRIER RAILS, VERTICAL PANELS, AND DRUMS SHALL BE LIMITED TO THE IMMEDIATE AREAS OF CONSTRUCTION WHERE A HAZARD IS PRESENT. THESE DEVICES SHALL NOT BE STORED ALONG THE ROADWAY WITHIN THIRTY (30) FEET OF THE EDGE OF THE TRAVELED WAY BEFORE OR AFTER USE UNLESS PROTECTED BY GUARDRAIL, BRIDGE RAIL, AND/OR BARRIERS INSTALLED FOR OTHER PURPOSES. THESE DEVICES SHALL BE REMOVED FROM THE CONSTRUCTION WORK ZONE WHEN THE ENGINEER DETERMINES THEY ARE NO LONGER NEEDED. WHEN THERE IS INSUFFICIENT RIGHT-OF-WAY TO PROVIDE FOR THIS 30-FOOT SETBACK, THE CONTRACTOR SHALL DETERMINE THE ALTERNATE LOCATIONS AND REQUEST THE ENGINEER'S APPROVAL TO USE THEM.
- THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK ANY VEHICLES OR CONSTRUCTION EQUIPMENT DURING PERIODS OF INACTIVITY, WITHIN THIRTY (30) FEET OF THE EDGE OF PAVEMENT WHEN THE LANE IS OPEN TO TRAFFIC UNLESS PROTECTED BY GUARDRAIL, BRIDGE RAIL, AND/OR BARRIERS INSTALLED FOR OTHER PURPOSES. PRIVATELY OWNED VEHICLES SHALL NOT BE ALLOWED TO PARK WITHIN THIRTY (30) FEET OF AN OPEN TRAFFIC LANE AT ANY TIME UNLESS PROTECTED AS DESCRIBED ABOVE. WHERE THERE IS INSUFFICIENT RIGHT-OF-WAY TO PROVIDE FOR THIS 30-FOOT SETBACK, THE CONTRACTOR SHALL DETERMINE THE ALTERNATE LOCATIONS AND REQUEST THE ENGINEER'S APPROVAL TO USE THEM.
- ALL DETOUR AND CONSTRUCTION SIGNING SHALL BE IN STRICT ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORISTS, PEDESTRIANS OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
- THIS PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING VARIOUS PHASES OF CONSTRUCTION. ALL REGULATORY AND WARNING SIGNS WHICH ARE NO LONGER APPROPRIATE BECAUSE OF THE CONSTRUCTION SHALL BE COVERED OR REMOVED.
- THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH STAGE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE ONLY AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
- ALL TRAFFIC CONTROL DEVICES AND THEIR INSTALLATION SHALL MEET THE STANDARD PRESCRIBED IN THE STATE OF TENNESSEE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SHALL COMPLY WITH THE STATE OF TENNESSEE DEPARTMENT OF TRANSPORTATION, BUREAU OF HIGHWAYS, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 712 - TEMPORARY TRAFFIC CONTROL.
- BARRICADE WARNING LIGHTS SHALL BE ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD FOR FLASHING AND STEADY BURN BARRICADE WARNING LIGHTS 1978.
- AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES/BUSINESSES THROUGHOUT THE CONSTRUCTION ZONE.
- FLEXIBLE DRUMS FOR CHANNELIZING TRAFFIC ARE TO BE PROVIDED AS SHOWN OR AS REQUIRED BY THE ENGINEER.
- DURING CONSTRUCTION ALL TRAVEL LANES (PERMANENT OR TEMPORARY) SHALL BE A MINIMUM OF TEN (10) FEET IN WIDTH AND SHALL INCLUDE ALL SIGNING IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- THE TRAFFIC CONTROL PLAN AS SHOWN SHALL BE CONSIDERED AS A MINIMUM. OTHER DEVICES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER OR AS DIRECTED BY THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL SIGNS, BARRICADES AND WARNING LIGHTS SHALL CONFORM WITH SECTION VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL TRAFFIC CONTROL DEVICES SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE PROJECT.
- ANY TEMPORARY OR PERMANENT PAVEMENT MARKINGS SHALL BE FIRST APPROVED BY THE CITY TRAFFIC ENGINEER.
- THE CONTRACTOR SHALL COMPLY WITH SECTION 712 REGARDING TEMPORARY TRAFFIC CONTROL OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" IN THE IMPLEMENTATION OF THE TRAFFIC CONTROL PLAN. TEMPORARY CENTERLINE AND LANE MARKING SHALL BE PROVIDED AT THE CONCLUSION OF EACH WORK DAY DURING THE RESURFACING PORTION OF THIS PROJECT.
- ANY LANE CLOSURES SHALL BE SIGNED IN ACCORDANCE WITH SECTION VI OF MUTCD.
- LANE CLOSURES INVOLVING MORE THAN ONE THROUGH LANE AT A TIME SHALL BE APPROVED BY THE CITY ENGINEER.
- THE CONTRACTOR IS DIRECTLY RESPONSIBLE FOR THE PROVISION OF ANY AND ALL TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH MUTCD AND SECTION 712 OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL TRAFFIC CONTROL DEVICES SHALL BE REMOVED IMMEDIATELY UPON COMPLETION OF THE PORTION OF THE PROJECT. DURING CONSTRUCTION, CONTRACTOR SHALL FOLLOW T.D.O.T.'S "GUIDELINES FOR HANDLING DIFFERENCES IN ELEVATION BETWEEN ADJACENT ROADWAY ELEMENTS".
- IF THE DIFFERENCE IN ELEVATION IS WITHIN 8 FEET OF THE NEAREST TRAFFIC LANE WITH DIFFERENCE IN ELEVATION GREATER THAN 6 INCHES.
 - SEPARATION SHALL BE ACCOMPLISHED BY DRUMS, BARRICADES OR OTHER APPROVED DEVICES IN ACCORDANCE WITH THE FOLLOWING.
 - WHERE POSTED SPEEDS ARE 50 MPH OR GREATER, SPACING OF THE PROTECTIVE DEVICES SHALL NOT EXCEED 100 FEET.
 - WHERE POSTED SPEEDS ARE LESS THAN 50 MPH, THE MAXIMUM SPACING OF THE PROTECTIVE DEVICES IN FEET SHALL NOT EXCEED TWICE THE POSTED SPEED IN MILES PER HOUR OR 50 FEET, WHICHEVER SPACING IS GREATER.
 - ELIMINATE VERTICAL OFFSET BY CONSTRUCTING A STONE WEDGE OR GRADING TO A 4:1 SLOPE, OR FLATTER, OR USE PORTABLE BARRIER RAIL. THE CONTRACTOR SHALL SCHEDULE THE WORK SO AS TO MINIMIZE THE TIME TRAFFIC IS EXPOSED TO AN ELEVATION DIFFERENCE. ONCE THE CONTRACTOR BEGINS AN ACTIVITY THAT CREATES AN ELEVATION DIFFERENCE WITHIN 8 FEET OF A TRAFFIC LANE, THE ACTIVITY SHALL BE PURSUED AS A CONTINUOUS OPERATION UNTIL THE ELEVATION DIFFERENCE IS ELIMINATED.
- PRIOR TO CLOSING ANY ROAD TO THROUGH TRAFFIC, THE CONTRACTOR WILL BE REQUIRED TO NOTIFY ALL AFFECTED LOCAL AGENCIES CONCERNING THE ROAD CLOSURE. THE AGENCIES TO BE CONTACTED SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING: FIRE DEPT., SHERIFFS DEPT., POST OFFICE, BOARD OF EDUCATION, ETC.
- SIGNAGE SHALL COMPLY WITH M.U.T.C.D. AND WITH T.D.O.T. STD. DWGS. T-M-1 THROUGH T-M-4.
- TRENCHES IN STREETS TEMPORARILY REOPENED TO TRAFFIC SHALL BE MAINTAINED AND SURFACED WITH COLD MIX OR BINDER UNTIL FINAL CONSTRUCTION.
- THE CONTRACTOR MAY DEVELOP AN ALTERNATE TRAFFIC CONTROL PLAN IF APPROVED BY THE CITY TRAFFIC DEPT AND CITY ENGINEER.
- ACCESS TO PROPERTY WITHIN CONSTRUCTION LIMITS SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL FURNISH FLAGGER(S) AS NECESSARY.
- THESE PLANS ARE NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORISTS OR PROPERTY OWNERS WITHIN CONSTRUCTION LIMITS OR TOWARD INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH CURRENT M.U.T.C.D. REQUIREMENTS.
- ALL PAVEMENT STRIPING IN PUBLIC RIGHT-OF-WAY TO BE THERMOPLASTIC.

Notes:

- Contractor to coordinate with the City of Murfreesboro Traffic Engineering Department prior to commencement of any work in the Public Right-of-Way in this area to avoid damage to traffic signal devices. Contact Ram Balachandran, City Traffic Engineer, at 615-893-6441.
- Coordinate all pavement markings with the City Traffic Engineer contact the Engineering Dept. 24 hrs prior to beginning for approval of line location.
- Lane closures will only be allowed during the hours of 8:30am and 3:30pm. Coordinate any closure with the City Traffic Engineer.

Legend:

EXIST. CONCRETE MONUMENT	BENCHMARK
IRON PIN SET (I.P.S.)	HANDICAP PARKING SYMBOL
IRON PIN FOUND (I.P.F.)	V.A. VAN ACCESSIBLE HANDICAP DESIGNATION
EXIST. SIGN POST	HC SIGN
EXIST. SEWER CLEANOUT	PROPOSED SIGN POST
EXIST. MANHOLE (SEWER & PHONE)	CONCRETE BOLLARD
EXIST. CATCH BASIN (STORM SEWER)	WHEEL STOP
EXIST. WATER/GAS VALVE	CONCRETE SIDEWALK
EXIST. TELEPHONE RISER	EXTRUDED CURB
EXIST. GAS RISER	CURB & GUTTER
ELECTRICAL ENCLOSURE	TRAFFIC ARROW
EXIST. WATER METER	TURN LANE ARROWS
EXIST. UTILITY POLE	REVISION NUMBER
EXIST. FIRE HYDRANT	DRAINAGE STRUCTURE DESIGNATION
POST INDICATOR VALVE	DRAINAGE PIPE DESIGNATION
BLOW OFF VALVE	RIP RAP
REDUCER	RUNOFF FLOW ARROW
REMOTE FIRE DEPT. CONNECTION	INLET FILTER PROTECTION
CONCRETE THRUST BLOCK	PROPOSED SPOT ELEVATION
DOUBLE DETECTOR CHECK VALVE	EXIST. SPOT ELEVATION
FIRE DEPT. CONNECTION	SEWER/STORM FLOW DIRECTION
FIRE HYDRANT	CATCH BASIN
GATE VALVE & BOX	CURB INLET
WATER METER	AREA DRAIN
GAS METER	HEADWALL
GREASE TRAP	WINGED HEADWALL
EXTERIOR CLEANOUT	CONCRETE SWALE
MANHOLE	TYPE- X= HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF
EROSION EEL	E
EXISTING TREELINE	~ ~ ~
EXISTING FENCELINE	X X X X
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	-----
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	601
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W
PROPOSED WATER	W

PAVEMENT SCHEDULE

1	SURFACE GRADING D @ 1.25" 411-02.10 - ACS MIX (PG70-22) GRADING D
2	BINDER GRADING B-M2 @ 2.0" 307-02.08 - ASPHALT CONCRETE MIX (PG70-22) (BPMB-HM) GRADING B-M2
3	ASPHALT BASE GRADING A @ 3.0" 307-02.01 - ASPHALT CONCRETE MIX (PG70-22) (BPMB-HM) GRADING A
4	ASPHALT BASE GRADING A-S @ 3.0" 307-02.02 - ASPHALT CEMENT (PG70-22) (BPMB-HM) GRADING A-S 307-02.03 - AGGREGATE (BPMB-HM) GRADING A-S MIX
5	MINERAL AGGREGATE BASE @ 8.0" 303-01 - MINERAL AGGREGATE, TYPE A BASE, GRADING D
6	PRIME COAT 402-01 - BITUMINOUS MATERIAL FOR PRIME COAT (PC) @ 0.30-0.35 GAL/SY 402-02 - AGGREGATE FOR COVER MATERIAL (PC) @ 8-12 LBS/SY
7	TACK COAT 403-01 - BITUMINOUS MATERIAL FOR TACK COAT (TC) @ 0.02 GAL/SY

TURN LANE SECTION
SCALE: NONE

PAVEMENT MARKING LEGEND

SSYL	4" SINGLE SOLID YELLOW LINE
SDYL	4" SINGLE DASHED YELLOW LINE
DSYL	4" DOUBLE SOLID YELLOW LINE
SSWL	4" SINGLE SOLID WHITE LINE
DWL	4" DOTTED WHITE LINE
SDWL	4" SINGLE DASHED WHITE LINE
	PAVEMENT ARROW
	24" STOP LINE

811
Know what's below. Call before you dig.

SEC, Inc.
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 895-2467
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REVIEW SET
 (Not intended for construction)

Salem Square Road Design
 Murfreesboro, Tennessee

Roadway Improvements - Paving Plan

DRAWN: SJA/CFB3
 DATE: 7-16-20
 CHECKED:
 MAT
 FILE NAME:
 19296RoadDesign
 SCALE:
 1" = 30'
 JOB NO.
 19296
 SHEET:
C2.4

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020**

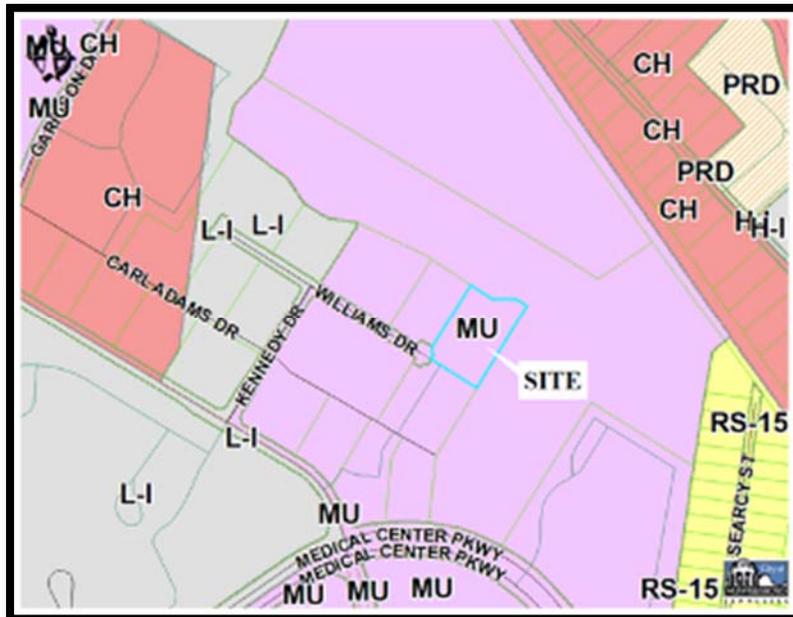
PROJECT PLANNER MARGARET ANN GREEN

- 4.a. Waterstone Lot 6 (Volunteer Behavioral Health) [2019-6009 & 2019-3115] initial/final design review for 190 ft² medical office and hospital on 2.3 acres zoned MU & GDO-3 located along Williams Drive, Volunteer Behavior Health Care System developer.**

This is the initial design review for Parkway Office Park Lot 6- a part of the Waterstone Office Park development. The property is located along Williams Drive, just south of the Gateway Island pond and greenway system. The Planning Commission approved a site plan for a two story structure- the first story is to be a 25 bed hospital and the second floor a 12,112 square foot medical office building in 2019. The building is currently under construction and will have Oyster Calcium silicate stone base and entrances and Gray modular brick exteriors. Dark Gray modular brick is utilized to define the entrances. This site has access to William Drive and is anticipated to have access to the adjacent Fountains development at some point in the future through the extension of a private drive.

This site plan amendment is to add a generator and a 190 square foot generator enclosure (12' 6" x 14' 10"). The enclosure is adjacent to the Dumpster enclosure and matches the materials and design of the Dumpster enclosure. The enclosure will be 2-feet taller than the generator, which is currently located at their existing facility and is being relocated to this site.

The DRC has approved this amendment at the August 4, 2020 meeting for Initial Design Review. Staff recommends the Planning Commission combine Initial Design Review and Final Design Review in one and condition any approval subject to all staff comments





SITE

WILLIAMS DR



Staff Comments

Development Services – Planning

Margaret Ann Green, 615.893.6441, mgreen@murfreesborotn.gov

1. Prior to construction beginning on any site within the GDO district, the owner, or owner's authorized agent shall provide the Development Services with seventy-two hours advance written notice. The staff may conduct on-site inspections as development and construction proceeds to monitor compliance with these design regulations and to assure that the construction is proceeding in accordance with the previously approved plans.
Informational comment.
2. Once you have addressed the staff comments, please send a complete PDF set of the revised plans (including but not limited to civil plans, landscape plans, photometric plan, lighting cut sheets, and building elevations) along with the response letter to Austin Cooper at acooper@murfreesborotn.gov to begin the prior to permit process.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

1. No comments.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1. No comments.

Building and Codes Department

Kevin Jones, 615.893.3750, kevinjones@murfreesborotn.gov

1. No comments.

Middle Tennessee Electric Membership Corporation

Josh Seng, 615.898.6738, Josh.Seng@mtemc.com

1. No comments.

Murfreesboro Fire & Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

1. No comments.

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

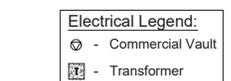
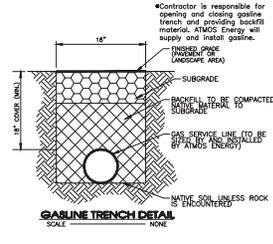
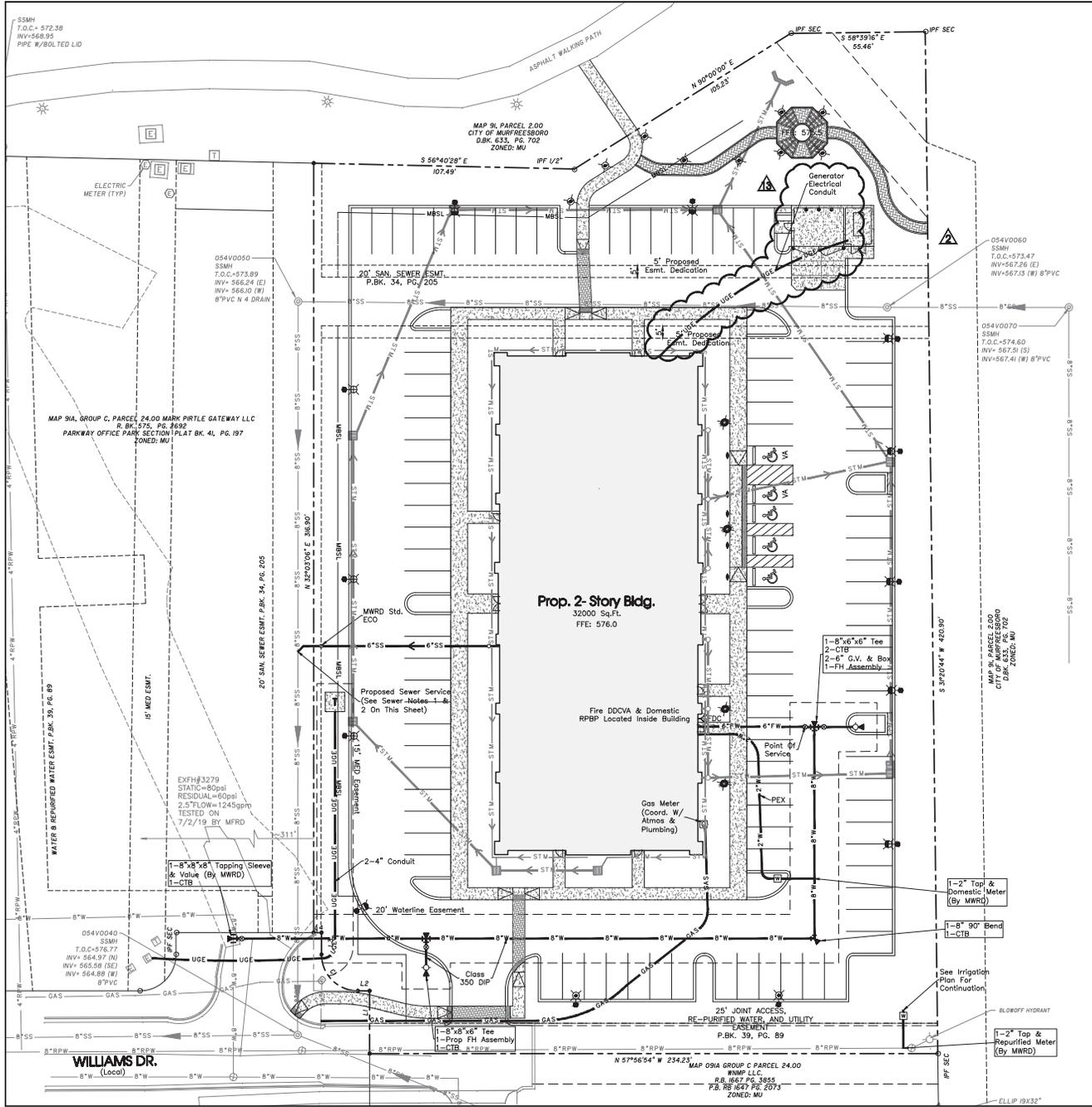
1. No comments.

Informational and Procedural Comments

Development Services – Planning

Margaret Ann Green, 615.893.6441, mgreen@murfreesborotn.gov

1. Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
2. This site plan is not affected by the City's Major Transportation Plan.
3. In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.



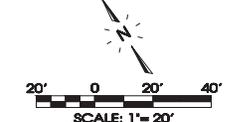
The proposed electrical, gas and telecommunications information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information.

LINE BEARING	DISTANCE
L1 N 34°03'06" E	23.83
L2 N 57°56'54" W	4.64
L3 N 34°03'06" E	19.00
L4 N 37°56'54" W	3.22

CURVE DATA	ANGLE	ADJUST	ARC LENGTH	CHORD	BEARING	CHORD LENGTH
C1	90°00'00"	15.00	23.56	N 47°56'54" W	23.27	

- Fire Line Notes:**
- Dedicated Fire Water Lines Must Be Inspected And Approved By FMO Prior To Being Covered.
 - Upon Completion Of Fire Water Lines, A 2 Hour, 200 Pound Pressure Test Must Be Witnessed And Approved By FMO.
 - FDC To Be Knox Storz Guard FDC With A 30 Degree Elbow And Locking Cap Sized 5" Storz x 4" NPT.
 - An Approved Knox 3200 Series Surface Or Recessed Mounting Lock Box Is Required At Riser Room Access Door.
 - An Exterior Electric Horn/Strobe Is Required Above FDC. No Water Gongs.
 - All fire line piping from point of service shall be installed by a TM registered sprinkler contractor.
 - Waterlines servicing fire hydrant must be in place & operational prior to bringing combustibles onsite.

- Sanitary Sewer Notes:**
- Property Line Cleanout To Be Installed By MWRD After Inspection Of The Sewer Service.
 - Sewer Service Connection (45° Wye & 6" x 45° Bend) To The Sewer Main By Contractor And Contractor To Extend 6" Service To Property Line Under MWRD Engineering Inspector Supervision. Contractor Will Install Service From The Building To The Property Line Leaving A Space Of 36" Between The 2 Sections Of Sewer Service And Then Call For An Inspection Into Building & Codes. Contractor To Be Required To Leave Existing Sewer Main Manhole To Manhole 30 Days After Connection And Submit For Review.



APPROVED FOR CONSTRUCTION
 THE DOCUMENT BEARING THIS STAMP HAS BEEN REVIEWED BY THE
MURFREESBORO WATER AND SEWER DEPARTMENT
 UNDER THE AUTHORITY DELEGATED BY THE
 TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION
 DIVISION OF WATER POLLUTION CONTROL
 DIVISION OF WATER SUPPLY
 AND IS HEREBY APPROVED FOR CONSTRUCTION.
 THIS APPROVAL SHALL NOT BE CONSIDERED AS CREATING A PRESUMPTION
 OF CORRECT OPERATION OR AS WAIVING BY THE MURFREESBORO
 WATER AND SEWER DEPARTMENT THAT THE APPROVED FACILITIES
 WILL REACH THE DESIGNED QUALITY.
 APPROVAL DATE _____
 APPROVAL EXPIRES IN 12 MONTHS
 BY _____

Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
○	IRON PIN SET (U.P.S.)	⊕	HANDICAP PARKING SYMBOL
⊕	EXIST. SIGN POST	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊕	EXIST. SEWER CLEANOUT	⊕	PROPOSED SIGN POST
⊕	EXIST. MANHOLE (COVER & FRAME)	⊕	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	⊕	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	⊕	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	⊕	EXTRUDED CURB
⊕	EXIST. GAS RISER	⊕	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	⊕	TRAFFIC ARROWS
⊕	EXIST. WATER METER	⊕	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⊕	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	⊕	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	⊕	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RIP RAP
⊕	REDUCER	⊕	RENJOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	VALET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	⊕	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	⊕	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	⊕	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	⊕	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT	⊕	CONCRETE SMALE
⊕	MANHOLE	⊕	TYPE-X HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION FILL	E E E E
EXISTING TREELINE	---
EXISTING FENCELINE	X X X X X X
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	=====
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	---(01)---
PROPOSED CONTOUR LINES	601
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W W
PROPOSED WATER	W W W

SLC Inc.
 SITE ENGINEERING CONSULTANTS
 800 N. MAIN ST., SUITE 200
 MURFREESBORO, TN 37132
 PHONE: (615) 890-2700 FAX: (615) 890-2077
 WWW.SLC-ENR.COM
 LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TENNESSEE (CERT. NO. 3482)
 THE SEAL AND SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER ARE REQUIRED FOR ALL PROJECTS. THE REGISTERED PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE ARE REQUIRED FOR ALL PROJECTS. THE REGISTERED PROFESSIONAL ENGINEER'S SEAL AND SIGNATURE ARE REQUIRED FOR ALL PROJECTS.

Volunteer Behavioral Health
Waterstone Lot 6
Murfreesboro, Tennessee

Utility Plan

REVISED 9-18-18, DR. Comments
 DRAWN: SJA/CRS
 DATE: 8-30-19
 CHECKED: _____
 MAT: MPL
 FILE NAME: 05091M&S.dwg
 SCALE: 1"=20'
 JOB NO: 05091
 SHEET: _____



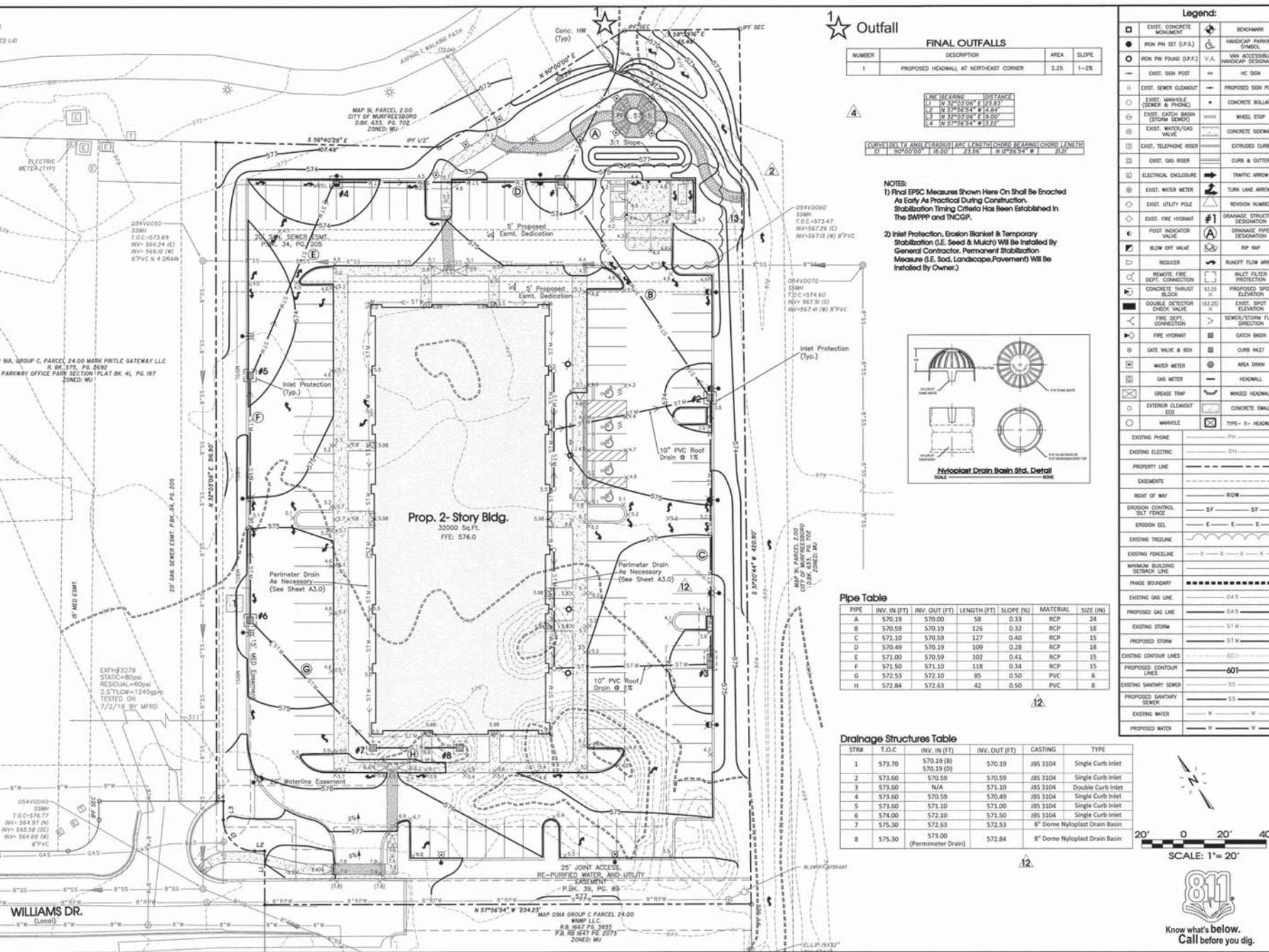
C2.1

SEAM
T.O.C. = 572.38
INV. = 568.95
PIPE W/BOULDER LID

MAP 9K PARCEL 2.00
CITY OF MURFREESBORO
D.B.K. 633, PG. 702
ZONED: MU

MAP 51A, GROUP C, PARCEL 24.00 MARK PRITILE GATEWAY LLC
R.B. 1667 PG. 3855
P.B. 181 667 PG. 2073
ZONED: MU

20' SAN. SEWER EMBT. P.B. 34, PG. 205



FINAL OUTFALLS

NUMBER	DESCRIPTION	AREA	SLOPE
1	PROPOSED HEADWALL AT NORTHEAST CORNER	2.25	1-2%

PARALLEL DISTANCE

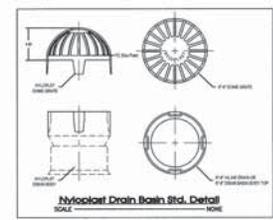
LINE	START POINT	END POINT	LENGTH
L1	N 27°00'00" E	112.81'	
L2	N 27°56'54" W	114.84'	
L3	N 27°56'54" W	114.84'	
L4	N 27°56'54" W	113.22'	

CHORD DELTA TAB

LINE	START POINT	ARC LENGTH	CHORD BEARING	CHORD LENGTH	
C1	S 90°00'00" E	116.00'	2.85%	N 12°56'54" W	12.87'

NOTES:

- Final EPSC Measures Shown Here On Shall be Enacted As Early As Practical During Construction. Stabilization Timing Criteria Has Been Established In The SWPPP and TRCOP.
- Inlet Protection, Erosion Blanket & Temporary Stabilization (I.E. Seed & Mulch) Will be Installed By General Contractor. Permanent Stabilization Measure (I.E. Sod, Landscape/Pavement) Will be Installed by Owner.



Pipe Table

PIPE	INV. IN (FT)	INV. OUT (FT)	LENGTH (FT)	SLOPE (%)	MATERIAL	SIZE (IN)
A	570.19	570.00	58	0.33	RCP	24
B	570.59	570.19	126	0.32	RCP	18
C	571.10	570.59	127	0.40	RCP	15
D	570.49	570.19	109	0.28	RCP	18
E	571.00	570.59	102	0.41	RCP	15
F	571.50	571.10	118	0.34	RCP	15
G	572.53	572.10	85	0.50	PVC	8
H	572.84	572.63	42	0.50	PVC	8

Drainage Structures Table

STR#	T.O.C.	INV. IN (FT)	INV. OUT (FT)	CASTING	TYPE
1	573.70	570.19 (B) 570.19 (D)	570.19	JBS 3104	Single Curb Inlet
2	573.60	570.59	570.59	JBS 3104	Single Curb Inlet
3	573.60	N/A	571.10	JBS 3104	Double Curb Inlet
4	573.60	570.59	570.49	JBS 3104	Single Curb Inlet
5	573.60	571.10	571.00	JBS 3104	Single Curb Inlet
6	574.00	572.10	571.50	JBS 3104	Single Curb Inlet
7	575.30	572.63	572.53	8" Dome Nyloplast Drain Basin	
8	575.30	573.00	572.84	8" Dome Nyloplast Drain Basin	(Perimeter Drain)

Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
○	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
—	EXIST. SIGN POST	—	PROPOSED SIGN POST
○	EXIST. SEWER CLEANOUT	—	CONCRETE BOLLARD
○	EXIST. MANHOLE (SEWER & PHONE)	—	WHEEL STOP
⊕	EXIST. CATCH BASIN (STORM SEWER)	—	EXIST. SIDEWALK
⊕	EXIST. WATER/GAS VALVE	—	EXTENDED CURB
⊕	EXIST. TELEPHONE RISER	—	CURB & GUTTER
⊕	EXIST. GAS RISER	—	TURN LANE ARROWS
⊕	ELECTRICAL ENCLOSURE	—	REVISION NUMBER
⊕	EXIST. WATER METER	—	DRAINAGE STRUCTURE DESIGNATION
⊕	EXIST. UTILITY POLE	—	GRASS/VEGETATION DESIGNATION
⊕	EXIST. FIRE HYDRANT	—	RAMP
⊕	POST INDICATOR BLOCK	—	RUNOFF FLOW ARROW
⊕	BLOW OFF VALVE	—	INLET FILTER PROTECTION
⊕	REDUCER	—	PROPOSED SPOT ELEVATION
⊕	REMOTE FIRE DEPT. CONNECTION	—	EXIST. SPOT ELEVATION
⊕	CONCRETE THRUST BLOCK	—	SEWER/STORM FLOW DIRECTION
⊕	DOUBLE DETECTOR CHECK VALVE	—	GATE VALVE & BOX
⊕	FIRE DEPT. CONNECTION	—	WATER METER
⊕	FIRE HYDRANT	—	GAS METER
⊕	GATE VALVE & BOX	—	GREASE TRAP
⊕	WATER METER	—	EXTERIOR CLEANOUT EGG
⊕	GAS METER	—	MANHOLE
⊕	GREASE TRAP	—	TYPE- X- HEADWALL
⊕	EXTERIOR CLEANOUT EGG	—	
⊕	MANHOLE	—	

EXISTING PHONE P11

EXISTING ELECTRIC CH1

PROPERTY LINE ————

EASEMENTS - - - - -

RIGHT OF WAY ROW

EROSION CONTROL SET FENCE SF — SF

EROSION EEL E — E — E

EXISTING TRENCH ————

EXISTING FENCELINE X — X — X

MINIMUM BUILDING SETBACK LINE ————

PHASE BOUNDARY ————

EXISTING GAS LINE ————

PROPOSED GAS LINE ————

EXISTING STORM ————

PROPOSED STORM ————

EXISTING CONTOUR LINES ————

PROPOSED CONTOUR LINES ————

EXISTING SANITARY SEWER ————

PROPOSED SANITARY SEWER ————

EXISTING WATER ————

PROPOSED WATER ————

SEC, Inc.
SITE ENGINEERING CONSULTANTS
ENGINEERING, ARCHITECTURE, LANDSCAPE ARCHITECTURE
180 MIDWAY TENNESSEE BOULEVARD, MURFREESBORO, TENNESSEE 37139
PHONE: (615) 899-7941 FAX: (615) 899-0467

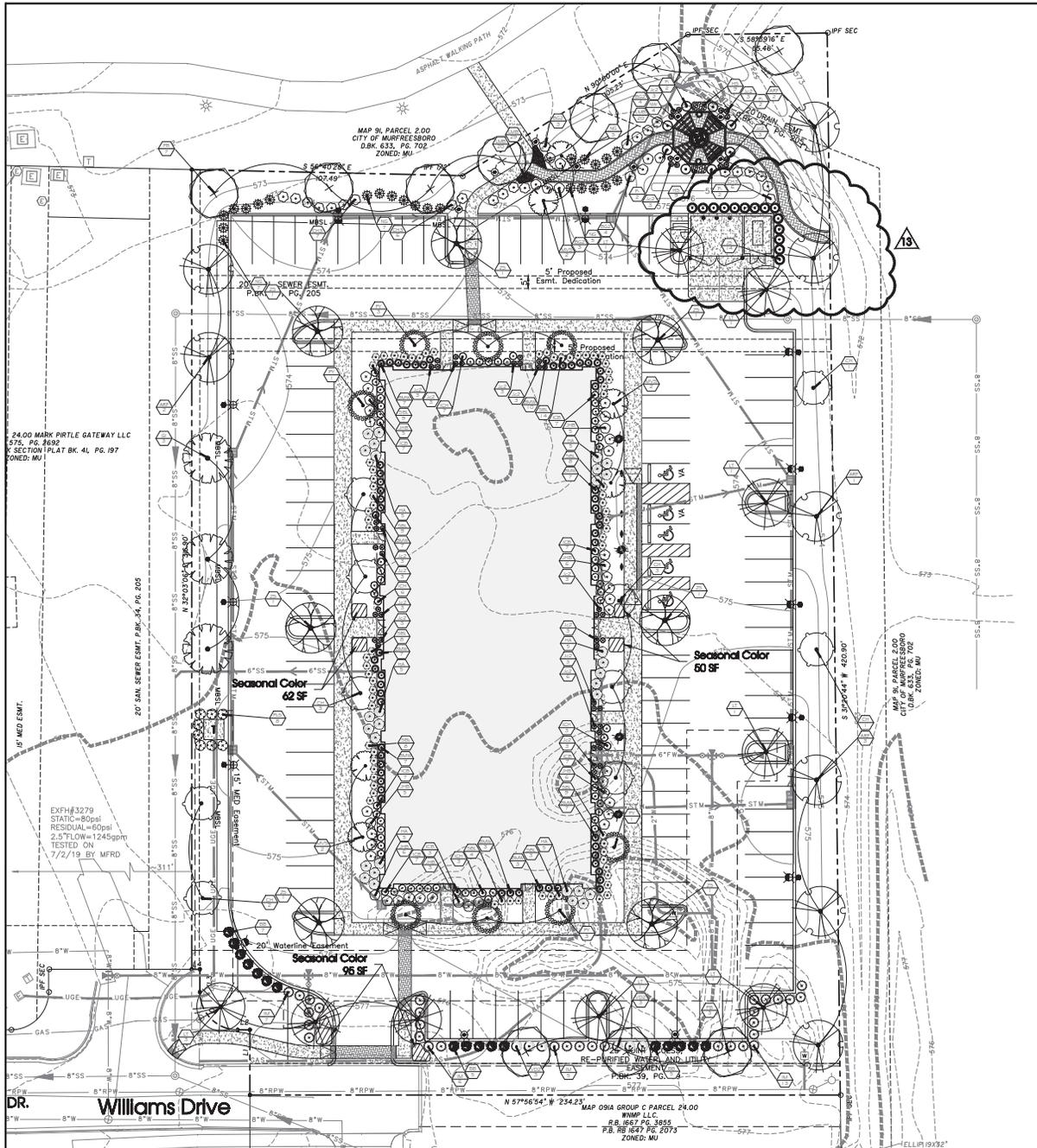
MATTHEW A. TAYLOR REGISTERED PROFESSIONAL ENGINEER
STATE OF TENNESSEE

Volunteer Behavioral Health
Waterstone Lot 6
Murfreesboro, Tennessee

Grading, Drainage & Final EPSC Plan

DATE: 8-11-2020, REVISION: 12, 13
SHEET: 13 OF 13
DRAWING: SJA/CFB3
DATE: 8-30-19
CHECKED:
MAT. MFL
FILE NAME: 05091.mxd.dwg
SCALE:
1"=20'
JOB NO: 05091
SHEET: C3.0

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Volunteer Behavioral Health Waterstone Lot 6 LANDSCAPE PLAN

SITE DATA
 SITE AREA: 2.25 ACRES
 SITE ZONING: MU & GDO-3

OPEN SPACE REQUIREMENTS
 20% OF OPEN SPACE (LANDSCAPE AREAS GREATER THAN 200 SF) IS REQUIRED PER PHASE.
 2.25 AC x 20% = 0.45 AC OPEN SPACE REQUIRED
 OPEN SPACE PROVIDED = 0.88 AC (38.4%)
 2,000 SF OF FORMAL OPEN SPACE REQUIRED
 2,607 SF OF FORMAL OPEN SPACE PROVIDED

GDO LANDSCAPE REQUIREMENTS

TREES	CALIPER INCH. REQUIRED	TREES REQUIRED	TREES PROPOSED	TOTAL CALIPER INCH. PROVIDED
A:2.1-40 CALIPER INCHES PER ACRE:	135			139
20% REQUIRED 4" CALIPER:	27	7	7	28
20% REQUIRED 3" CALIPER:	27	9	21	63
25% MIN. TO 40% MAX. 2" ORNAMENTAL TREES:	34-54	17-27	24	48

SHRUBS
 30 - 18" SHRUBS PER ACRE: 68 68

LANDSCAPE REQUIREMENTS (AS PER SECTION 27)

REQUIRED PERIMETER LANDSCAPING

REQUIRED	PROVIDED
WILLIAMS DRIVE (234.23' - 64.00') = 170.23 LF 1 SHADE TREE / 40 LF OF FRONTAGE 1 SHRUB / 5 LF OF FRONTAGE	4 TREES 34 SHRUBS 34 SHRUBS

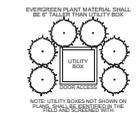
GATEWAY ISLAND
(268.18' - 5.07') = 263.18 LF
1 SHADE TREE / 40 LF OF FRONTAGE
1 SHRUB / 5 LF OF FRONTAGE

REQUIRED	PROVIDED
7 TREES 53 SHRUBS	7 TREES 53 SHRUBS

PARKING LOT REQUIREMENTS
 ONE SHADE TREE OR TWO ORNAMENTAL TREES PER 12.5 PARKING STALLS TO BE PLANTED IN LANDSCAPE ISLANDS (MIN. 8' WIDTH).
 104 PARKING SPACES PROVIDED = 8 TREES REQUIRED
 17 TREES PROVIDED IN ISLANDS

- PLAN NOTES:**
- ANY TREES OR SHRUBS THAT ARE DEAD, DYING OR MISSING OUTSIDE THE SCOPE OF THE CURRENT WORK WILL NEED TO BE REPLACED PRIOR TO ISSUANCE OF OCCUPANCY.
 - ALL LANDSCAPE BEDS TO HAVE NEATLY TRENCHED BED EDGE AND HAVE 4" MINIMUM DEPTH OF HARDWOOD MULCH.
 - ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
 - ALL NEW PLANT MATERIAL AND SOD AREAS SHALL BE IRRIGATED.
 - ALL SHRUBS TO BE 3" BACK OF CURB.
 - ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SOD.
 - ANY UTILITY STRUCTURE, LIGHT POLES, SIGN, OR OTHER FEATURE MAY NOT BE ADDED TO ANY REQUIRED LANDSCAPE ISLAND IN SUCH A MANNER THAT WOULD DISPLACE THE REQUIRED ELEMENT(S) (TREES, SHRUBS, ETC.).
 - PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING MATERIALS, INCLUDING TURF, AND IRRIGATION MATERIALS BOTH ON SITE, AND INSIDE THE ROW.

- PLANTING SCHEDULE NOTES:**
- SHRUBS AND TREES SHALL BE OF THE HIGHEST QUALITY.
 - NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
 - SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
 - REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF MURFREESBORO PLANNING DEPARTMENT 815-893-6441 PRIOR TO INSTALLATION.
 - ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.



UTILITY BOX SHADING NOT TO SCALE



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SCALE: 1" = 20'

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 650 HINDS & TENNESSEE BOULEVARD
 MURFREESBORO, TN 37055
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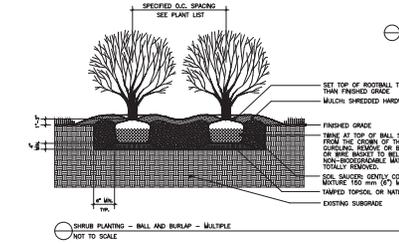
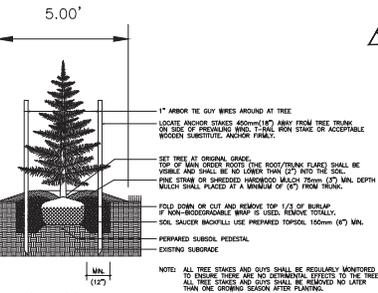
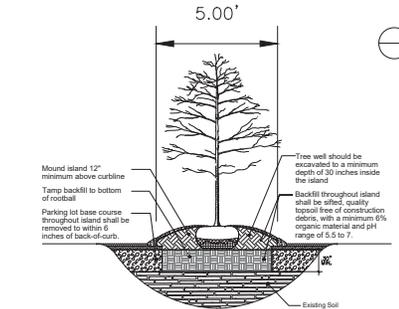
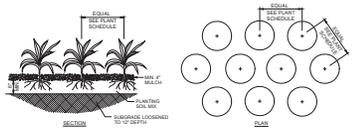
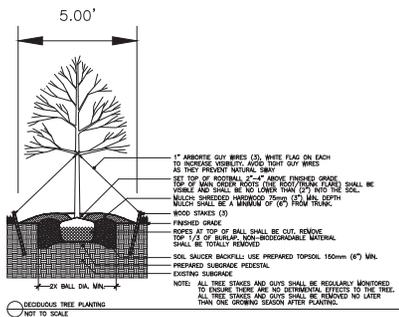
Volunteer Behavioral Health Waterstone Lot 6 Murfreesboro, TN

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	10-21-19	SWL	FOR REVISION
2	11-15-19	SWL	FINAL FOR SET
3	12-14-20	SWL	FOR REVISION
4	7-15-2020	SWL	REVISION 13

DRAWN: SWL
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 SHEET:

L1.0

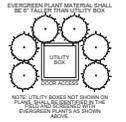


DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS
	ARF	8	ACER RUBRUM 'FRANKSRED' TM / RED SUNSET MAPLE	B 4 B	3'CAL	4' - 16'		AS SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED
	GI	3	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM / SKYLINE THORNLESS HONEY LOCUST	B 4 B	3'CAL	4' - 14'		AS SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED
	LT	9	LIRIODENDRON TULIPIFERA / TULIP TREE	B 4 B	3'CAL	4' - 16'		AS SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED
	PL	10	PLATANUS X ACERIFOLIA 'BLOODGOOD' / LONDON PLANE TREE	B 4 B	3'CAL	4' - 16'		AS SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED
	ZS	7	ZELKOVA SERATA 'GREEN VASE' / SAWLEAF ZELKOVA	B 4 B	4'CAL	16' - 18'		AS SHOWN	5' CLEAR TRUNK, SINGLE, STRAIGHT CENTRAL LEADER, EVENLY BRANCHED, SYMMETRICAL CROWN, MATCHED
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS
	JIS	14	JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER	B 4 B	6"	6"	2'	4' O.C.	FULL TO GROUND, DENSE, WELL-BRANCHED
UNDERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS
	CH	10	CERIS CANADENSIS 'HEARTS OF GOLD' / HEARTS OF GOLD REDBUD	B 4 B	2'CAL	10' - 12'		AS SHOWN	4' CLEAR TRUNK, FULL CANOPY, MATCHED
	MVS	6	MAGNOLIA VIRGINIANA / SWEET BAY	B 4 B	2'CAL	10' - 12'		AS SHOWN	4' CLEAR TRUNK, FULL CANOPY, MATCHED
	PY	6	PRUNUS YEDENSIS / YOSHINO CHERRY	B 4 B	2'CAL	10' - 12'		AS SHOWN	4' CLEAR TRUNK, FULL CANOPY, MATCHED
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS
	NW	4	NEPETA X FAASSENI 'WALKERS LOW' / WALKERS LOW CATMINT	1 GAL	12"	12"		3' O.C.	WELL ROOTED AND FULL TO EDGES OF CONTAINER
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS
	HA	30	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNAELLE SMOOTH HYDRANGEA	CONT.	30"	30"		4' O.C.	FULL, WELL-BRANCHED, MATCHED
	FL	6	PASSIFLORA INCARNATA / PASSION FLOWER VINE	CONT.	12"	12"		AS SHOWN	FULL, WELL-BRANCHED, MATCHED
	SBL	72	SPIRAEA X BUMALDA 'LIMEBOUND' TM / LIMEBOUND SPIREA	CONT.	12"	12"		3' O.C.	WELL-BRANCHED, DENSE, MATCHED
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS
	BG2	14	BUXUS X 'GLENDCE' / CHICAGO LINDEN GREEN BOXWOOD	CONT.	12"	12"		AS SHOWN	DENSE, FULL, MATCHED
	BMW	58	BUXUS MICROPHYLLA 'WINTER GEM' / GLOBE WINTER GEM BOXWOOD	CONT.	12"	12"		3' O.C.	WELL-BRANCHED, DENSE, MATCHED
	ICB	45	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY	CONT.	12"	12"		3' O.C.	DENSE, FULL, MATCHED
	ICH	19	ILEX CRENATA 'HOGGENDORF' / HOGGENDORF JAPANESE HOLLY	CONT.	12"	12"		3' O.C.	DENSE, FULL, MATCHED
	Jc2	54	JUNIPERUS COMMUNIS 'FENCIL POINT' / FENCIL POINT JUNIPER	CONT.	30"	18"		AS SHOWN	DENSE, FULL, MATCHED
	JHB	36	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER	CONT.	6"	12"		4' O.C.	DENSE, FULL, MATCHED
	PLS	6	PRUNUS LAUROCARASUS 'SCHIFFKANDIS' / SCHIFFKA LAUREL	CONT.	18"	12"		4' O.C.	FULL TO GROUND, DENSE, WELL-BRANCHED
PERMIETER SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS
	BB	17	BUXUS MICROPHYLLA JAPONICA 'GREEN BEAUTY' / GREEN BEAUTY BOXWOOD	CONT.	30"	30"		5' O.C.	DENSE, FULL, MATCHED
	CH3	19	CERIALDIFLUXA HARRINGTONIA 'DUKE GARDENS' / DUKE GARDENS FLUM YEW	CONT.	30"	30"		5' O.C.	DENSE, FULL, MATCHED
	M	31	ILEX X MESERVAE 'CHINA GIRL' TM / CHINA GIRL HOLLY	CONT.	30"	30"		5' O.C.	DENSE, FULL, MATCHED
	NG	24	NANDINA DOMESTICA 'GULF STREAM' TM / HEAVENLY BAMBOO	CONT.	30"	30"		5' O.C.	DENSE, FULL, MATCHED
	VD2	6	VIBURNUM OBOVATUM 'DENSA' / DWARF WALTERS VIBURNUM	CONT.	30"	30"		5' O.C.	DENSE, FULL, MATCHED
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	PLANT SIZE	HGT. MIN.	SPREAD MIN.	SPACING	REMARKS
	LD	18	HEMEROCALLIS X 'STELLA DE ORD' / STELLA DE ORD DAYLILY	1 QUART	12"	12"		18" O.C.	WELL ROOTED, MATURE, FULL TO EDGES OF CONTAINER
	LMB	69	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYPURP	1 QUART	12"	12"		12" O.C.	WELL ROOTED, MATURE, FULL TO EDGES OF CONTAINER

MATCHED - TREES OF THE SAME SPECIES SHALL HAVE THE FOLLOWING CHARACTERISTICS: MATCHED BY BRANCH HEIGHT, CALIPER, HEIGHT OF TREE, SPREAD OF BRANCHES AND BRANCHING STRUCTURE, AND OVERALL CANOPY SHAPE

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THESE UTILITIES.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES.
- PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
- TREAT ALL LANDSCAPE BEDS WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR AL WEEDING UNTIL FINAL ACCEPTANCE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTING AREAS AND LIVING PER PROJECT SPECIFICATIONS UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
- PROVIDE TREES, SHRUBS, AND PLANTS OF QUALITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK. HEIGHT AND WIDTH SHOWN ARE MINIMUM SIZES.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
- THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- THE QUANTITIES INDICATED ON THE PLANT SCHEDULE AND PLAN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HISHER OWN QUANTITY CALCULATION AND THE LIABILITY WHICH PERTAINS TO THOSE QUOTATIONS. ANY DISCREPANCY SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
- SOIL SAUCER DETAIL AND FINAL CONSTRUCTION IS NOT DESIGNATED AS GROUNDCOVER AREAS.
- SHRUBS AND GROUNDCOVER BEDS TO BE PLANTED IN A TRIANGULAR SPACING. SEE PLANTING SCHEDULE FOR DISTANCES.
- UPON COMPLETION AND FINAL ACCEPTANCE OF THE LANDSCAPE, THE CONTRACTOR SHALL SUBMIT A TRIANGULAR SPACING BOND WHICH WILL BE REQUIRED. THIS BOND SHOULD BE SUBMITTED IN THE NAME OF THE PROPERTY OWNER OF RECORD OR A LEASE HOLDER WHO HAS TEN (10) YEARS OR MORE REMAINING ON A CURRENT LEASE. THE PROPERTY OWNER/LEASE HOLDER SHOULD ALLOW ADEQUATE TIME TO OBTAIN THE BOND AS THIS PROCESS MAY BE LENGTHY AND MAY DELAY THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.



811
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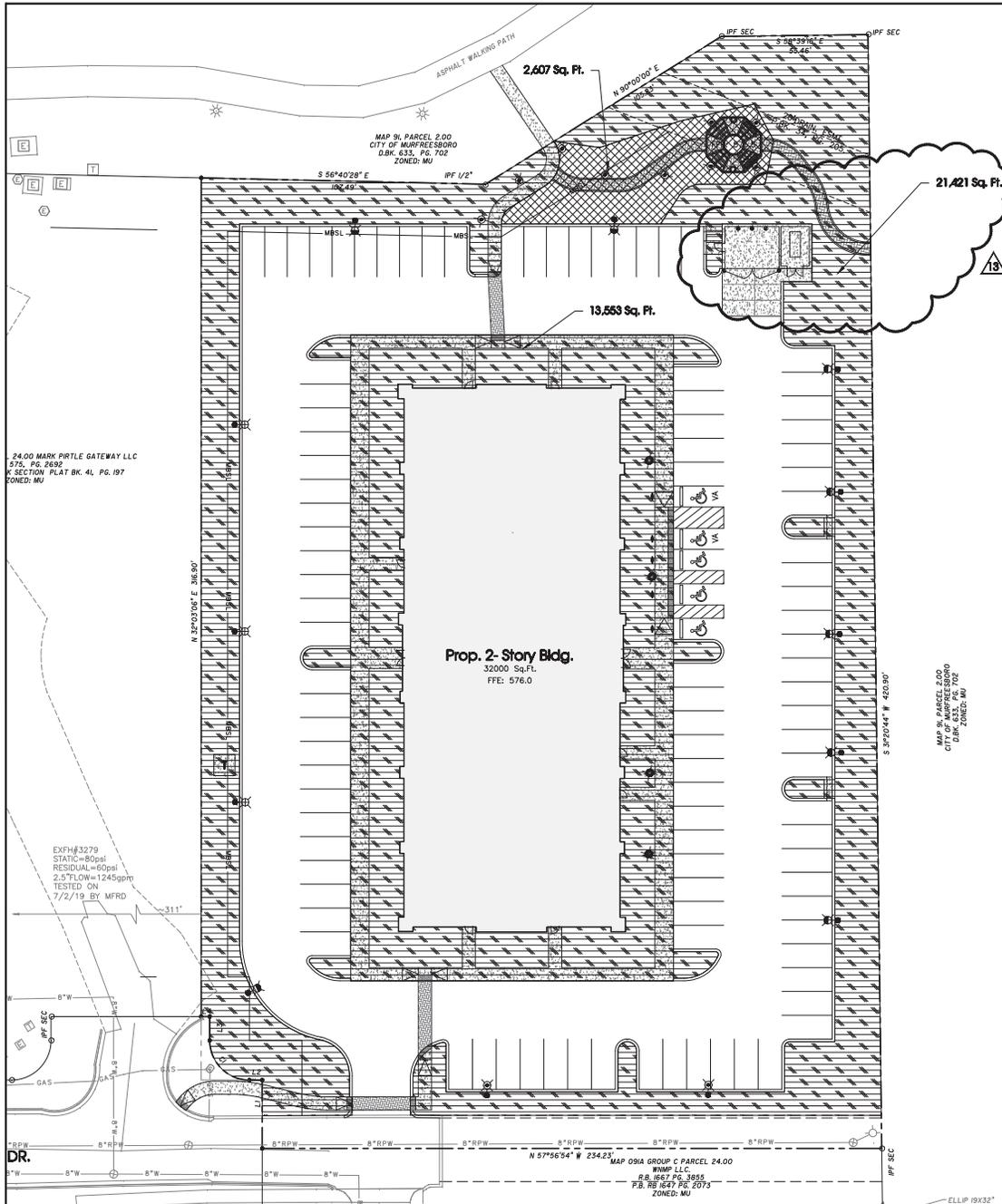


**Volunteer Behavioral Health
Waterstone Lot 6
Murfreesboro, TN**

Landscape Details & Notes

REVISIONS:
1. 10-21-19: Final Bldg Set
2. 11-13-19: Final Bldg Set
3. 12-24-2020: Revision 1
4. 7-15-2020: Revision 13

DRAWN: SRL
DATE: 08-30-19
CHECKED:
RSM
FILE NAME: 05091_WB_LA
SCALE:
N/A
JOB NO: 05091
SHEET:

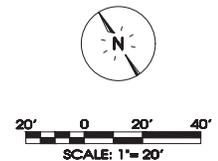
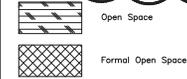


OPEN SPACE AREA PLAN

Open Space Calculation

Open Space:
Required: (20%)(2.25 Ac.) = 0.45 Acres (19,602 Sq.Ft.)
Provided: 37,561 Sq.Ft. or 0.86 Acres (38.44%)

Formal Open Space:
Required: 2,000 Sq.Ft.
Provided: 2,607 Sq.Ft.



S.E.C. Inc.
SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING
LANDSCAPE ARCHITECTURE
650 HINDLE AVENUE, SUITE 200
MURFREESBORO, TN 37130
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**Volunteer Behavioral Health
Waterstone Lot 6
Murfreesboro, TN**

Open Space Diagram

REVISIONS:	NO. DATE BY: Staff Comments
1	10-21-19 RSM Final Bldg Sht
2	11-13-19 Final Bldg Sht
3	12-14-19 Final Bldg Sht
4	7-12-2020 Revised 13

DRAWN: SWL
DATE: 08-30-19
CHECKED:
RSM
FILE NAME: 0509106_LA
SCALE: 1" = 20'
JOB NO. 05091
SHEET:

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**CONSTRUCTION
DOCUMENTS**

REVISIONS:

NO.	REV. DATE
2	11.15.19
4	12.06.19
13	07.15.20

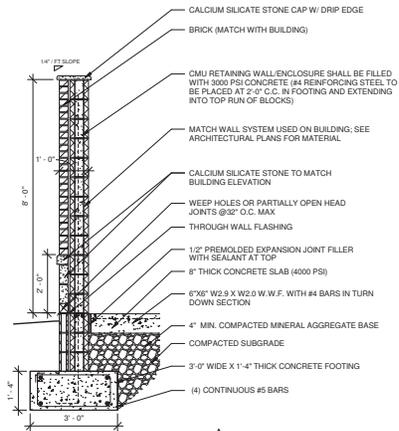
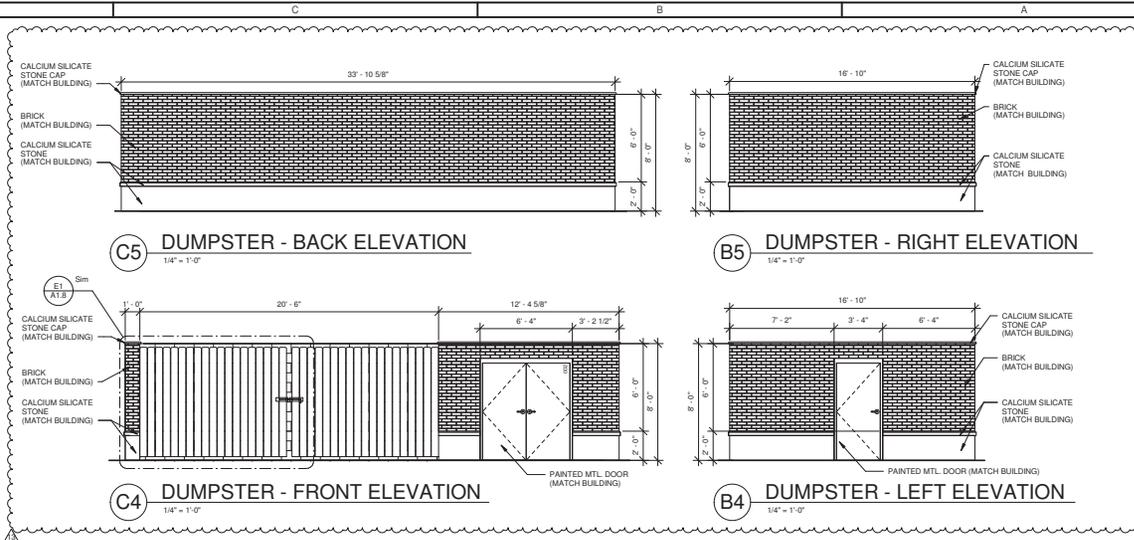
PROJECT NUMBER: 17443.01

DATE: 02.24.2020

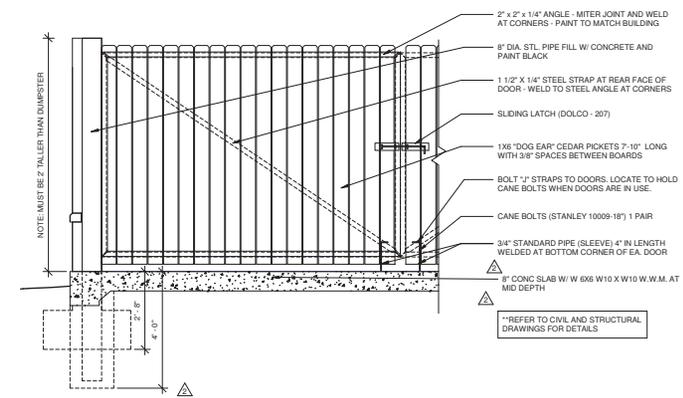
SHEET TITLE:
DUMPSTER ENCLOSURE

DRAWING NUMBER:

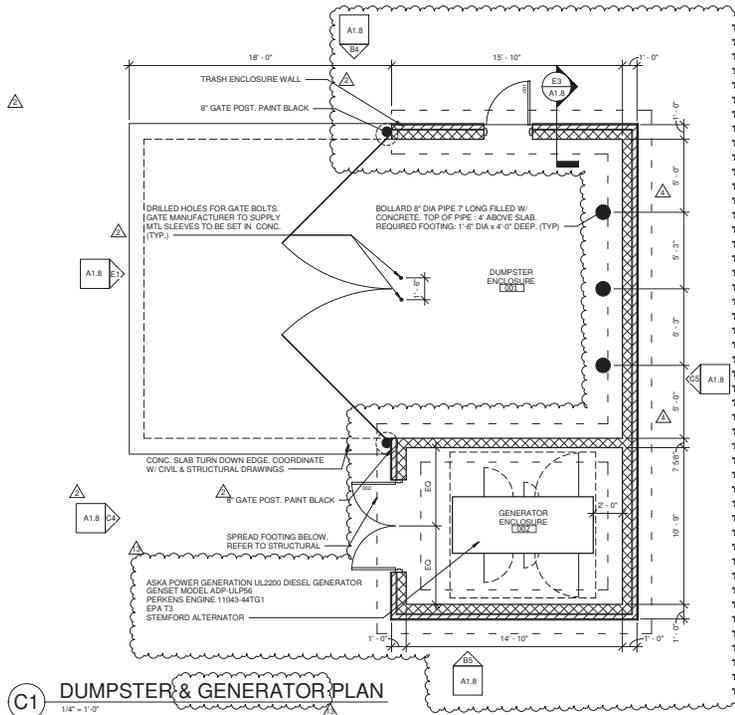
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E3 DUMPSTER WALL SECTION
1/2" = 1'-0"



E1 DUMPSTER GATE ELEVATION
1/2" = 1'-0"



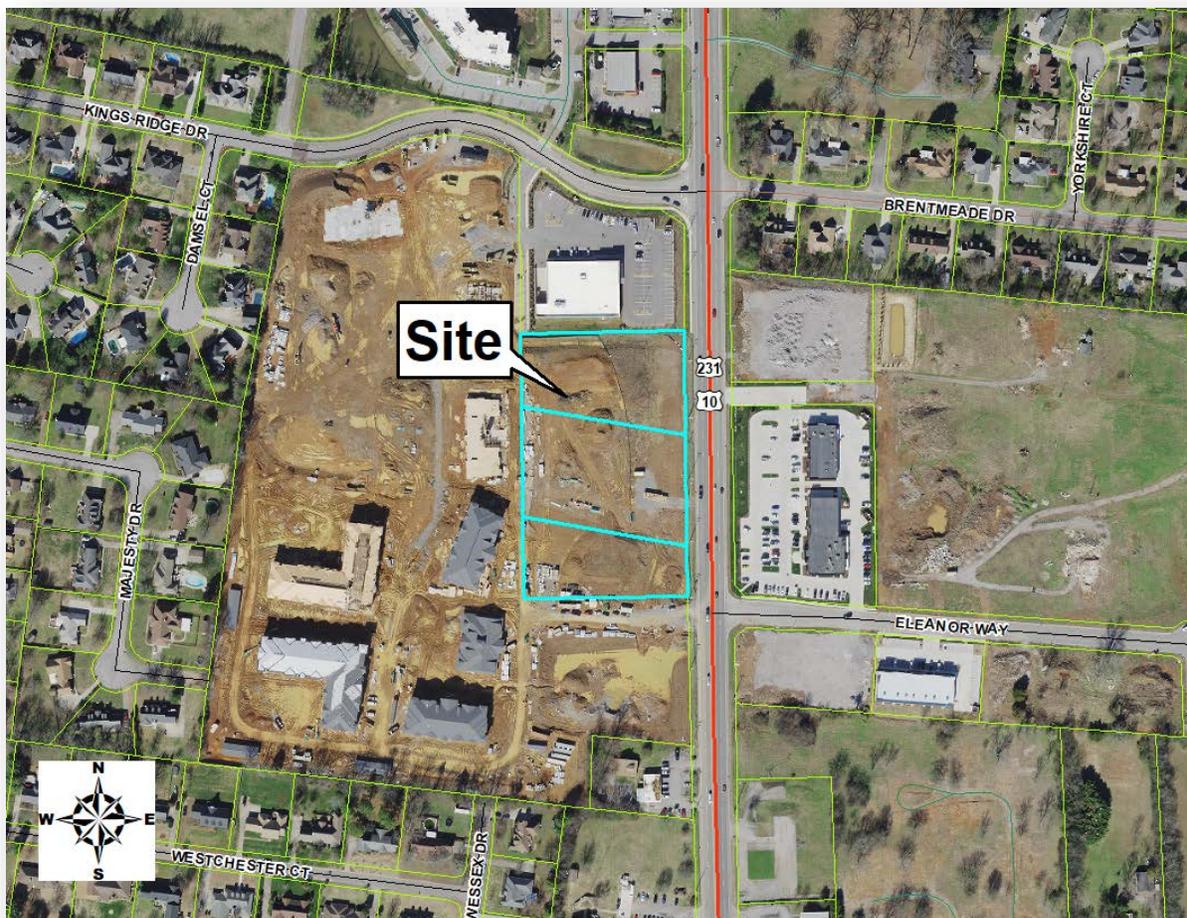
C1 DUMPSTER & GENERATOR PLAN
1/4" = 1'-0"

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 1/24/20 11:58 AM

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: AUSTIN COOPER**

5.a. Haynes Family, Lots 3-5 [2020-1015] master plan amendment and preliminary plat for 4 lots on 4.5 acres zoned CH located along Memorial Boulevard, Track West Partners developer.

This is a master plan and preliminary plat review for the Haynes Family subdivision located along Memorial Boulevard. The property is zoned CH. The purpose of this plat is to create 3 lots of record. Preliminary plat approval shall not confer a vested right to proceed with development of the property as shown on the preliminary plat but rather shall authorize the applicant to submit construction plans in accordance with said approval and the requirements of the Subdivision Regulations. Staff recommends that any approval of the preliminary plat be made subject to all staff comments.



Staff Comments

Development Services – Planning

Austin Cooper, 615.893.6441, acooper@murfreesborotn.gov

- 1) Will there be access easements to connect the proposed shared entrances? If so, include on plat.
- 2) Please revise the purpose note to read, “The purpose of this plat is to create 3 lots of record and record easements as shown.”
- 3) Please provide a separate diagram on how development is intended to occur on lot 3 due to the small width of the lot.
- 4) Please include a master plan sheet to update the master plan prior to the planning commission meeting.
- 5) Remove the corner lot from the typical setback diagram.
- 6) If 10’ area adjacent to property lines is intended to be setbacks, please remove from plat or label if intended to be an easement.
- 7) Include side setback footnote for the CH zone.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) No Comments

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

- 1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

- 1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750 tstevens@murfreesborotn.gov

- 1) No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

- 1) No Comments

Middle Tennessee Electric Membership Corporation

Josh Seng, 615.898.6738, Josh.Seng@ mtemc.com

- 1) No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

- 1) No Comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

- 1) Add the Release & Covenant Not to Sue note to the plat:
 - a. Under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
- 2) MWRD must receive contract and surety prior to signing the plat.
- 3) The Developer is financially responsible for providing water and sewer service to each lot. Revise plans accordingly.

Informational and Procedural Comments

Development Services – Planning

Austin Cooper, 615.893.6441, acooper@murfreesborotn.gov

Matthew Blomeley, 615.893.6441, mblomeley@murfreesborotn.gov

- 1) Per the engineer's certification on this plan, this property lies in Zone X, outside areas designated as floodway and/or 100-year floodplain per the latest FIRM maps (1/5/07) for the City of Murfreesboro.
- 2) This site plan is not affected by the City's Major Transportation Plan.
- 3) In accordance with TCA Section 7-59-310(b)(1), Competitive Cable and Video Services Act, in case of new construction of property development where utilities are to be placed underground, the developer or property owner shall give all providers of cable or video serving the City of Murfreesboro dates on which open trenching will be available for the providers' installation of conduit, pedestals or vaults, and laterals referred to as "equipment" to be provided at such providers' expense.

Development Services – Engineering

Katie Noel, 615.893.6441, knoel@murfreesborotn.gov

- 1) Construction plans require approval of engineering staff separate from the planning commission review. A PFD of construction plans should be sent to the engineering point of contact for review.
- 2) A State of Tennessee Stormwater Permit is required. Evidence of this permit must be provided prior the city issuing a Land Disturbance Permit.
- 3) A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Engineering Department and must be approved by the city engineer.
- 4) Prior to a land disturbance permit, provide a stormwater pollution prevention plan (SWPPP) to be reviewed and approved by the City Engineer prior to any permit. Include provisions for

erosion and sediment control with details in general compliance with the TDEC Erosion and Sediment Control Handbook Fourth Edition.

Development Services – Landscaping

Brad Barbee, 615.893.6441, bbarbee@murfreesborotn.gov

1) No Comments

Building and Codes Department

Brian Hardison, 615.893.3750, bhardison@murfreesborotn.gov

1) No Comments

Signage (Building and Codes)

Teresa Stevens, 615.893.3750, tstevens@murfreesborotn.gov

1) No Comments

Consolidated Utility District

Brandon Hunter, 615.225.3311, bhunter@ cudrc.com

1) No Comments

Middle Tennessee Electric Membership Corporation

Josh Seng, 615.898.6738, Josh.Seng@ mtemc.com

1) No Comments

Murfreesboro Fire and Rescue Department

Carl Peas, 615.893.1422, cpeas@murfreesborotn.gov

1) No Comments

Murfreesboro Water Resources Department

Greg Harvey, 615.890.0862, gharvey@murfreesborotn.gov

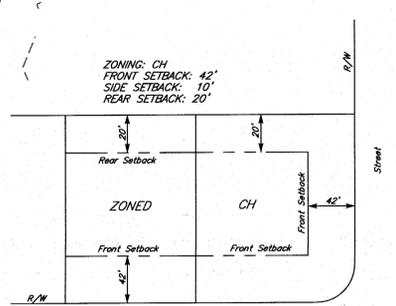
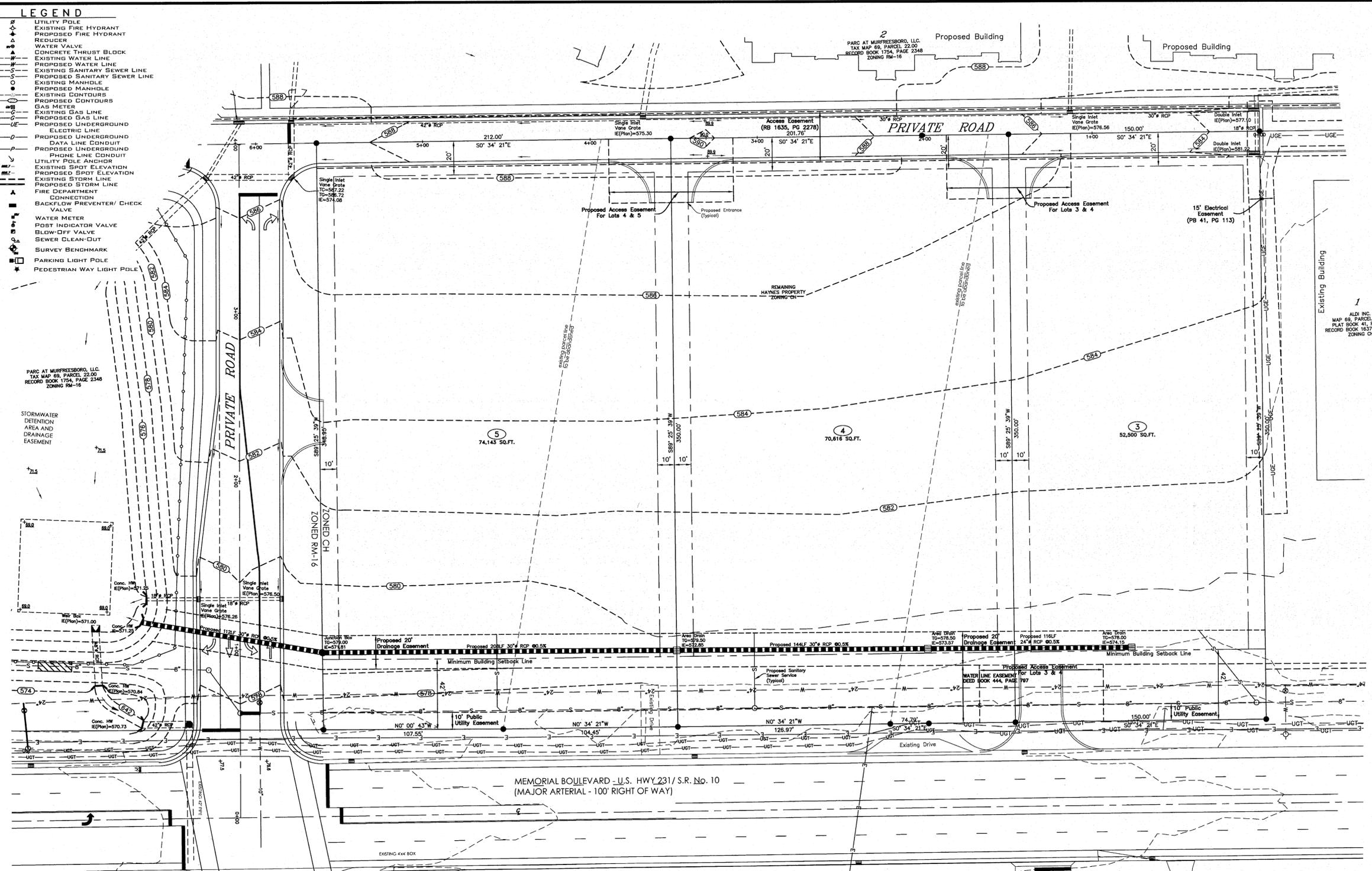
1) No Comments

LEGEND

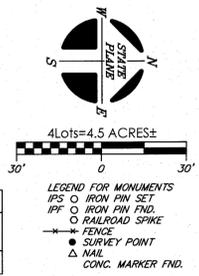
- UTILITY POLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- REDUCER
- WATER VALVE
- CONCRETE THRUST BLOCK
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING MANHOLE
- PROPOSED MANHOLE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- GAS METER
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING UNDERGROUND ELECTRIC LINE
- PROPOSED UNDERGROUND DATA LINE CONDUIT
- PHONE LINE CONDUIT
- UTILITY POLE ANCHOR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING STORM LINE
- PROPOSED STORM LINE
- FIRE DEPARTMENT CONNECTION
- BACKFLOW PREVENTER / CHECK VALVE
- WATER METER
- POST INDICATOR VALVE
- BLOW-OFF VALVE
- SEWER CLEAN-OUT
- SURVEY BENCHMARK
- PARKING LIGHT POLE
- PEDESTRIAN WAY LIGHT POLE



- PLAN NOTES**
1. The purpose of this plat is to create a 3 lot subdivision.
 2. In Tennessee, it is a requirement per "The Underground Utility Damage Prevention Act" that anyone who engages in excavation must notify all known underground utility owners, no less than three nor more than ten working days of their intent to excavate. A list of these utilities may be obtained from the County Register of Deeds. Those utilities that participate in the Tennessee One Call system can be notified by calling toll free 1-800-351-1111.
 3. Underground utilities shown were located using available above ground evidence, and also from information obtained from the respective utility companies. The existence or nonexistence of the utilities shown and any other utilities which may be present on this site or adjacent sites should be confirmed with the utility owner prior to commencing any work.
 4. It is the responsibility of each builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the structure, from his structure to the drainage system constructed by the subdivision developer.
 5. Parcels may be subject to additional easements, and/or restrictions, by record or prescription, that a complete title search may reveal.
 6. Public utility and drainage easements where shown hereon are intended to indicate an easement for construction, operation, and maintenance of public utilities and drainage ways; including, but not limited to, sanitary sewers, forcemains, water lines, telephone signal conduits, electric conductors, drainage pipes, and natural gas lines. Easements may not have infrastructure constructed within them until some future time and there may be no notice or consultation with the individual lot Owners of this construction.
 7. A Land Disturbance Permit (LDP) is required before any work begins on site, including soil disturbance. The LDP application must be submitted to the Planning and Engineering Department and must be approved by the City Engineer.
 8. An erosion prevention and sediment control plan will be required with an application for a Land Disturbance Permit.
 9. Construction Plans will be subject to review and approval by the City Engineer and Murfreesboro Water and Sewer Department.
 10. Existing Topo shown taken from proposed grading plan for Parc at Murfreesboro.
 11. No work in Tennessee Department of Transportation (TDOT) ROW (Memorial Blvd) without prior written consent from TDOT.
 12. Per the City of Murfreesboro, under the current adopted plumbing code, the City of Murfreesboro requires the minimum floor elevation (M.F.E.) to be set at or above the top of casting elevation of the nearest manhole that is upstream of the sewer service connection. As an alternative, the homeowner shall install a backwater valve per the plumbing code and execute and record a release of indemnification against the City of Murfreesboro with regards to the sanitary sewer connection. The builder and/or homeowner shall be responsible for compliance with this requirement.
 13. Per the City of Murfreesboro, the Developer is financially responsible for providing water and sewer service to each lot.



CH DISTRICT 1. All Uses	Minimum Lot Requirements		Minimum Yard Requirements (ft.)			Maximum Height (ft.)	Maximum Gross Density (D.U./Acre)	Land Use Intensity Ratios			Maximum Lot Coverage (percent)
	Area (Sq.Ft.)	Width (ft.)	Front (ft.)	Side (ft.)	Rear (ft.)			Maximum F.A.R.	Minimum L.S.R.	Minimum O.S.R.	
	none	none(0)	42	10(0)	20	75	none	none	none	none	none



DEVELOPER: TRACK WEST PARTNERS
ADDRESS: 445 BISHOP STREET NW
ATLANTA, GA 30318

OWNER: TERRY G HANES ETAL
CAROLYN N HAYNES
ADDRESS: P.O. BOX 338
MURFREESBORO, TN 37133

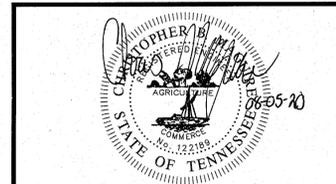
TAX MAP 69, PARCEL 23.00
RECORD BOOK 519, PAGE 1183

OWNER: HAYNES BROS LUMBER CO.
ADDRESS: P.O. BOX 338
MURFREESBORO, TN 37133

TAX MAP 69, PARCEL 23.01
RECORD BOOK 385, PAGE 1396

OWNER: LISA S HAYNES
ADDRESS: 1707 RIVERVIEW DRIVE
MURFREESBORO, TN 37129

TAX MAP 69, PARCEL 22.01
RECORD BOOK 614, PAGE 636



SHUDDLESTON-STEEL ENGINEERING INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
SURVEYING : 893 - 4084, FAX: 893 - 0080

DRAWING REVISIONS

NO.	DATE	DESCRIPTION
0	07-16-20	ORIGINAL ISSUE-PRELIMINARY PLAT
1	08-5-20	REVISED PER STAFF COMMENTS

PRELIMINARY PLAT
THE HAYNES FAMILY
SUBDIVISION
LOTS 3-5
MEMORIAL BLVD
MURFREESBORO, RUTHERFORD COUNTY, TN

DATE: JULY 2020 SCALE: 1"=30' SHEET: C-1.0

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020**

(Project Planner: Margaret Ann Green)

6.a The Journey Home, INC. [2020-410] for approximately 0.4 acres located at 206 Dill Lane, The Journey Home, Inc. applicant. .

The subject property is located along the west side of Dill Lane, just south of the Dill Lane apartments. The study area is approximately 0.4 acres and it is identified on Tax Map 103B, Group B Parcel 007.02. The property has two existing single-family houses that were constructed in 1934 and 1973. The subject property was acquired by Journey Home from the City of Murfreesboro in 2014.

The request is to rezone the property from RS-15 (Single Family Residential District, minimum lot size 15,000 square feet) to RS-8 (Single Family Residential District, minimum lot size 8,000 square feet). The Journey Home wishes to remove the existing structures on the property to create two separate lots of record and cannot meet minimum lot requirements under the RS-15 district. The applicants plan to build two residential buildings on these future lots as part of their services to the local community. These homes will allow them to continue their mission.

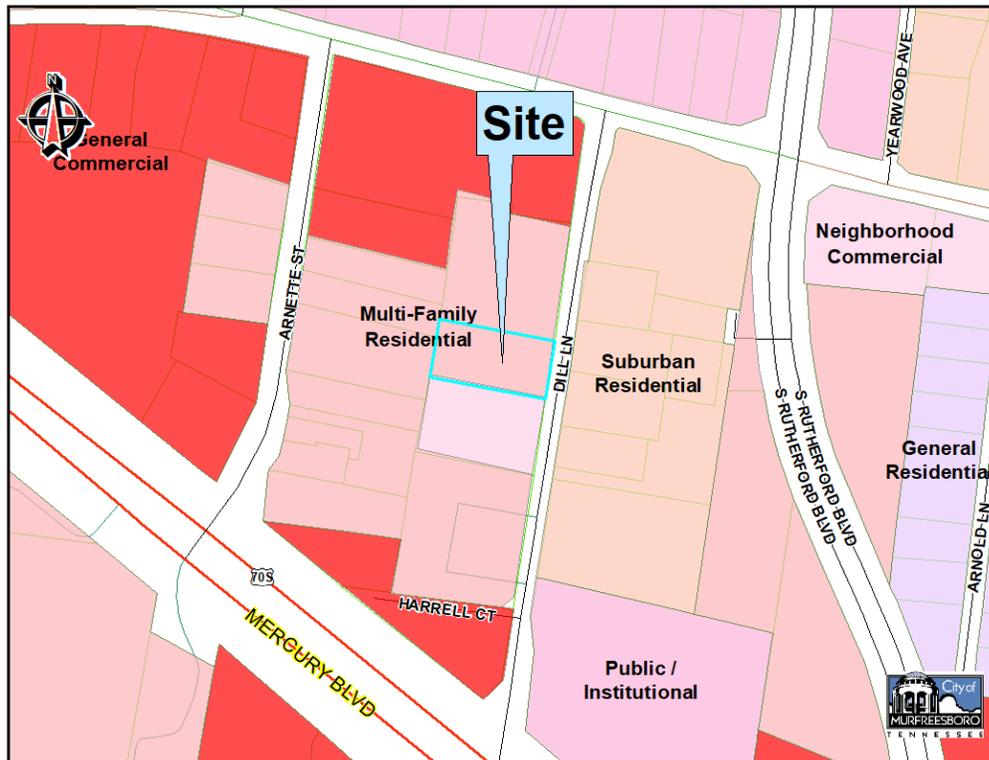
This RS-8 district is intended to permit the development and continued maintenance of single family residential areas characterized by relatively low overall density with lots of at least 8,000 square feet per dwelling unit. Other uses such as schools, churches, and specified services associated with or compatible with the residential uses allowed in this district are also permitted subject to site plan review and approval or the issuance of a special permit therefor. It is also intended that the relatively low density of this district will permit, to the extent possible, the preservation of open space and natural amenities.

Future Land Use Map

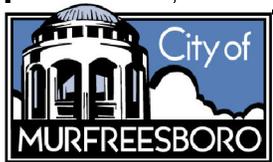
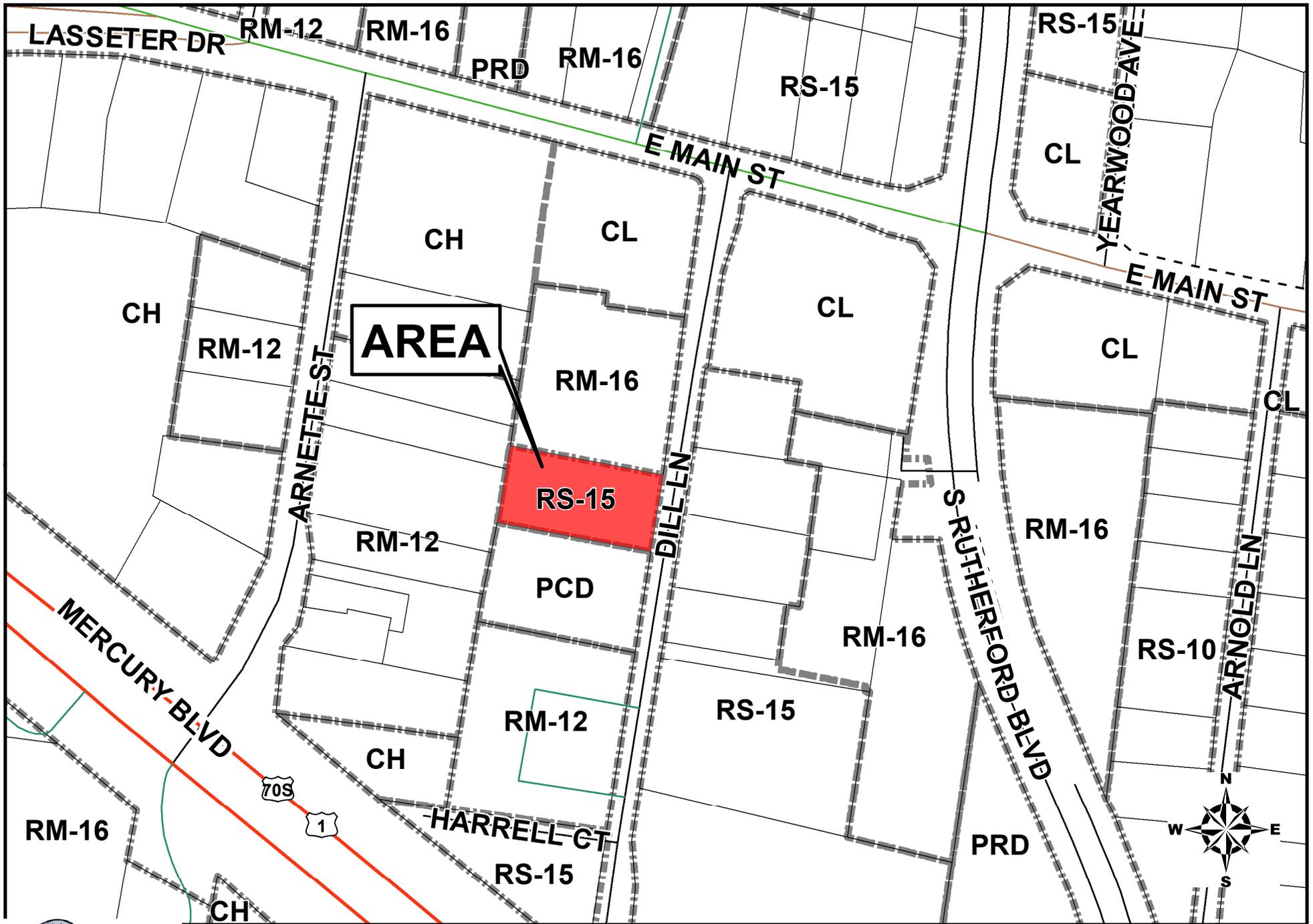
The Murfreesboro 2035 Future Land Use Map indicates that Auto-Urban Multi-Family Character uses are the most appropriate land use for the subject property. Higher density residential uses such as attached and multiple-family housing (up to three stories in height), and manufactured home communities also have this character due to their density, limited open space, relative amount of impervious surface devoted to buildings and parking lots, and increased building enclosure. Multi-family residential developments are typically setback from road frontages, with buildings surrounded by surface parking lots and oriented inward toward recreational / social amenities, such as swimming pools, cabanas, etc. The characteristics of this area are:

- Gated automobile and pedestrian entrances;

- Internal orientation;
- Designated recreational areas, often with pool house and pool;
- Shared stair wells and elevators, depending on the number of stories;
- Perimeter buildings heights are typically reduced compared to internal buildings.
- Surface parking lots.



The Planning Commission will need to discuss the matter then schedule this item for a public hearing.



**Zoning Request for Property Along Dill Lane
RS-15 to RS-8**



Planning Department
City of Murfreesboro
111 W. Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov



**Zoning Request for Property Along Dill Lane
RS-15 to RS-8**



Planning Department
City of Murfreesboro
111 W. Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov

SEC, Inc.

SITE ENGINEERING CONSULTANTS

Engineering • Surveying • Land Planning • Landscape Architecture
850 Middle Tennessee Blvd, Murfreesboro, TN 37129
www.sec-civil.com • 615-890-7901 • fax 615-895-2567

July 16, 2020

Mr. Greg McKnight
City of Murfreesboro Planning Department
111 West Vine Street
Murfreesboro, TN 37130

RE: Rezoning Cover Letter
The Journey Home Property at 206 Dill Lane
Murfreesboro, TN
SEC No. 20056

Dear Mr. McKnight,

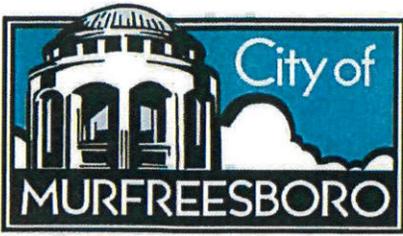
Please accept this letter along the attached exhibit and application as The Journey Home's official request to the City of Murfreesboro to rezone their property at 206 Dill Lane. The request is to rezone the property from RS-15 to RS-8. The Journey Home is planning on removing the existing structures on the property to create two residential lots. They plan to build two residential buildings on these future lots as part of their services to the local community. These homes will allow them to continue their mission to help those in need get back on their feet.

If you should have any questions concerning this request, please feel free to call at 615-890-7901, or via email at rmolchan@sec-civil.com.

Sincerely,



Rob Molchan, P.L.A.
Landscape Architect & Land Planner
SEC, Inc.



T E N N E S S E E

Creating a better quality of life

City of Murfreesboro
Planning and Engineering Department
111 W. Vine Street, P.O. Box 1139
Murfreesboro, TN 37133-1139
(615) 893-6441 Fax (615) 849-2606
www.murfreesborotn.gov

Table with 2 columns: Application Type and Fee. Includes 'Zoning & Rezoning Applications - other than rezoning to planned unit development' for \$700.00 and 'Zoning & Rezoning Applications - Planned Unit Development, initial or amended' for \$950.00.

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

- 1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: The Journey Home Inc

Address: PO Box 331025 City/State/Zip: Murfreesboro, TN 37133

Phone: 615-867-4040 E-mail address: ascottfoster@comcast.net

PROPERTY OWNER: The Journey Home Inc

Street Address or property description: 206 Dill Ln

and/or Tax map #: 103B Group: B Parcel (s): 7.02

Existing zoning classification: RS-15

Proposed zoning classification: RS-8 Acreage: 0.4

Contact name & phone number for publication and notifications to the public (if different from the applicant): Matt Taylor 615-890-7901

E-mail: mtaylor@sec-civil.com

APPLICANT'S SIGNATURE (required): [Signature]

DATE: 7-16-2020

*****For Office Use Only*****

Date received: MPC YR.: MPC #:

Amount paid: Receipt #:



②

15685 Sq.Ft.

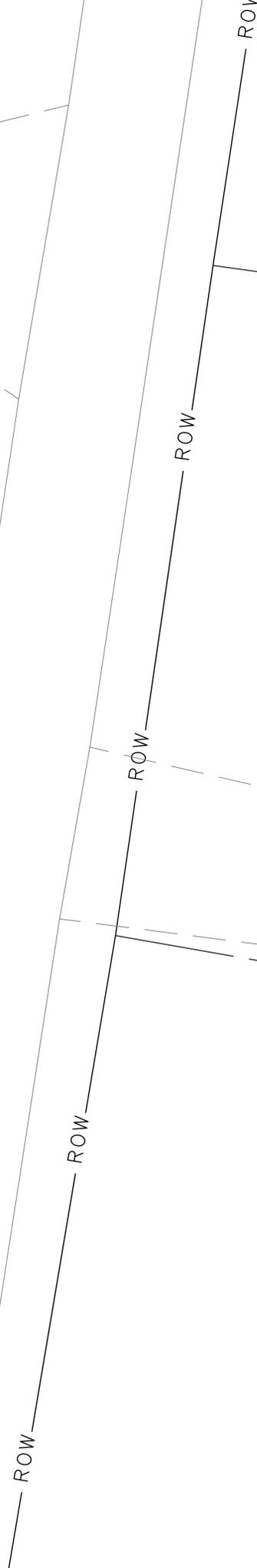


①

11807 Sq.Ft.

Existing House
1-3BR Unit

Dill Ln



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 13, 2020**

PRINCIPAL PLANNER MARGARET ANN GREEN

6.b. Annexation plan of services and annexation petition [2020-503] for approximately 1 acre located along Clays Mill Drive and Sulphur Springs Road, Crescent Homes, Elizabeth Helander and Allison Magna applicants.

The subject property is located along Sulphur Springs Road and Clays Mill Drive. The property consists of approximately 1 acre and is identified as follows:

Owners: Crescent Homes, Elizabeth Helander and Allison Magna

- Tax Map 058P, Group G Parcel 001.00 (2223 Clays Mill Drive) approximately 0.48 acres
- Tax Map 058P, Group G Parcel 002.00 (2222 Clays Mill Drive) approximately 0.45 acres

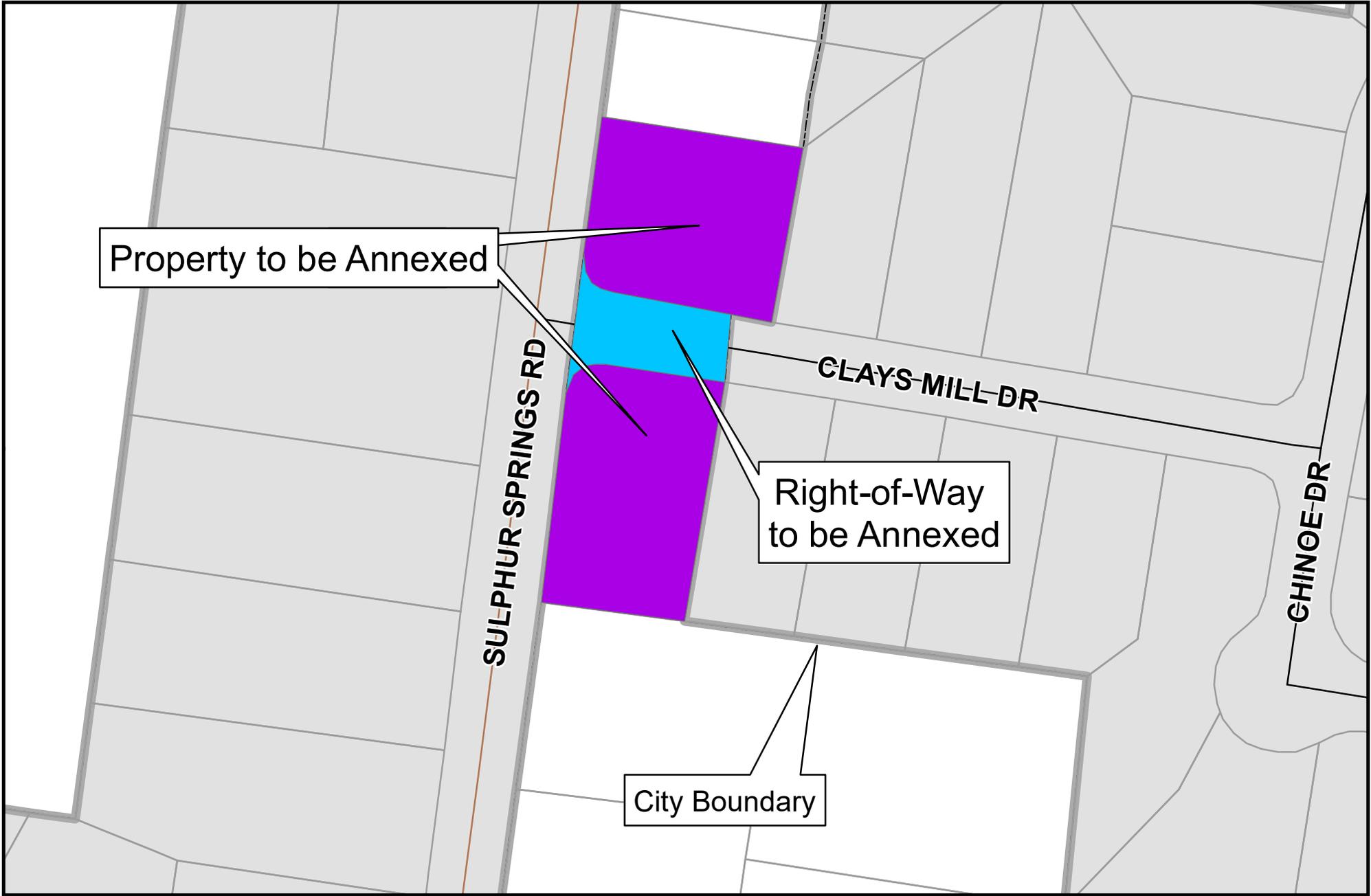
Right(s)-of-way

- Approximately 150 linear feet of Clays Mill Drive right-of-way (approximately 0.17 acres)

The study area consists of two lots that are a part of the Estates of Primm Springs, a developed, single-family subdivision. Written petitions requesting annexation have been filed with the City by the property owners. This annexation request was initiated by one of the homeowners who has received a waiver from Murfreesboro City Schools to send child(ren) to Erma Siegel Elementary this Fall conditioned upon annexation of the property. The property will be zoned RS-15 (Single-Family, Residential District) if incorporated within City limits.

The subject property is located within the City's Urban Growth Boundary and is contiguous with the current City limits. It appears that the City will be able to extend most City provided services immediately upon the effective date of annexation. Staff will provide an *Annexation Feasibility Study and Plan of Services* that outlines a timeframe for the extension of services for consideration and adoption.

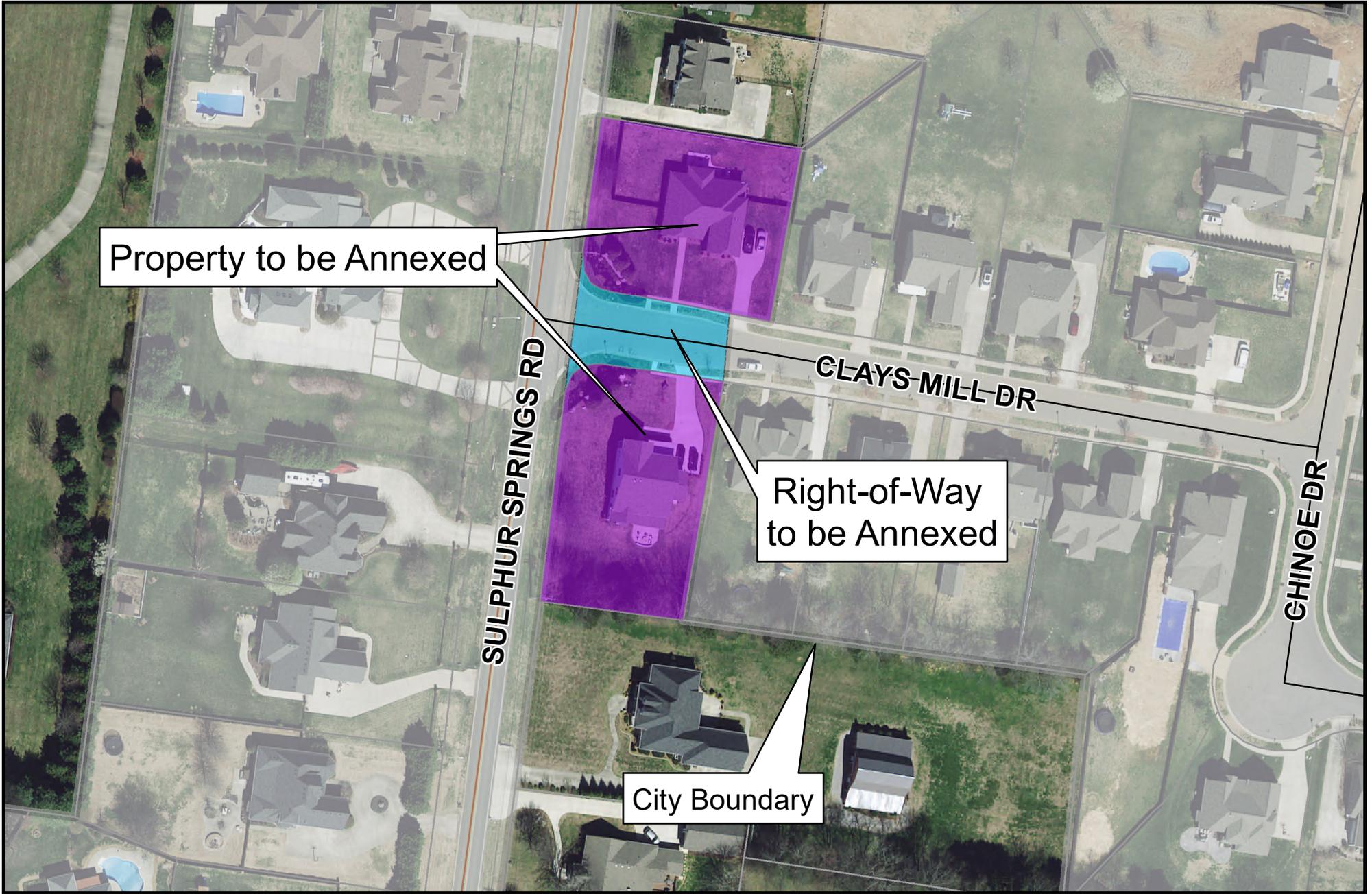
The Planning Commission will need to schedule a public hearing on the matter of the annexation petition and Plan of Services.



Annexation Request for Property Along
Clays Mill Drive and Sulphur Springs Road



Planning Department
City of Murfreesboro
11 W Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Annexation Request for Property Along Clays Mill Drive and Sulphur Springs Road



Planning Department
City of Murfreesboro
11 W Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

PLAT NOTES

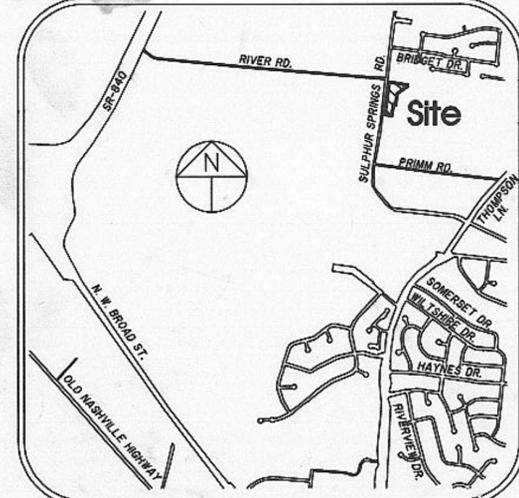
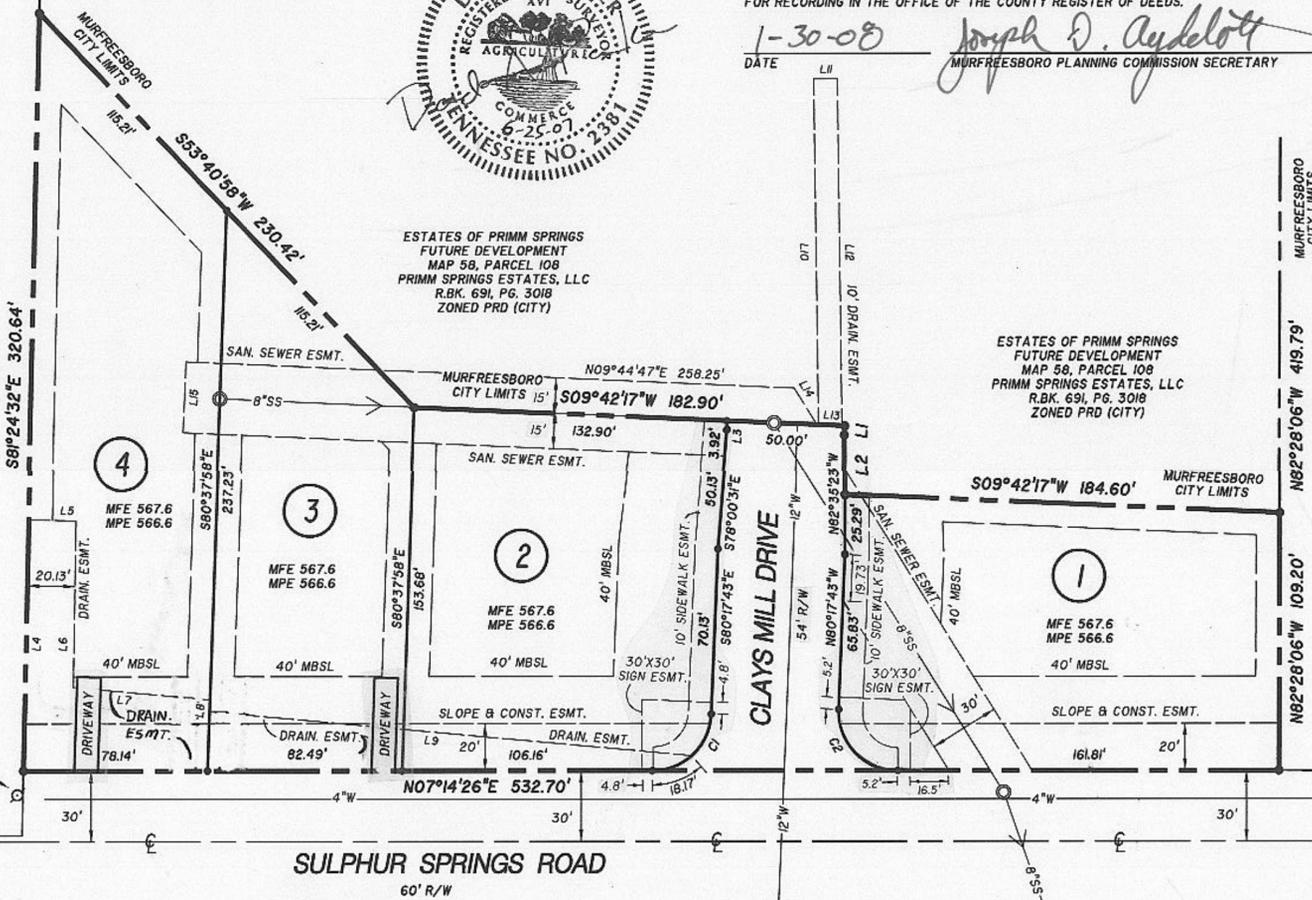
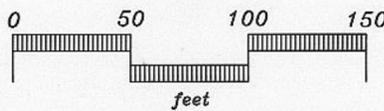
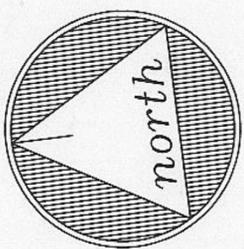
- THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE A PORTION OF MAP 58, PARCEL 108 INTO 35 SINGLE FAMILY LOTS.
- IT IS THE RESPONSIBILITY OF EACH RESIDENTIAL BUILDER TO DESIGN AND CONSTRUCT A SUITABLE GRADING AND DRAINAGE SCHEME WHICH WILL CONVEY SURFACE WATER, WITHOUT PONDING IN THE LOT OR UNDER THE HOUSE, FROM HIS STRUCTURE TO THE DRAINAGE CONSTRUCTED BY THE SUBDIVISION DEVELOPER.
- PARCELS MAY BE SUBJECT TO ADDITIONAL EASEMENTS AND/OR RESTRICTIONS, BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- PUBLIC UTILITY EASEMENTS, IF AND WHERE SHOWN HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, MAINTENANCE, AND OPERATION OF PUBLIC UTILITIES AND DRAINAGE WAYS, INCLUDING, BUT NOT LIMITED TO, SANITARY SEWERS, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- IN TENNESSEE IT IS A REQUIREMENT PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT" THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE NOR MORE THAN TEN WORKING DAYS OF THEIR INTENT TO EXCAVATE. A LIST OF THESE UTILITIES MAY BE OBTAINED FROM THE COUNTY REGISTER OF DEEDS. THOSE UTILITIES THAT PARTICIPATE IN THE TENNESSEE ONE CALL SYSTEM CAN BE NOTIFIED BY CALLING TOLL FREE 1-800-351-1111.
- PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUED AREAS WITHIN 15 DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. SOIL STABILIZATION SHALL ALSO BE APPLIED WITHIN 15 DAYS TO THE DENUED AREAS WHICH MAY NOT BE AT FINAL GRADE, BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN 60 DAYS.
- PROPERTIES ADJACENT TO THE SITE OF LAND SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, THIS MAY BE ACCOMPLISHED BY PRESERVING A WELL-VEGETATED BUFFER STRIP AROUND THE LOWER PERIMETER OF THE LAND DISTURBANCE; BY INSTALLING PERIMETER CONTROLS SUCH AS SEDIMENT BARRIERS, FILTERS OR DIKES, OR SEDIMENT BASINS; OR BY A COMBINATION OF SUCH MEASURES.
- NO FILL MATERIAL, RUBBISH, OR BUILDING MAY BE PLACED IN ANY NATURAL DRAINAGE WAY, SUCH AS STREAM BEDS, SINKHOLES, UNDERGROUND STREAMS OR CHANNELS, OR WET WEATHER STREAM BEDS OR FLOODWAYS.
- THIS PROPERTY LIES WITHIN ZONE X, NOT IN THE 100 YEAR FLOODPLAIN, PER FEMA FIRM MAP NO. 47149C045 H, EFFECTIVE DATE JANUARY 5, 2007.
- MINIMUM SETBACKS FOR LOTS AS SHOWN HEREON UNLESS NOTED OTHERWISE:
FRONT - 40 FT.
SIDE - 10 FT.
REAR - 20 FT.
- PROPERTY IS CURRENTLY ZONED R-15.
- BEARING SYSTEM IS STATE PLANE COORDINATES BASED ON THE CITY OF MURFREESBORO URBAN GROWTH BOUNDARY MONUMENT UG802-083.
- ALL FIRE HYDRANTS SHALL BE PLACED IN COORDINATION WITH CONSOLIDATED UTILITY DISTRICT.
- NO DRIVEWAY ACCESS TO SULPHUR SPRINGS ROAD FROM LOTS 1 & 2.
- LOTS 1-4 ARE NOT WITHIN A FLOOD ZONE; HOWEVER, MINIMUM PAD & FLOOR ELEVATIONS HAVE BEEN ESTABLISHED TO PROTECT THE HOMEOWNER FROM POSSIBLE HIGH WATER IN NEARBY DRAINAGE DITCHES.
- MAINTENANCE OF THE DRAINAGE EASEMENT FOR LOTS 2-4 IS THE RESPONSIBILITY OF THE HOMEOWNERS FOR THESE LOTS.
- AGREEMENT FOR SEWER SERVICE OUTSIDE THE CITY LIMITS.
RECORD BOOK 762 PAGES 3476-3480
BENCHMARK
RR SPIKE IN POWER POLE
ELEV=567.26
- HOA docs. recorded in
RB 774, pg. 2383
RB 782, pg. 2877

LOT AREAS

LOT	SQ FT	ACRES
1	20,882	0.479
2	19,619	0.450
3	16,112	0.370
4	22,302	0.512

LINE DATA

LINE	BEARING	DISTANCE
L1	N80°17'43"W	3.92'
L2	N82°35'23"W	24.66'
L3	S80°17'43"E	3.92'
L4	S81°24'32"E	106.51'
L5	S08°35'28"W	20.00'
L6	N81°41'02"W	70.64'
L7	S12°28'46"W	58.60'
L8	N77°31'14"W	5.00'
L9	S12°28'46"W	205.19'
L10	S83°27'23"E	145.94'
L11	S06°32'37"W	10.00'
L12	N83°27'23"W	146.85'
L13	N09°42'17"E	11.85'
L14	N65°25'13"E	18.15'
L15	N80°15'13"W	30.00'



CURVE DATA

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING
C1	87°32'08"	25.00'	38.19'	23.95'	34.59'	S36°31'38"E
C2	92°27'52"	25.00'	40.35'	26.10'	36.11'	S53°28'22"W

- LEGEND**
- IRON PIN (FOUND)
 - IRON PIN SET (NEW)
 - 8"W — WATER LINE w/ FIRE HYD.
 - ○ — SEWER LINE w/ MANHOLE

I hereby certify that this plat has been reviewed and payment received for the Rutherford County Development Tax.
Tax Certificate No. 1787 EN 5-9-08
Rutherford County Regional Planning Commission

SITE DATA:
TOTAL AREA SECTION I = 1.997 ACRES
AREA IN 4 LOTS = 1.811 ACRES
AREA IN RIGHT-OF-WAY = 0.186 ACRES
ZONING = R-15

PLAT BOOK 34, PAGE 48
TIME OF RECORDING: 3:27 P.M.
DATE OF RECORDING: May 14, 2008

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE
I HEREBY CERTIFY: (1) THAT STREETS, DRAINAGE STRUCTURES, AND DRAINAGE IMPROVEMENTS FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE LOCAL HEALTH AUTHORITY.
DATE 1-29-08
CITY ENGINEER

CERTIFICATE OF APPROVAL FOR SEWER SYSTEMS
I HEREBY CERTIFY THAT: (1) THE SEWER LINES AND APPURTENANCES FOR THE SEWER SYSTEM OF THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND REQUIREMENTS OF THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION, DESIGN CRITERIA FOR SEWAGE WORKS; (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME; OR (3) THAT A SUBSURFACE SEWAGE SYSTEM WILL BE PERMITTED SUBJECT TO THE APPROVAL OF THE LOCAL HEALTH AUTHORITY.
DATE 7/2/07
MURFREESBORO WATER AND SEWER OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING (MURFREESBORO)
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR THE CITY OF MURFREESBORO, TENNESSEE WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER OF DEEDS.
DATE 1-30-08
MURFREESBORO PLANNING COMMISSION SECRETARY

CERTIFICATE OF APPROVAL FOR WATER
I HEREBY CERTIFY THAT: (1) THE WATER LINES AND APPURTENANCES FOR THE SUBDIVISION SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CITY CODES AND SPECIFICATIONS AND THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION COMMUNITY PUBLIC WATER SYSTEMS DESIGN CRITERIA, OR (2) THAT A SURETY FOR THESE IMPROVEMENTS HAS BEEN POSTED WITH THE CITY OF MURFREESBORO TO ASSURE COMPLETION OF SAME AND THAT THE LAND SHOWN TO BE SUBDIVIDED HEREON IS WITHIN THE WATER SERVICE JURISDICTION OF MURFREESBORO WATER AND SEWER DEPARTMENT.
DATE 6-25-07
CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

CERTIFICATE FOR APPROVAL OF ELECTRIC POWER
I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT (MED) FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLYING WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.
DATE JUNE 25, 2007
ELECTRIC POWER OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING (RUTHERFORD COUNTY)
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.
DATE 7-9-07
CHAIRMAN, PLANNING COMMISSION RUTHERFORD COUNTY

DATE 5-14-08
SECRETARY, PLANNING COMMISSION RUTHERFORD COUNTY

CERTIFICATE OF ACCURACY
I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED.
DATE 6/26/07
RECORD BOOK 691, PAGE 3018
PRIMM SPRINGS ESTATES, LLC
RICK BLACKBURN, SECRETARY

CERTIFICATE OF APPROVAL FOR WATER
I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE RUTHERFORD COUNTY, TENNESSEE, PLANNING COMMISSION, THAT THE PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1/10,000, AND THAT MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE COUNTY ROAD COMMISSIONER OR COUNTY ENGINEER.
SEC. INC. 6-25-07
DATE 6-25-07
TENN. R.L.S. No. 2381
REGISTERED SURVEYOR

CERTIFICATE OF APPROVAL FOR RECORDING (RUTHERFORD COUNTY)
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.
DATE 6-26-07
CONSOLIDATED UTILITY DISTRICT OF RUTHERFORD COUNTY

CERTIFICATE FOR APPROVAL OF ELECTRIC POWER
I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON HAS BEEN APPROVED BY THE MURFREESBORO ELECTRIC DEPARTMENT (MED) FOR ELECTRIC POWER SERVICE, THAT THE SUBDIVISION IS WITHIN THE SERVICE AREA OF MED, AND THAT MED IS ABLE TO PROVIDE ELECTRIC POWER SERVICE TO THE SUBDIVISION SUBJECT TO THE OWNER COMPLYING WITH THE APPLICABLE RULES AND REGULATIONS OF MED. NO ELECTRIC POWER SERVICE WILL BE PROVIDED UNTIL MED'S REQUIREMENTS FOR ELECTRIC POWER SERVICE HAVE BEEN MET.
DATE JUNE 25, 2007
ELECTRIC POWER OFFICIAL

CERTIFICATE OF APPROVAL FOR RECORDING (RUTHERFORD COUNTY)
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR RUTHERFORD COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION, AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.
DATE 7-9-07
CHAIRMAN, PLANNING COMMISSION RUTHERFORD COUNTY

DATE 5-14-08
SECRETARY, PLANNING COMMISSION RUTHERFORD COUNTY

MAP 58, PARCEL 108.03
JOE BREWER EST.
D.B.K. 77, PG. 15
ZONED R15
(COUNTY)

OWNER/DEVELOPER:
PRIMM SPRINGS ESTATES, LLC
CONTACT: RICK BLACKBURN
6026 NOLENSVILLE RD.
NASHVILLE, TN 37211
DEED REFERENCE:
RECORD BOOK 691, PG. 3018, R.O.R.C.
TAX MAP 58, PARCEL 108

FINAL PLAT

SECTION I
ESTATES OF PRIMM SPRINGS
SUBDIVISION

9th CIVIL DISTRICT, RUTHERFORD COUNTY, TENNESSEE

SEC, Inc. **SITE ENGINEERING CONSULTANTS**
ENGINEERING • SURVEYING • LAND PLANNING
850 MIDDLE TENNESSEE BLVD • MURFREESBORO, TENNESSEE 37129
PHONE (615) 890-7901 • FAX (615) 895-2567

PROJ. # 05232	DATE: 06-07-07	FILE: PRIMMSPRGS PLATI	DRAWN BY: ACAD/LP	SCALE: 1" = 50'	SHEET I OF 1
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06-156

06-156

07-2102 06-156

Consent for Annexation of Public Right-of-Way by the City of Murfreesboro

The City of Murfreesboro, Tennessee has initiated an annexation study of public right-of-way as shown on the attached Exhibit, which specifically includes that section of Clays Mill Drive directly in front of 2223 Clays Mill Drive, totaling approximately 150 linear feet (“County Right-of-Way”), such section being a portion of the prescriptive/platted right-of-way for Clays Mill Drive shown in the current Rutherford County Highway Department Road Book. The undersigned, a duly authorized official of Rutherford County, Tennessee, hereby certifies that, at a public meeting held on August 3, 2020 and in furtherance of the requirements set forth in Tenn.Code Ann. § 6-51-1014, the Rutherford County Highway Commission consented to the annexation of the County Right-of-Way by the City of Murfreesboro, Tennessee.

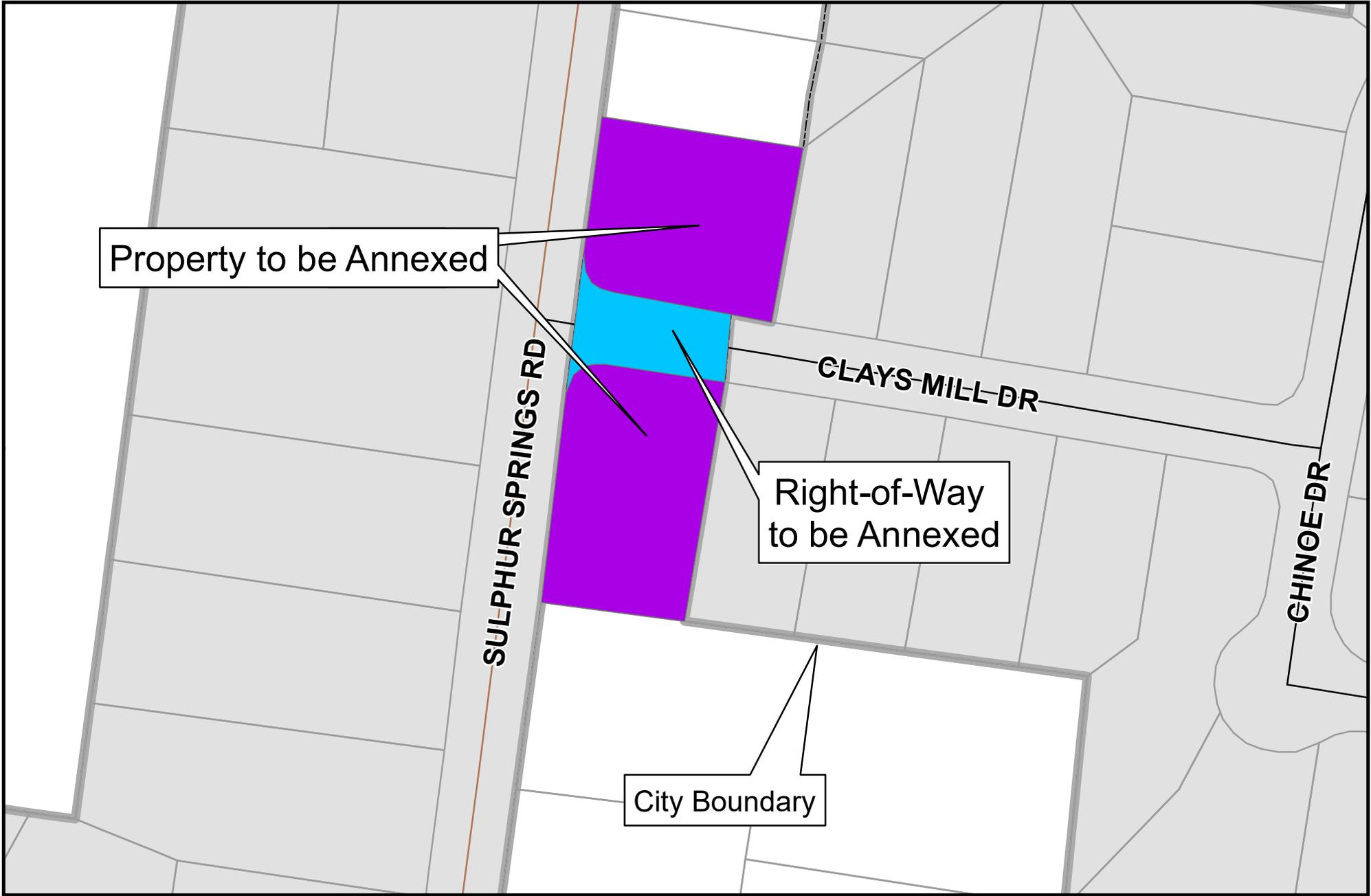
WITNESS MY HAND this ___ day of _____ 2020.

Greg Brooks
Rutherford County Road Superintendent

Sworn to and subscribed before me, a notary public in and for said county and state in Murfreesboro, Tennessee on the ___ day of _____.

NOTARY PUBLIC

My Commission Expires: _____



Annexation Request for Property Along Clays Mill Drive and Sulphur Springs Road



Planning Department
City of Murfreesboro
11 W Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Crescent Homes Realty, LLC - Ted Terry
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: [Signature] Status: President & CEO Date: 6-29-2020

101 Forrest Crossing Blvd. , Suite 107. Franklin, TN 37064
Mailing Address (if not address of property to be annexed)

2.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes No

\$ 500.00 pd 7/16 Receipt 279 238

20-503

2223 CLAYS MILL DR Murfreesboro TN 37130
ESTATES of PRIMMSPRINGS

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

Chris and Elizabeth Helander/New Owners as of 7/22/2020

Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Christopher Helander Status: OWNERS Date: 07/22/2020

Mailing Address (if not address of property to be annexed)
7/22/2020 4:54:14 PM CDT

2.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: ON FILE Yes

Power of Attorney applies and is attached: _____ Yes X No

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Allison Lynn Magna
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: [Signature] Status: M Date: 7/10/20
Mailing Address (if not address of property to be annexed)

2. BOBBY MAGNA JR.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: [Signature] Status: M Date: 7/20/20
Mailing Address (if not address of property to be annexed)

3.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____
Mailing Address (if not address of property to be annexed)

4.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____
Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: _____ Yes

Power of Attorney applies and is attached: _____ Yes _____ No

1

WARRANTY DEED	STATE OF TENNESSEE, COUNTY OF DAVIDSON
	<p>THE ACTUAL CONSIDERATION OR VALUE, WHICHEVER IS GREATER FOR THIS TRANSFER IS \$130,000.00</p> <p><i>[Signature]</i> Affiant</p> <p>Subscribed and sworn to me on August 4,</p> <p><i>[Signature]</i> NOTARY PUBLIC</p> <p>My Commission Expires: 03-07-17</p>

THIS INSTRUMENT WAS PREPARED BY:
 Richard W. Sebastian
 ORTALE, KELLEY, HERBERT & CRAWFORD
 330 Commerce Street, Suite 110
 Nashville, TN 37201
 Our File #29392CSP

NAME/ADDRESS OF NEW OWNER:	SEND TAX BILLS TO:	MAP - PARCEL #
Crescent Homes TN, LLC 572 Savannah Highway Charleston, SC 29407	SAME ADDRESS AS NEW OWNER	058P-G-001 (Lot 1) 058P-G-004 (Lot 4)

FOR AND IN CONSIDERATION of Ten (\$10.00) Dollars, cash in hand paid by the hereinafter named Grantee, and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, McGowan Family Limited Partnership, a Tennessee limited partnership, hereinafter called "**GRANTOR**," has bargained and sold, and by these presents does transfer and convey unto Crescent Homes TN, LLC, a Delaware limited liability company, hereinafter called "**GRANTEE**," its successors and assigns, a certain tract or parcel of land in Rutherford County, State of Tennessee, described as follows:

Land in Rutherford County, Tennessee, being Lot Nos. 1 & 4, as shown on the Final Plat of Section One, Estates of Primm Springs Subdivision, of record in Plat Book 34, page 48, in the Register's Office for Rutherford County, Tennessee, to which plat reference is hereby made for a more complete legal description.

Being a portion of the same property conveyed to McGowan Family Limited Partnership, a Tennessee limited partnership by Deed from Primm Springs Estates, LLC, of record in Record Book 1357, page 2366 as corrected in Record Book 1361, page 2412, in the Register's Office for Rutherford County, Tennessee.

The conveyance of the above-described parcel of land is subject to the following:

1. 2016 Rutherford County and City of Murfreesboro taxes which have been prorated by the parties and assumed by the Grantee.
2. Matters shown on plan of record in Plat Book 34, page 48, Register's Office for Rutherford County, Tennessee.
3. Declaration of Covenants, Conditions and Restrictions, of record in Record Book 774, page 2383, as amended of record in Record Book 782, page 2877 and Record Book 1399, page 3188 as corrected by Record Book 1435, page 2397 and as further amended in Record Book 1482, page 3174, Register's Office for Rutherford County, Tennessee.

Heather Dawbarn, Register
 Rutherford County Tennessee

Rec #: 877873	Instrument #: 2035885
Rec'd: 15.00	
State: 481.00	
Clerk: 1.00	Recorded
Other: 2.00	8/10/2016 at 9:10 AM
Total: 499.00	in
	Record Book 1492 Pgs 2747-2749

4. Consent for Drainage granted to City of Murfreesboro of record in Record Book 166, page 1231, said Register's Office.
5. Right-of-Way Easement to Middle Tennessee Electric Membership Corporation of record in Deed Book 280, page 763, said Register's office.
6. Subdivision and Street Grant Easement of record in Record Book 843, page 1805, in the Register's Office for Rutherford County, Tennessee.
7. Permanent Drainage Easements conveyed to the City of Murfreesboro of record in Record Book 798, pages 3560 and 3564, in the Register's Office for Rutherford County, Tennessee.
8. Agreement for Water and Sewer Service to Property Outside City Limits of record in Record Book 762, page 3476, in the Register's Office for Rutherford County, Tennessee.
9. Subject to any and all zoning regulations, building restrictions, setback lines, if any, and easements and rights of way for public utilities applicable to this property.

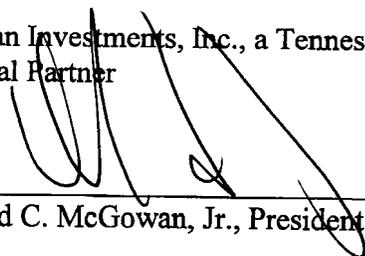
These properties are also known as Lots 1 & 4, Sulphur Springs Road, Estates of Primm Springs, Murfreesboro, Rutherford County, TN 37127.

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title and interest thereto belonging to the said GRANTEE, its successors and assigns, forever, and GRANTOR does covenant with the said GRANTEE that it is lawfully seized and possessed of said land in fee simple, has a good right to convey it, and the same is unencumbered, unless otherwise herein set out; and GRANTOR does further covenant and bind itself, its successors and assigns, to warrant and forever defend the title to the said land to the said GRANTEE, its successors and assigns, against the lawful claims of all persons whomsoever. Wherever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

WITNESS my hand on August 4, 2016.

McGowan Family Limited Partnership, a Tennessee
Limited Partnership

By: McGowan Investments, Inc., a Tennessee Corporation,
its General Partner

By: 

David C. McGowan, Jr., President

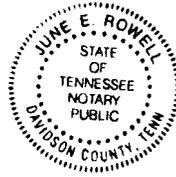
STATE OF TENNESSEE, COUNTY OF DAVIDSON

Personally appeared before me, the undersigned, a notary public for the state and county aforesaid, David C. McGowan, Jr., with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged himself to be the President of McGowan Investments, Inc., which entity is a General Partner of McGowan Family Limited Partnership, a Tennessee limited partnership, the within named bargainer, and that he as such President executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation as General Partner in his capacity as President of McGowan Investments, Inc.

Witness my hand and official seal on August 4, 2016.

June E. Rowell
Notary Public

My Commission Expires: 1-9-18



NOTARY PUBLIC
June E. Rowell
My Commission Expires
January 9, 2018
STATE OF TENNESSEE

Heather Dawbarn, Register
Rutherford County Tennessee

Rec #: 1056907 Instrument #: 2284647
Rec'd: 20.00 Recorded
State: 1324.60 6/29/2020 at 9:38 AM
Clerk: 1.00 in Record Book
Other: 2.00
Total: 1347.60

1923

Pages 1000-1003

This instrument prepared by:
Momentum Title, LLC
630 W. Burton Street
Murfreesboro, TN 37130
File Number: 3-20-7571

STATE OF TENNESSEE
COUNTY OF Hindsboro

The actual consideration or value, whichever is greater, for this transfer is \$358,000.00.

[Signature]
Affiant

Subscribed and sworn to before me, this the 26th day of June, 2020.

[Signature]
Notary Public

My Commission Expires: 6-11-21



Address New Owner(s)	Send Tax Bills To:	Map-Parcel Number(s)
Allison Lynn Magna and Robert Sebastian Magna, Jr. 2222 Clays Mill Drive Murfreesboro, TN 37129	Acopia, LLC 306 Northcreek Blvd Suite 100 Goodlettsville, TN 37072	058P-G-002.00-000

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten and no/100 Dollars (\$10.00), cash in hand paid by the hereinafter named Grantee(s), and other good and valuable consideration, the receipt of which is hereby acknowledged, I/we, **Delfonta Kelly and Reshonda Kelly, husband and wife**, hereinafter called the Grantor(s), have bargained and sold, and by these presents do transfer and convey unto **Allison Lynn Magna and Robert Sebastian Magna, Jr., wife and husband**, hereinafter called the Grantee(s), his/her/their heirs and assigns, a certain tract or parcel of land in Rutherford County, State of Tennessee, described as follows, to wit:

Lot 2, Section 1, Estates of Primm Springs Subdivision, as shown on plat of record in Plat Book 34, Page 48, in the Register's Office, Rutherford County, Tennessee, to which plat reference is hereby made for a more particular description of said property.

Being the same property conveyed to Delfonta Kelly and Reshonda Kelly, husband and wife, by Warranty Deed from Landmark Homes of Tennessee, Inc., of record in Record Book 1371, Page 1768, in the Register's Office of Rutherford County, Tennessee, dated March 27, 2015 and recorded on April 30, 2015.

This Instrument executed on behalf of Delfonta Kelly and Reshonda Kelly ("Principal") by Reshonda Kelly pursuant to the Power of Attorney of record in Book 1922, Page 3995, Register's Office for Rutherford County, Tennessee. The affidavit of said Attorney in Fact is attached as Exhibit "A" to this instrument and incorporated herein by reference.

This is improved or unimproved property located at: **2222 Clays Mill Drive, Murfreesboro, TN 37129**

This conveyance is made subject to 1) Property taxes for the year 2020 a lien not yet due and payable. Said taxes have been prorated between the parties as of the date of this instrument, with the Grantor paying their prorated share thereof to the Grantee who will be responsible for payment of said taxes; 2) all applicable zoning ordinances; 3) utility, sewer, drainage and other easements of record; 4) all subdivision/condominium assessments, covenants, bylaws, restrictions, declarations and easements of record; 5) building restrictions; and 6) other matters of public record.

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title and interest thereto belonging to the said GRANTEES, their heirs and assigns forever, and we do

covenant with the said GRANTEES that we are lawfully seized and possessed of said land in fee simple, have a good right to convey it and the same is unencumbered, unless otherwise herein set out; and we do further covenant and bind ourselves, our heirs and representatives, to warrant and forever defend the title to the said land to the said GRANTEES, their heirs and assigns, against the lawful claims of all persons whomsoever. Whenever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

IN WITNESS WHEREOF, Grantor has executed this instrument on this 26th day of June, 2020.

GRANTOR:

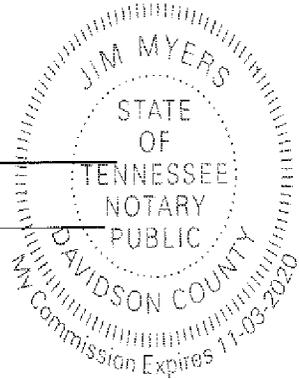
Delfonta Kelly by Reshonda Kelly his attorney in fact
Reshonda Kelly

STATE OF TENNESSEE
COUNTY OF Rutherford

Before me, the undersigned, a Notary Public of the State and County aforesaid, personally appeared Delfonta Kelly and Reshonda Kelly, the within named bargainer(s), with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who, upon oath, acknowledged that he/she/they executed the foregoing instrument for the purposes therein contained.

WITNESS my hand and seal at office this 26th day of June, 2020.

Jim Myers
Notary Public
My Commission expires: _____



STATE OF TENNESSEE
COUNTY OF Rutherford

Before me, the undersigned, a Notary Public of the State and County aforesaid, personally appeared Reshonda Kelly the within named bargainer(s), with whom I am personally acquainted (or whose identity was proved to me on the basis of satisfactory evidence), and who acknowledged the execution of the within instrument on behalf of Delfonta Kelly ("Principal"), as Attorney-in-Fact and as the free Act and Deed of the said Principal.

WITNESS my hand and seal at office this 26th day of June, 2020.

Jim Myers
Notary Public
My Commission expires: _____

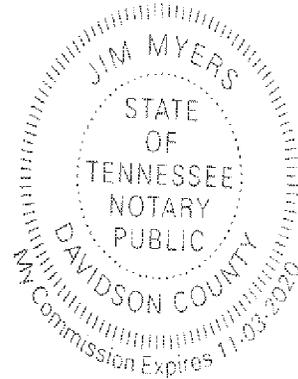


EXHIBIT "A"
TO Warranty Deed
From: Delfonta Kelly and Reshonda Kelly
To: Allison Lynn Magna and Robert Sebastian Magna, Jr.

STATE OF TENNESSEE
COUNTY OF Davidson

The undersigned Affiant, being first duly sworn, deposes and says as follows:

1. That the document to which this affidavit is exhibited is executed by the undersigned as Attorney in Fact for the Principal(s) thereon shown.
2. That this execution is proper and within the scope of the Power of Attorney referenced in the instrument.
3. Pursuant to the provisions of Tennessee Code Annotated, Section 34-6-105(c), of the Uniform Durable Power of Attorney Act, the undersigned Affiant certifies that at the time of execution of said documents the Affiant had no knowledge or notice of the termination of the Power-of-Attorney, either by revocation or by the principal's death, disability, or capacity.

Further the Affiant Saith not.

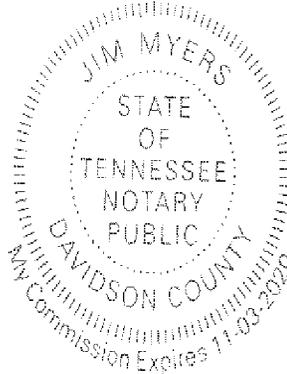


Affiant

WITNESS my hand and seal at office this 26th day of June, 2020.

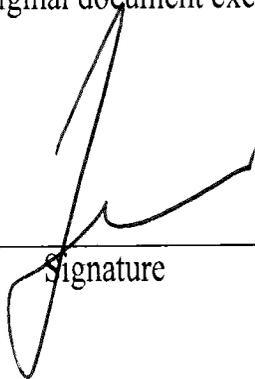


Notary Public
My Commission Expires: _____



True Copy Certification

I, Trudy Milliken, do hereby make oath that I am a licensed attorney and/or the custodian of the electronic version of the attached document tendered for registration herewith and that this is a true and correct copy of the original document executed and authenticated according to law.

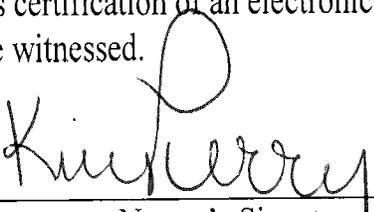


Signature

State of Tennessee

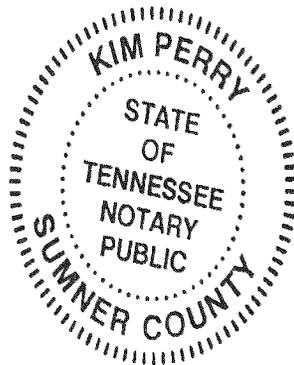
County of Sumner

Personally appeared before me, Kim Perry, a notary public for this county and state, Trudy Milliken who acknowledges that this certification of an electronic document is true and correct and whose signature I have witnessed.



Notary's Signature

My Commission Expires: 3/2/21
Notary' Seal (if on paper)



**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: MARINA RUSH**

6.c Annexation Plan of Services and Annexation Petition [2020-502] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road, Overall Creek Partners and Somphone Ruangtip applicants.

The respective property owners, Overall Creek Partners and Somphone Ruangtip, have each submitted a petition requesting their property be annexed into the City of Murfreesboro. The properties are contiguous with each other and are located on the west side of Veterans Parkway north of Franklin Road. The property tax map numbers are:

- Tax Map 93N, Group B, Parcel 6.00 (Overall Creek Partners)
- Tax Map 93N, Group B, Parcel 7.00 (Somphone Ruangtip)

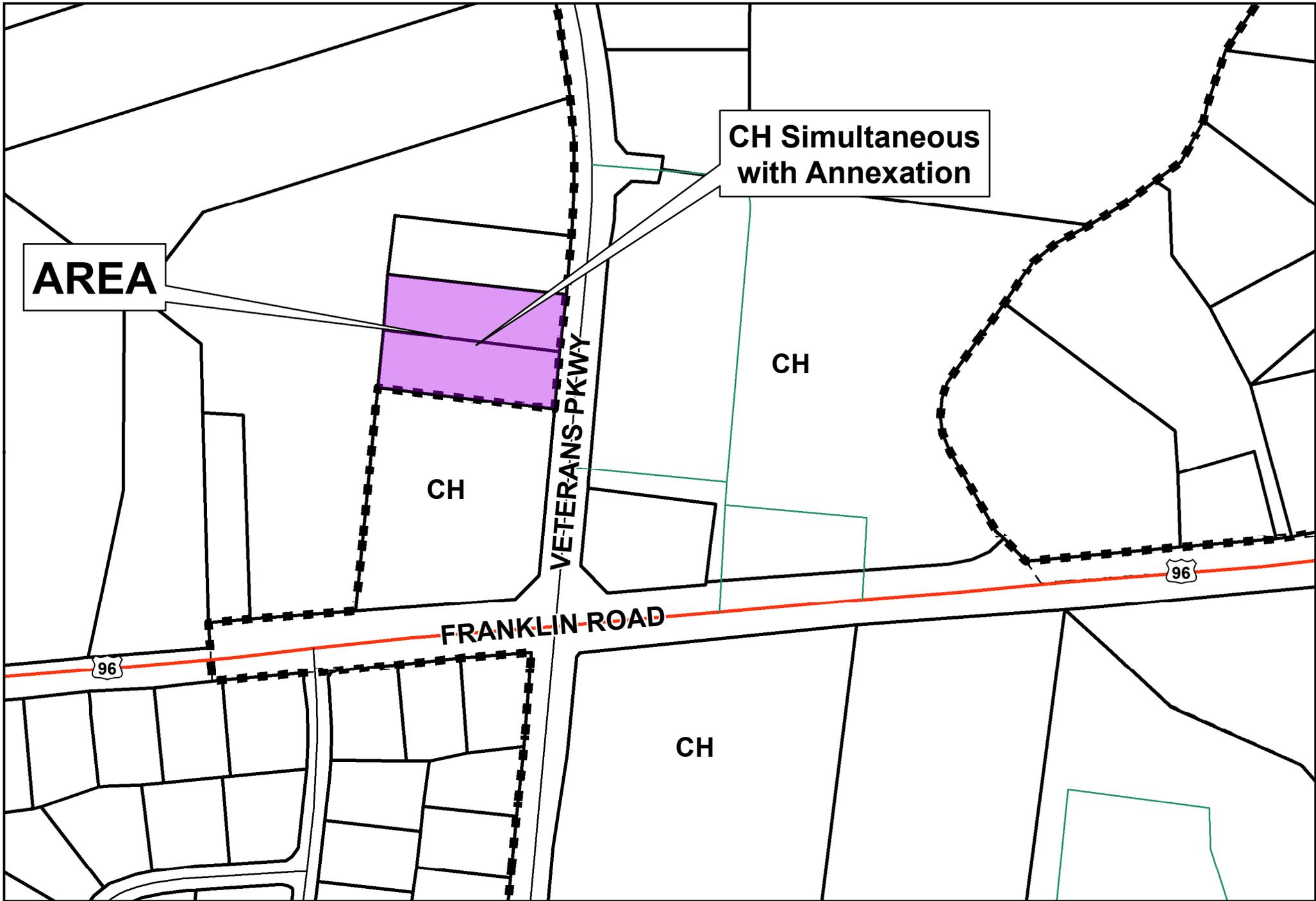
Simultaneous with this application is a request to zone the property to Commercial Highway (CH). Both parcels contain occupied single-family residences.

In 2019, the owner (Overall Creek Partners) of Tax Map 93N.B.6.00, located at 4431 Veterans Parkway, applied for annexation and zoning. The Planning Commission conducted a public hearing on the matter and commented that due to the long narrow shape of the parcel that additional lot(s) should be combined to make it a buildable commercial site. Overall Creek Partners currently has the property, Tax Map 93N.B.6.00 under a purchase contract.

The study area is located within the City of Murfreesboro's Urban Growth Boundary and is contiguous with the City limits along the south and eastern property lines. Staff is preparing a Plan of Services for the proposed annexation.

Action Needed:

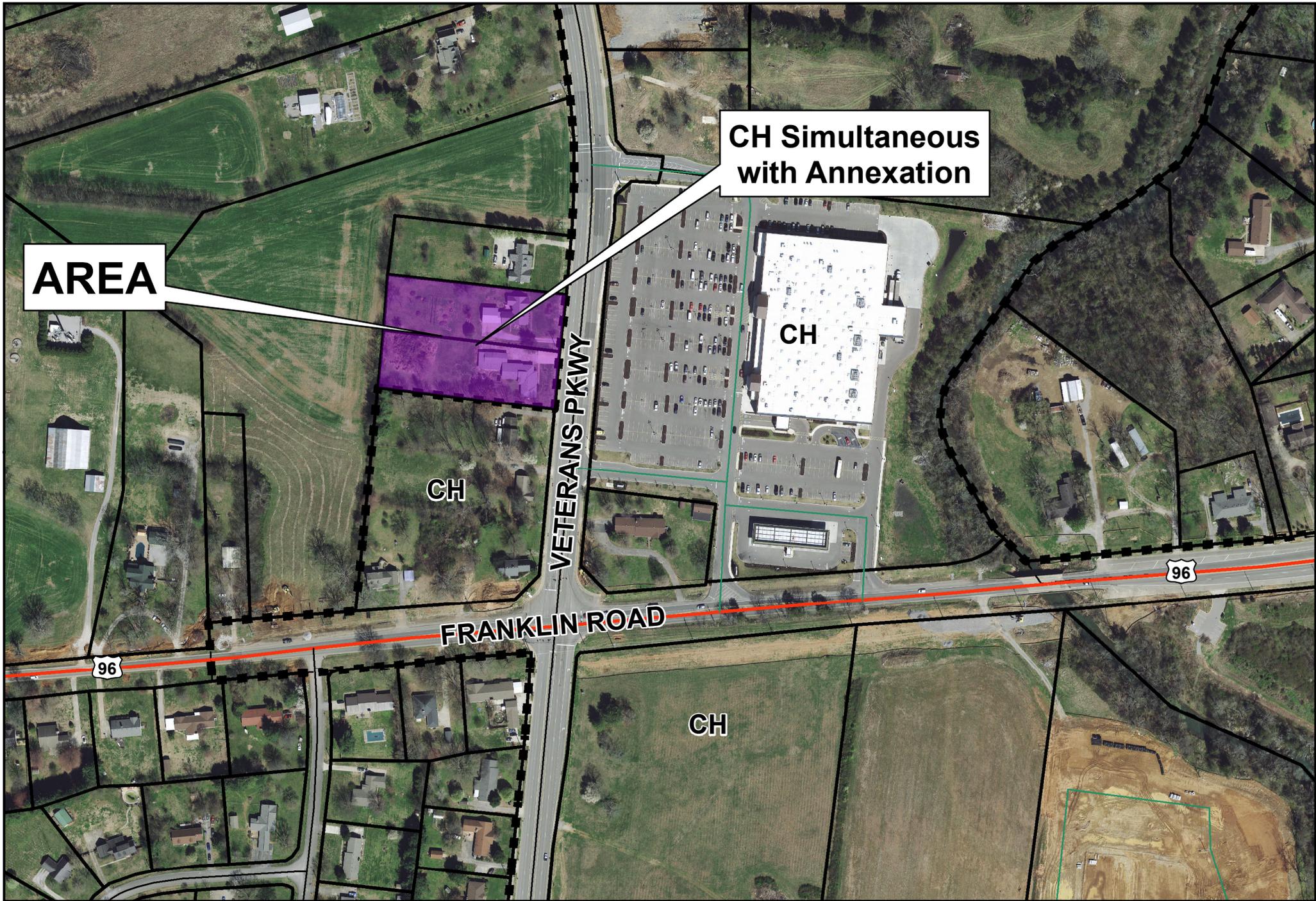
The Planning Commission will need to discuss this annexation petition and schedule a public hearing. Staff recommends the Planning Commission schedule the public hearing for September 2, 2020.



**Rezoning Request Along Veterans Parkway
CH Simultaneous with Annexation**



Planning Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, TN 37130
murfreesborotn.gov/planning



AREA

CH Simultaneous with Annexation

CH

CH

VETERANS PKWY

FRANKLIN ROAD

96

96

CH



**Rezoning Request Along Veterans Parkway
CH Simultaneous with Annexation**



Planning Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, TN 37130
murfreesborotn.gov/planning

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. Overall Creek Partners (Vijay Patel)
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: Vij Patel Status: owner Date: 7-15-2020

Mailing Address (if not address of property to be annexed)

2.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

3.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: _____ Status: _____ Date: _____

Mailing Address (if not address of property to be annexed)

4.
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

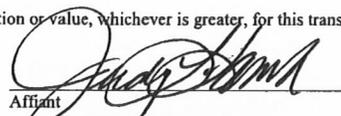
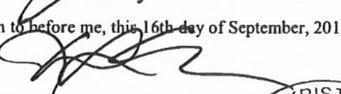
Signature: _____ Status: _____ Date: _____

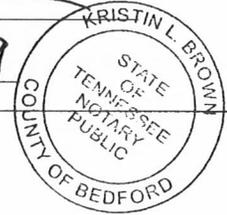
Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: X Yes

Power of Attorney applies and is attached: _____ Yes N/A No

(Notary Stamp)	STATE OF TENNESSEE COUNTY OF RUTHERFORD	
	The actual consideration or value, whichever is greater, for this transfer is \$270,000.00.  Affiant Subscribed and sworn to before me, this 16th day of September, 2015.  Notary Public My commission expires: 3/3/19	
THIS INSTRUMENT PREPARED BY Solomon \ Parks Title & Escrow, LLC Keith H. Solomon, Attorney 1535 West Northfield Blvd., Suite 2 Murfreesboro, TN 37129		
WARRANTY DEED		
Address of New Owner(s) as follows: Overall Creek Partners, comprised of Vijay Patel, Dushyant Patel, Prashant Patel, Mukesh G. Patel and Muhesh B. Patel	Send Tax Bills To: <i>same</i>	Map-Parcel Numbers: 093N-B-006.00 R005885,
4431 Veterans Parkway		
Murfreesboro, TN 37128		



FOR AND IN CONSIDERATION OF THE SUM OF TEN DOLLARS, CASH IN HAND PAID BY THE HEREINAFTER NAMED GRANTEES, AND OTHER GOOD AND VALUABLE CONSIDERATIONS, THE RECEIPT OF WHICH IS HEREBY ACKNOWLEDGE, WE,

Silakhone Visathep and Sourinhone Visathep, both unmarried

HEREINAFTER CALLED THE GRANTORS, HAVE BARGAINED AND SOLD, AND BY THESE PRESENTS DO TRANSFER AND CONVEY UNTO

Overall Creek Partners, comprised of Vijay Patel, Dushyant Patel, Prashant Patel, Mukesh G. Patel and Muhesh B. Patel

HEREINAFTER CALLED THE GRANTEES, THEIR HEIRS AND ASSIGNS, A CERTAIN TRACT OR PARCEL OF LAND IN **RUTHERFORD** COUNTY, STATE OF TENNESSEE, DESCRIBED AS FOLLOWS, TO-WIT:

Land in Rutherford County, Tennessee, being Lot No. 6 on the Plan of Section I, Beasley Road Subdivision of record in Plat Book 8, Page 177, in the Register's Office for Rutherford County, Tennessee, to which Plan reference is hereby made for a more complete description of the property.

Being the same property conveyed to Silakhone Visathep and Sourinhone Visathep, both unmarried by Warranty deed from Sisouk Keophasouk and wife, Chanthaboune Keophasouk of record in Book 656, page 562, Register's Office for Rutherford County, Tennessee, dated July 30, 1999 and recorded on July 30, 1999.

THIS CONVEYANCE IS MADE SUBJECT TO THE FOLLOWING:

The current year's property taxes have been prorated and paid or are assumed by the Grantees. Subsequent taxes are assumed by Grantees; including Rollback taxes, if any.

This conveyance is subject to all easements, restrictive covenants and conditions, and other matters of record, including all items set out on any applicable plat of record.

Subject to all matters shown on the Plan of record in Plat Book 8, Page 177; Restrictions of record in Book 341, Page 770, as amended in Record Book 807, Page 1370; Right of Way Easement to Middle Tennessee Electric of record in Book 341, Page 780, and Book 356, Page 141; TVA Easement of record in Book 280, Page 32; Easement of record in Book 629, Page 2004, in the Register's Office for Rutherford County, Tennessee.

This is improved (X) unimproved () property known as 4431 Veterans Parkway Murfreesboro, TN 37128.

TO HAVE AND TO HOLD the said tract or parcel of land, with the appurtenances, estate, title and interest thereto belonging to the said GRANTEES that we are lawfully seized and possessed of said land in fee simple, have a good right to convey it and the same is unencumbered, unless otherwise herein set out; and we do further covenant and bind ourselves, our heirs and representatives, to warrant and forever defend the title to the said land to the said GRANTEES, their heirs and assigns, against the lawful claims of all persons whomsoever. Wherever used, the singular number shall include the plural, the plural the singular, and the use of any gender shall be applicable to all genders.

Witness our hands this 16th day of September, 2015.

S. LAKHONE VISATHEP
Silakhone Visathep

Sourinhone Visathep
Sourinhone Visathep

STATE OF Tennessee
COUNTY OF Rutherford

I, Rebecca Dohoda, a Notary Public of the County and State first above written, do hereby certify that Silakhone Visathep and Sourinhone Visathep personally appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and official seal this the 16th day of September, 2015.

Rebecca A. Dohoda
Notary Public

My Commission Expires: 5/23/16
(SEAL)



File #: 2152097
RECORD & RETURN TO:
Solomon \ Parks Title & Escrow, LLC
1535 WEST NORTHFIELD BLVD. SUITE 2
MURFREESBORO, TN 37129

Heather Dawbarn, Register
Rutherford County Tennessee
Rec #: 839919 Instrument #: 1982987
Rec'd: 10.00
State: 999.00
Clerk: 1.00 Recorded
Other: 2.00 9/22/2015 at 3:09 PM
Total: 1012.00 in
Record Book 1409 Pgs 2889-2890

PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.

1. SOMPHONE RUANGTIP
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: Somphone Ruangtip Status: owner Date: 7-15-20
Mailing Address (if not address of property to be annexed)

2. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____
Mailing Address (if not address of property to be annexed)

3. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____
Mailing Address (if not address of property to be annexed)

4. _____
Printed Name of Owner (and Owner's Representative, if Owner is an entity)
Signature: _____ Status: _____ Date: _____
Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

Legal Description is attached: X Yes

Power of Attorney applies and is attached: _____ Yes N/A No

MAIL TAX NOTICES TO:

Bundit Ruangtip et al
1114 Glaze Court
Murfreesboro, Tenn 37130

This Instrument Prepared By:
LARRY G. TRAIL
Reed, Rogers & Trail
117 East Main Street
Murfreesboro, TN 37130

007965

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of NINE THOUSAND SEVEN HUNDRED DOLLARS, (\$9,700.00), cash in hand paid, the receipt of which is hereby acknowledged, we, the undersigned, ROBERT W. BASSE and wife, JUDITH N. BASSE,, have this day bargained and sold and do hereby transfer and convey unto BUNDIT RUANGTIP and wife, SOMPHONE RUANGTIP, their heirs and assigns, forever, that certain parcel of real estate situated in the 7th Civil District of Rutherford County, Tennessee, and being more particularly described as follows, to-wit:

BEING all of Lot No. 7, BEASLEY ROAD SUBDIVISION, as shown by plat of record at Plat Book 8, page 177, Register's Office of Rutherford County, Tennessee, to which plat reference is hereby made for more complete details of location and description of said lot.

BEING a portion of the property conveyed to Robert W. Basse and wife, Judith N. Basse, by Deed of record at Deed Book 192, page 393, Register's Office of Rutherford County, Tennessee.

THIS conveyance is made subject to restrictions of record at Deed Book 341, page 770, Register's Office for Rutherford County, Tennessee, and to the Plat as mentioned above.

TO HAVE AND TO HOLD said real estate, together with all of the appurtenances, estate and title thereunto belonging, unto the said grantees, their heirs and assigns, forever.

We covenant with the said grantees that we are lawfully seized and possessed of said real estate, that we have a good and lawful right to convey the same and that it is unencumbered except for the lien of the 1985 property taxes, which taxes are being prorated between the parties with Grantor paying his proportionate share and Grantee paying same when due and payable.

We further covenant and bind ourselves, our heirs and representatives, forever to warrant and defend the title to said

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: MARINA RUSH**

6.d. Zoning [2020-411] for approximately 2.12 acres located along Veterans Parkway north of Franklin Road to be zoned CH simultaneous with annexation, Overall Creek Partners applicant.

The subject property consists of two parcels located at 4431 and 4441 Veterans Parkway, north of Franklin Road. The applicant, Mr. Vijay Patel with Overall Creek Partners, has submitted an application to zone the subject property to Commercial Highway (CH) simultaneous with the request for annexation into the City. The properties are identified as:

- Tax Map 93N, Group B, Parcel 6.00 (owner, Overall Creek Partners)
- Tax Map 93N, Group B, Parcel 7.00 (owner, Somphone Ruangtip)

As indicated in annexation staff report, in 2019, the owner (Overall Creek Partners) of Tax Map 93N.B.6.00 applied for annexation and zoning. The Planning Commission conducted a public hearing on the matter and commented that due to the long narrow shape of the parcel that additional lot(s) should be combined to make it a buildable commercial site.

In addition, both parcels contain occupied single-family residences. Mr. Vijay Patel, Overall Creek Partners, stated he has the second parcel under a purchase contract and intends to combine the two parcels into one lot of record and demolish both houses prior to the second reading of the rezoning ordinance. He stated his intention is to develop the property with a liquor store and restaurant.

Adjacent Zoning and Land Uses

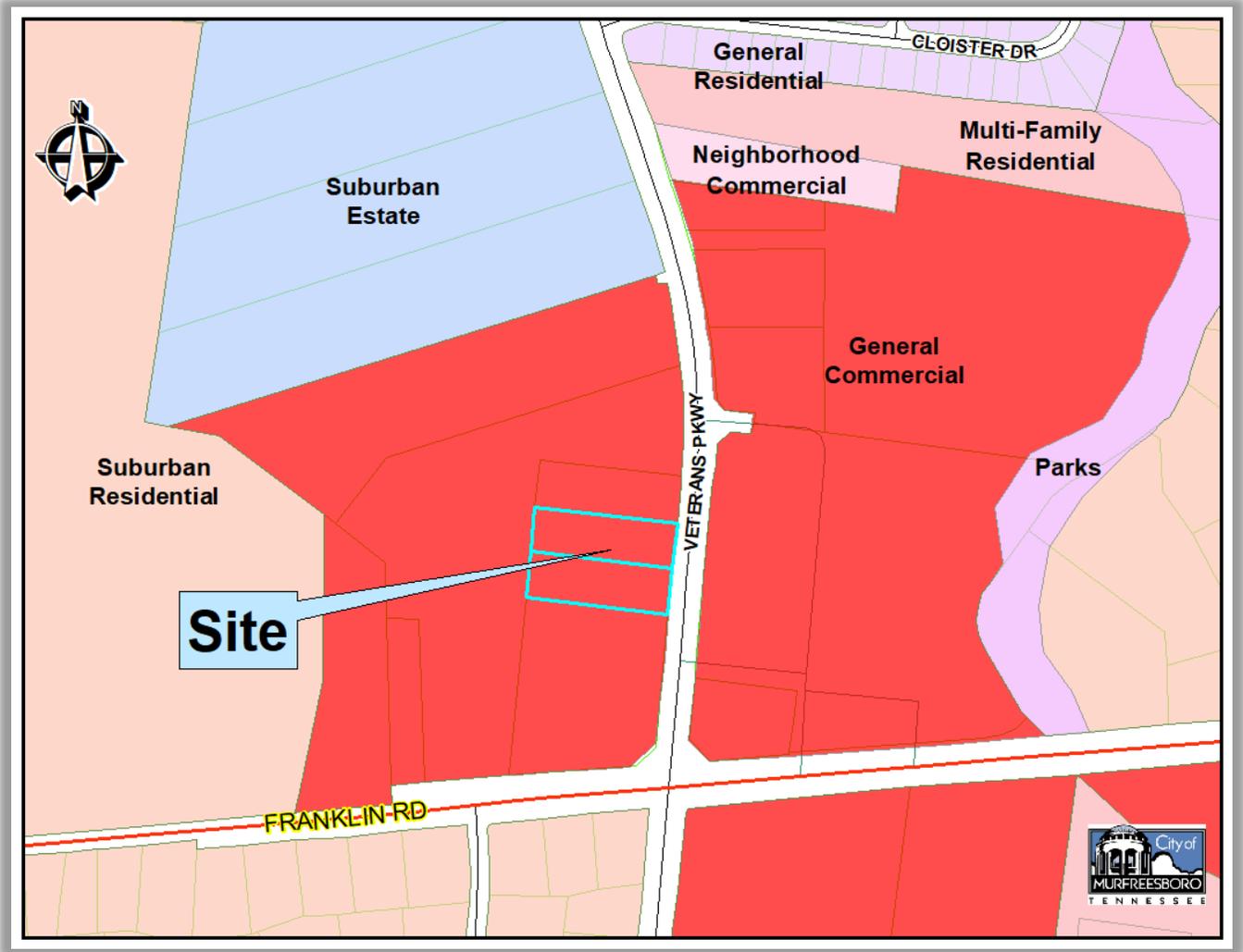
4431 Veterans Parkway is currently zoned CS (Commercial Services) in the unincorporated County, while 4441 Veterans Parkway is zoned RM (Medium- Density Residential). The adjacent zoning on the properties to the east and south is CH and they are developed with various commercial uses. The adjacent properties to the north and west are in the unincorporated portion of Rutherford County and are zoned RM. The properties to the north are developed with single-family residences, and properties further north and west are primarily vacant land.

Future Land Use Map

The future land use map of the Murfreesboro 2035 Comprehensive Plan (excerpt below) indicates that Auto-Urban (General) Commercial is the most appropriate land use for

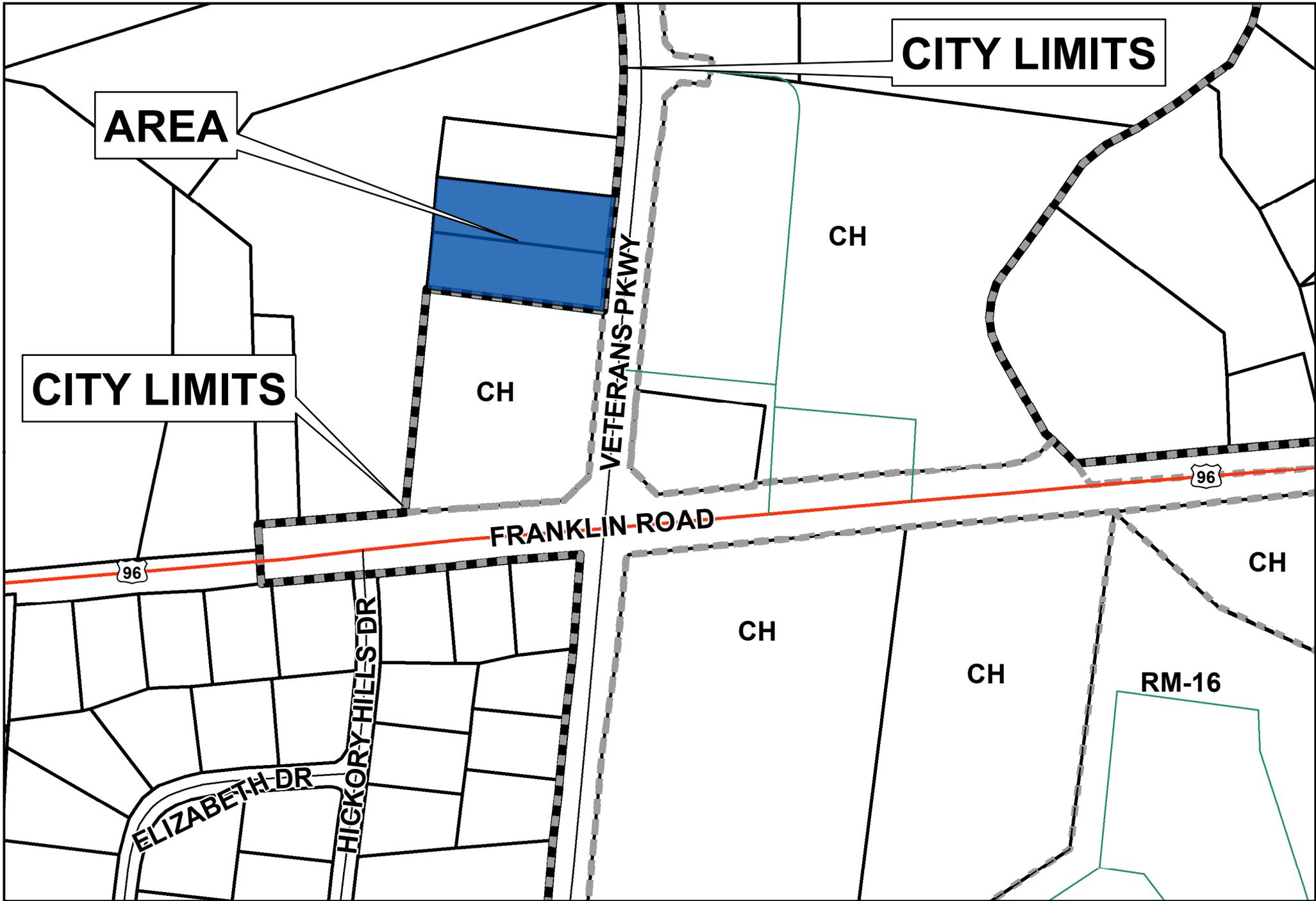
the project area. Auto-Urban (General) Commercial character is typically high intensity commercial businesses with a large amount of land area for operations, and is typically developed with strip commercial, commercial centers, auto-focused uses, restaurants, etc. and requires a significant amount of space.

CH zoning is consistent with the General Commercial land use designation.



Action needed

The applicant will be available at the Planning Commission meeting to discuss the proposed rezoning request. The Planning Commission should discuss the matter and schedule a public hearing. Staff recommends a public hearing date for this item of September 2, 2020.



**Zoning Request Along Veterans Parkway
CH Simultaneous with Annexation**



Planning Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, TN 37130
murfreesborotn.gov/planning



AREA

CITY LIMITS

CITY LIMITS

CH

CH

VETERANS PKWY

FRANKLIN ROAD

96

96

HICKORY HILLS DR

ELIZABETH DR

CH

CH

CH

RM-16



**Zoning Request Along Veterans Parkway
CH Simultaneous with Annexation**



Planning Department
City of Murfreesboro
111 West Vine Street
Murfreesboro, TN 37130
murfreesborotn.gov/planning

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS
AUGUST 19, 2020**

Principal Planner: Margaret Ann Green

6.e. Laurelstone [2020-412] for approximately 46.5 acres located at along Lascassas Highway and DeJarnette Lane, Goodall Homes LLC applicant.

The subject property is located along Lascassas Pike, Pitts Lane, Cushing Avenue and south of Oakview Drive. This property was annexed and zoned PRD (Planned Residential District) simultaneous with annexation in 2017 and is the Laurelstone PRD, which is approximately 46.5 acres.

Adjacent Zoning and Land Uses

Directly to the north of the subject property is the Emory Estates single-family residential subdivision, which is located in the unincorporated County. Also to the north is the developing Pebblecreek single-family residential subdivision, which is zoned PRD and consists of lots a minimum of 8,000 square-feet. To the west is the Huntington Place single-family residential subdivision, which is zoned RS-10 (Single-Family Residential District 10) and RS-15 (Single-Family Residential District 15). Oakland High School, Oakland Middle School, and John Pittard Elementary are also located to the west/southwest of the subject property. Directly to the south of the subject property across East Pitts Lane is a church and a single-family residence, both located in the unincorporated County. To the east across Lascassas Pike are several single-family residential estate lots in the unincorporated County as well as a church and a Dollar General store. A significant portion of development is encumbered by Bushman Creek and its floodway/floodplain.

Laurestone PRD as approved in 2017 (existing standards)

In 2017, the City Council approved the Laurelstone PRD, which is a single-family residential attached development. The existing Laurelstone PRD consists of 199 total dwelling units in two different housing types, *cottages* and *villas*. As proposed, there will be 149 cottage units, some of which will be located in three-unit buildings and some in four-unit buildings. All cottage units contain two bedrooms and a minimum of 1,200 square-feet of living area. Also proposed are 50 villa units, all of which are located in two-unit buildings. All villa units consist of either two or three bedrooms and a minimum of 1,400 square-feet of living area. The exterior materials of both housing types will consist of brick, stone, and cementitious siding. Vinyl siding will be allowed on certain elevations but will comprise no more than 15% of those elevations. Each unit will be located on its own lot of record and will be for sale.

The development as is approved will have public street access to Lascassas Pike on its east side and to Cushing Avenue on its west side. Additionally, two public street stubs

are proposed, one to the north and one to the south. A bridge crossing Bushman Creek is proposed as a part of the development. The villa units will have driveway access from the public street. However, all cottage units will be accessed via private alleys that will be owned and maintained by the homeowners association. The applicant received an exception to being required to have four driveway parking spaces per unit; all units except for the “perimeter cottage lots” only have two driveway parking spaces. All units also have two garage spaces, and the applicant is committing to restricting the use of the garages so that they will be available for the parking of two vehicles at all times. In addition, 145 guest parking spaces are proposed to be scattered through the development.

Request for Laurelstone PRD zoning amendment

The developer of the Laurelstone project has submitted an application for a zoning amendment to the PRD. After review of the plans, staff has identified the following proposed changes to the PRD:

- To introduce a new lot style by adding 31 single-family, detached lots
- To reduce the number of Villa units by 4
- To reduce the number of Cottage units by 40, primarily those facing Lascassas Pike.
- To reduce the number of off-street parking spaces- lose 8 spaces overall
- To connect to Pitts Lane and remove the existing cul-de-sac condition
- To remove 1,331 linear feet of roadway
- To redesign the site so that more units are further from Bushman Creek
- To modify the open space plan.

The single-family lots are proposed to be a minimum of 1,500 square feet (3 bedrooms), 41-feet wide, 170-feet deep and proposed reduced building setbacks. Each unit shall have an alley loaded 2-car garage and range from one to two stories tall.

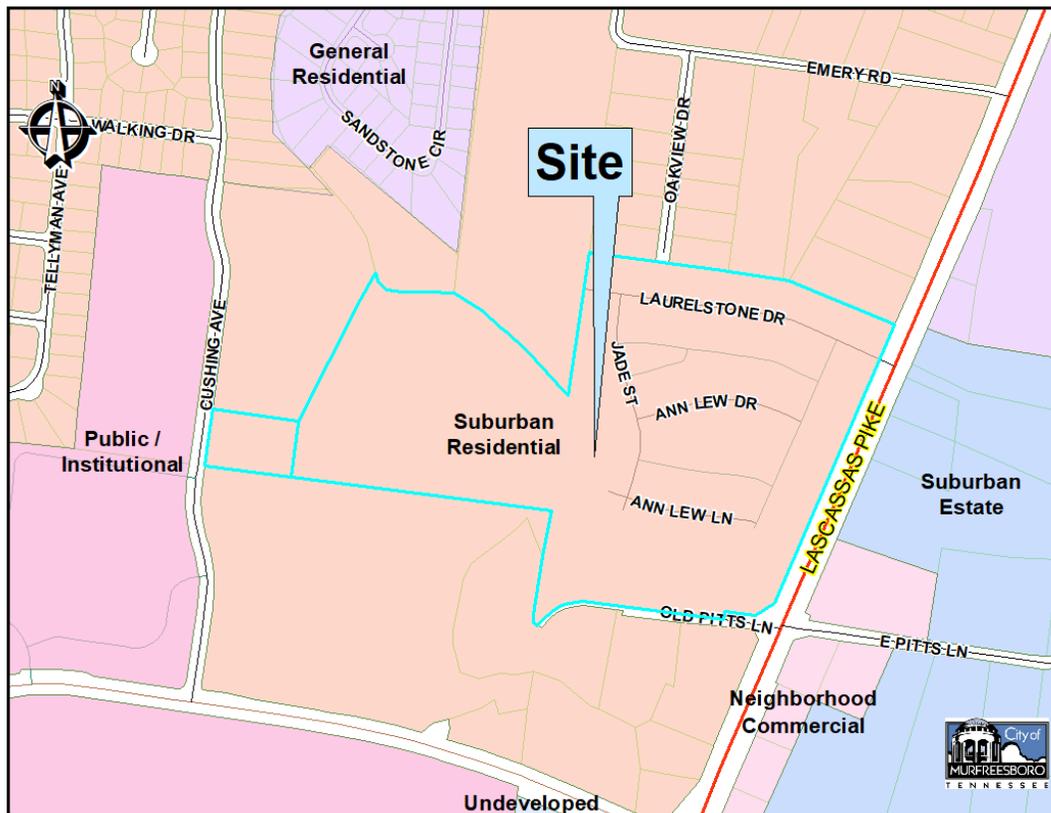
Staff has provide the design team for the Laurelstone program book with a list of comments. The comments are mostly in regards the proposed site layout of lots, traffic and transportation network within this development, required street improvements both on and off-site, clarification and delineation of active amenity areas, common area and stormwater management areas, service delivery and access conflicts, and architecture.

Future Land Use Map

The *Murfreesboro 2035* Land Use Plan indicates that Suburban Residential Character [SR] is the most appropriate land use character classification for the subject property. As new development continues around the City's periphery, a lower density Suburban Residential (SR) development will help to transition rural and urban development. This character type includes small acreages or large lot estate development, or may also be smaller lots clustered around common open space.

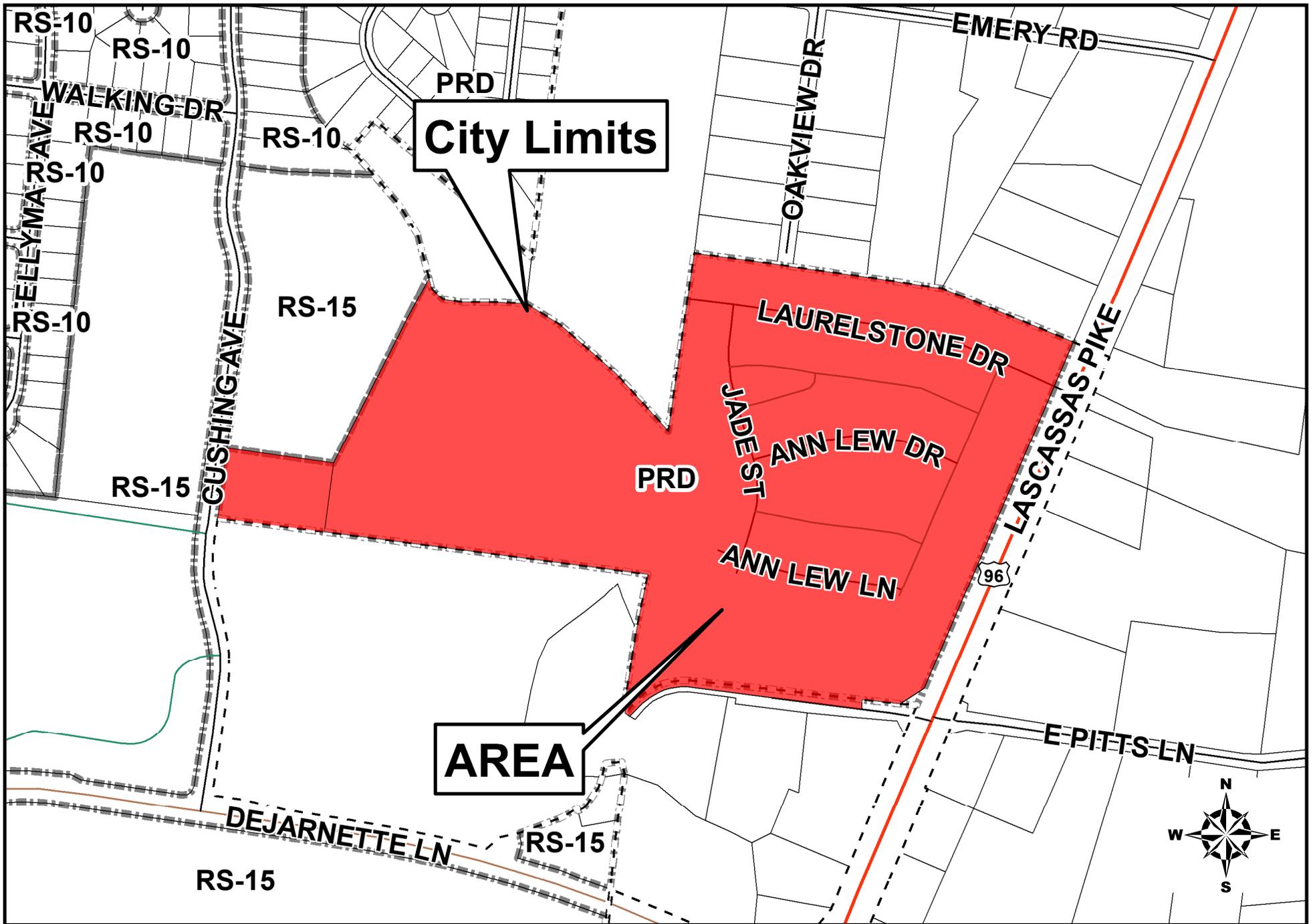
The developing residential uses are not consistent with the Land Use Plans' recommendations, however the addition of single-family detached lots, especially along Lascassas Pike, is more in line with the SR character classification than the previously approved housing types. The applicant should discuss how this rezoning request ultimately supports the goals of *Murfreesboro 2035*.

Murfreesboro 2035 – Future Land Use Map



Public Hearing

The applicant will be available at the Planning Commission meeting to discuss the proposed zoning amendment. The Planning Commission should consider the matter and then schedule it for a public hearing prior to making a recommendation to City Council.

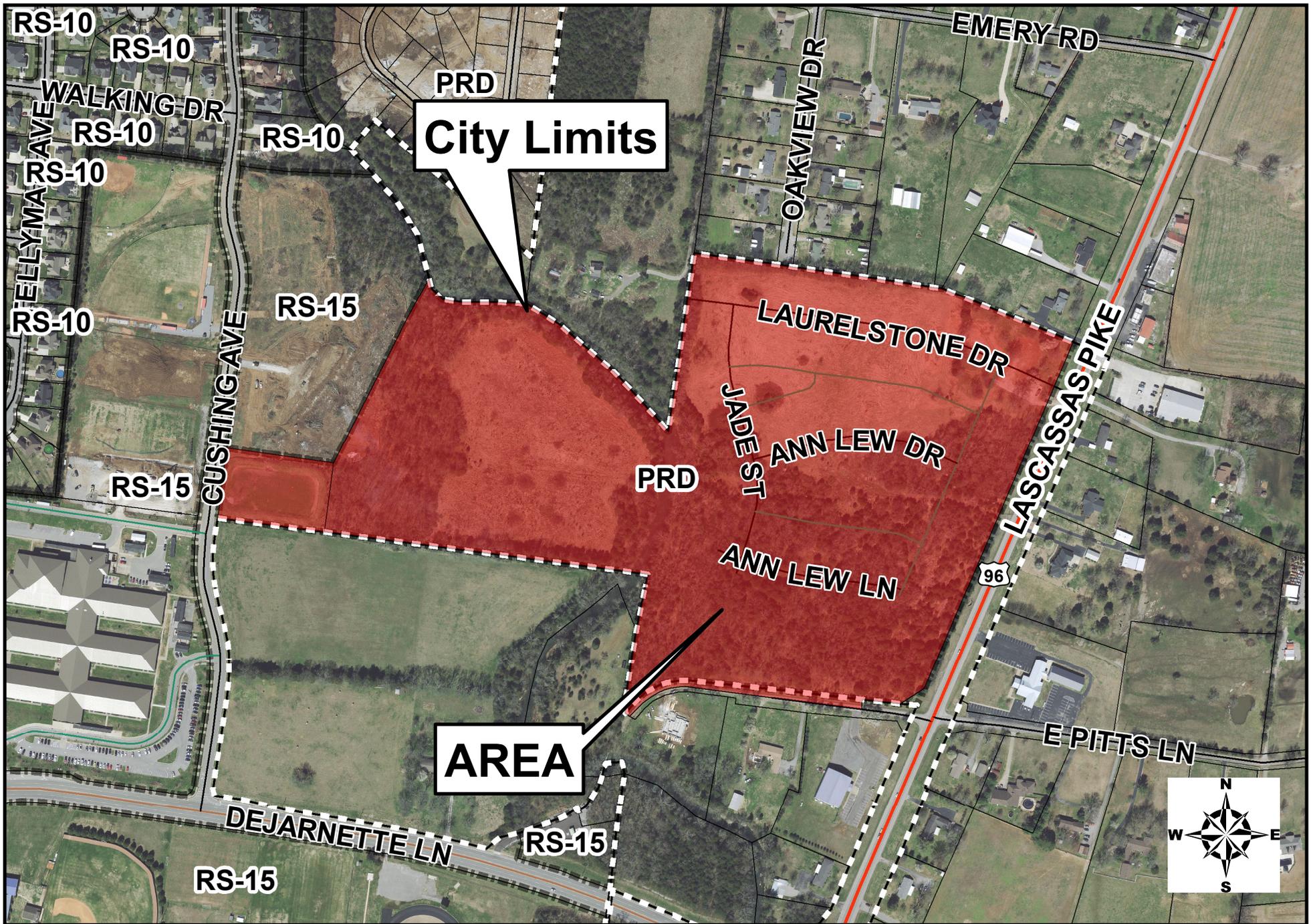


T E N N E S S E E

Zoning Request for Property Along Lascassas Pike PRD Amendment (Laurelstone PRD)



Planning Department
City of Murfreesboro
111 W. Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov



City Limits

AREA



**Zoning Request for Property Along Lascassas Pike
PRD Amendment (Laurelstone PRD)**



Planning Department
City of Murfreesboro
111 W. Vine St.
Murfreesboro, TN 37130
www.murfreesborotn.gov



City of Murfreesboro
Planning and Engineering Department
 111 W. Vine Street, P.O. Box 1139
 Murfreesboro, TN 37133-1139
 (615) 893-6441 Fax (615) 849-2606
 www.murfreesborotn.gov

Creating a better quality of life

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A **non-refundable** application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

Laurel Stong

To be completed by applicant:

APPLICANT: Goodall Homes, LLC c/o Maverick Green

Address: 393 Maple Street, Suite 100 **City/State/Zip:** Gallatin, TN 37066

Phone: 931-205-2435 **E-mail address:** mgreen@goodallhomes.com

PROPERTY OWNER: Clayton Properties Group, Inc. and Rutherford County

Street Address or property description: 2699 Lascassas Pike

and/or Tax map #: 68 **Group:** _____ **Parcel (s):** 116.00 and 116.01

Existing zoning classification: PRD

Proposed zoning classification: PRD **Acreage:** 46.48 acres

Contact name & phone number for publication and notifications to the public (if different from the applicant): SEC, Inc. c/o Rob Molchan 615-890-7901

E-mail: rmolchan@sec-civil.com

APPLICANT'S SIGNATURE (required): *Laurel Stong*

DATE: 7-16-2020

*****For Office Use Only*****

Date received: _____ **MPC YR.:** _____ **MPC #:** _____

Amount paid: _____ **Receipt #:** _____

Laurelstone

LAURELSTONE



A Berkshire Hathaway Company

A Request for Amendment to an Existing PRD

Submitted July 16, 2020

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Subsection D Item 2a

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Introduction

Synopsis

The Request

Goodall Homes respectively requests an amendment to the previously approved Laurelstone PRD. The project is comprised of two properties. The main portion of the proposed development is located on Tax Map 68 Parcel 116.00 and is approximately 46.10 acres in size. This property is owned by the Clayton Properties Group Inc., d.b.a Goodall Homes. The project will also utilize a 0.38 acre portion of property owned by Rutherford County, to provide public street access to Cushing Avenue. The county property is located on Tax Map 68 Parcel 116.02. Laurelstone is located along the west side of Lascassas Pike just north of Dejarnette Lane.

The previously approved PRD consists of 199 residential units on 46.48 acres for a density of 4.28 dwelling units per acre. The previously approved PRD also proposed a mixture of 149 alley loaded cottages and 50 villas with front entry garages, all of which are age targeted.

The proposed amended PRD utilizes the same 46.48 acres with a total of 186 residential units for a lower density of 4.02 dwelling units per acre. The 186 dwelling units are a combination of 31 single family detached lots, 109 cottages, and 46 villas, all of which are age targeted homes. The cottages shall continue to range from 1,200-1,500+ s.f., and the villas shall continue to range from 1,400-1,800+ s.f. The single-family units shall range in sizes from 1,500-2,200 s.f. Single-family and Cottages shall have rear, alley-loaded, two car garages, while the villas shall be front loaded. All dwelling units shall be for purchase on separate lots of record.

Cottages shall be defined as one level homes with at least one zero-step entry point to serve the needs of the target demographic. The exterior of these homes provides each owner with a gated courtyard. All exterior maintenance shall be provided by the HOA. Overall, the Cottages shall remain consistent with the previously approved PRD.

Villas have the same characteristics of the Cottages with a few design differences to meet a slightly different target market. The Villas offer more square footage, larger rear patios and yards, and the option of a bonus room or third bedroom. They incorporate easy living interiors via at least one zero-step entry, and maintenance free exteriors. Overall, the Villas shall remain consistent with the previously approved PRD.

Single family lots shall be defined as 1, 1½, and 2 story homes. These homes will add an additional product for those seeking a larger living space and privacy. These homes shall be marketed to consumers that are 55 years wise or older but shall not be age restricted. Exterior spaces and landscapes shall be maintained by the H.O.A.

All units provided are designed towards an age targeted (a move down) buyer demographic. This demographic no longer desires the weekly responsibility of mowing the lawn, trimming shrubs, and other upkeep needs. The target market is not exclusive to a move down buyer. It could also include single parents, widows/widowers, or other buyer groups that desire easy living with little maintenance in a respected community.



Not to Scale



Not to Scale

Previously Approved Plan
Land Use Data

Total Land Area:	46.48 Acres
Villa Units:	50 Units
Cottage Units:	149 Units
Total Number of Units:	199 Units
Yield: 1 Units/46.48 Acres =	4.28 Units/Acre
Total Open Space:	14.11 Acres (30%)
Length of New Roadways and Alleys:	10,811 LF

Previously Approved Plan



SITE DATA CHART:

SITE ACREAGE:	2,028,700 SF / 46.57 AC
LOT COVERAGE:	896,777 SF / 20.55 AC
ROW AREA:	402,124 SF / 9.23 AC
LENGTH OF ROADS:	6,435 LF
LENGTH OF ALLEYS:	4,376 LF
OPEN SPACE:	614,827 SF / 14.11 AC
PARKING SPOTS:	145

NUMBER OF VILLAS:	50
NUMBER OF COTTAGES:	149

- VILLAS
- COTTAGES
- 8 PARKING SPACES



Not To Scale

R.O.W. TO BE DEDICATED

R.O.W. TO BE DEDICATED
ALONG NORTH SIDE OF
PITTS LANE

Proposed Plan Amendment

Proposed Amendment
Land Use Data

Total Land Area:	46.48 Acres	
Single Family Lots:	31 Lots	(+31 Units)
Villa Units:	46 Units	(-4 Units)
Cottage Units:	109 Units	(-40 Units)
Total Number of Units:	186 Units	(-13 Units)
Yield: 186 Units/46.48 Acres =	4.00 Units/Acre	(-0.28 Units/AC)
Total Open Space:	15.41 Acres (33%)	(+3.0 Acres)
Length of New Roadway:	9,480 LF	(-1,331 LF)

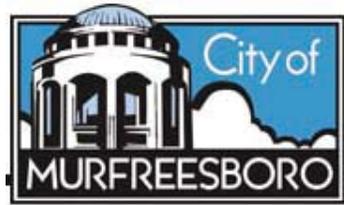


Legend

Existing Trees to Remain	Roadway/Driveway
Existing Creek	Single Family Lots
Open Space	Villas
Detention	Cottages

Not to Scale

*Landscaping shown is strictly conceptual and does not dictate or delineate the location or quantity of proposed landscaping



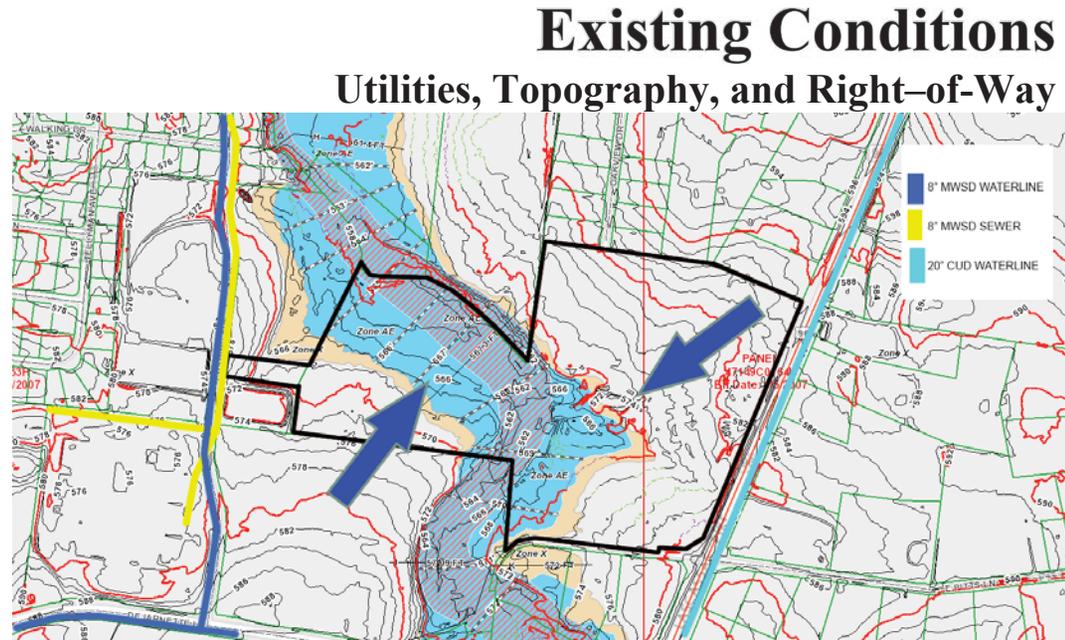
Sanitary sewer service will be provided by the Murfreesboro Water & Sewer Department. MWSD will provide water for the portion of the development located on the west side of Bushman Creek. A 8" waterline is located in the R.O.W. of Cushing Avenue. A 12" sanitary sewer main is located in the ROW of Cushing Avenue on the west side of this property. The developer will be responsible for extending the water and sewer into this property.

The property has/will have access to public right-of-way at two locations. One access point is Lascassas Pike and the other is Cushing Avenue. In addition to these existing connections, there are several other proposed connections via future roadway extensions toward properties located to the south and west to allow for adequate connectivity in the area.

Consolidated Utility District of Rutherford County



Water service will be provided by the Consolidated Utility District of Rutherford County for the portion of the development located on the east side of Bushman Creek. A 20" waterline is located on the east side of Lascassas Pike. The developer will be responsible for extending the line into this property and into the site for domestic and fire water service.



Not To Scale



Middle Tennessee Electric Membership Corporation

Electric shall be provided by Middle Tennessee Electric Membership Corporation from Lascassas Pike. The Developer shall be responsible for extending electric into the site. All electric service shall be underground.

The existing topography is divided into two areas due to Bushman Creek running through the heart of the site from south to north. Stormwater on the east side of the creek generally flows from Lascassas Pike down to the creek. While stormwater on the western side of the Bushman Creek flows from the south to north into the creek. The site currently is covered in pasture with patches of dense trees, and tree in the fence lines along most of the project boundaries. The central portion of the site has floodway and floodplain along both sides of Bushman Creek

Existing Conditions

Aerial & On-site Photographs



Picture #1
Lascassas Pike with site to the right.



Picture #2
Cushing Avenue with site to the right.



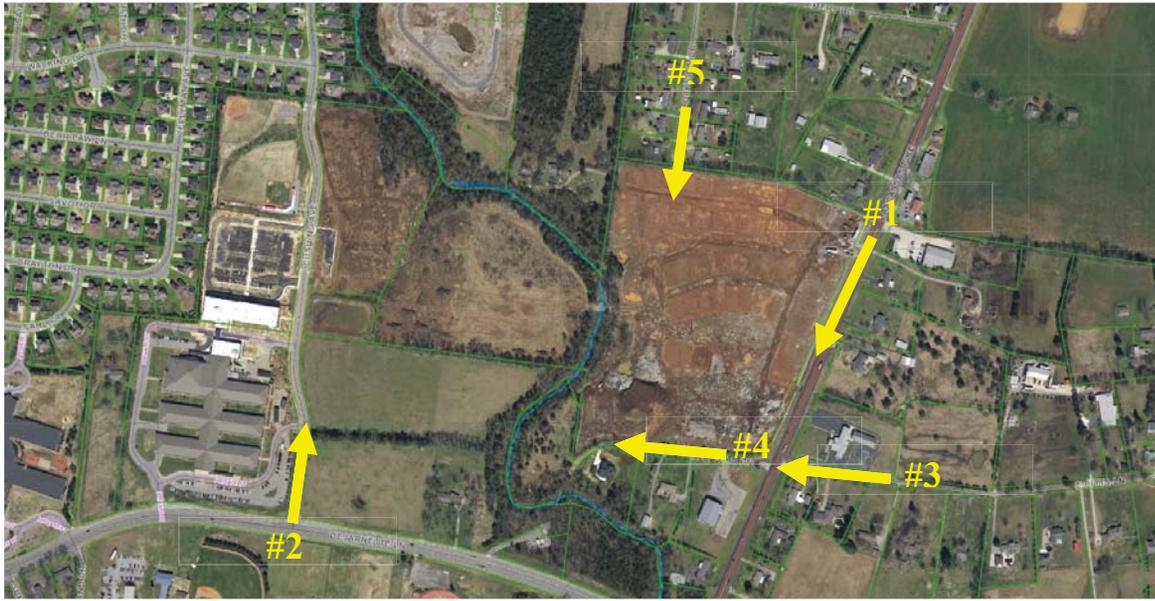
Picture #3
East Pitts Lane with site to the right.



Picture #4
End of Pitts Lane with site to the right.



Picture #5
View from Oakview Drive towards the site



 *Not To Scale*

Existing Conditions

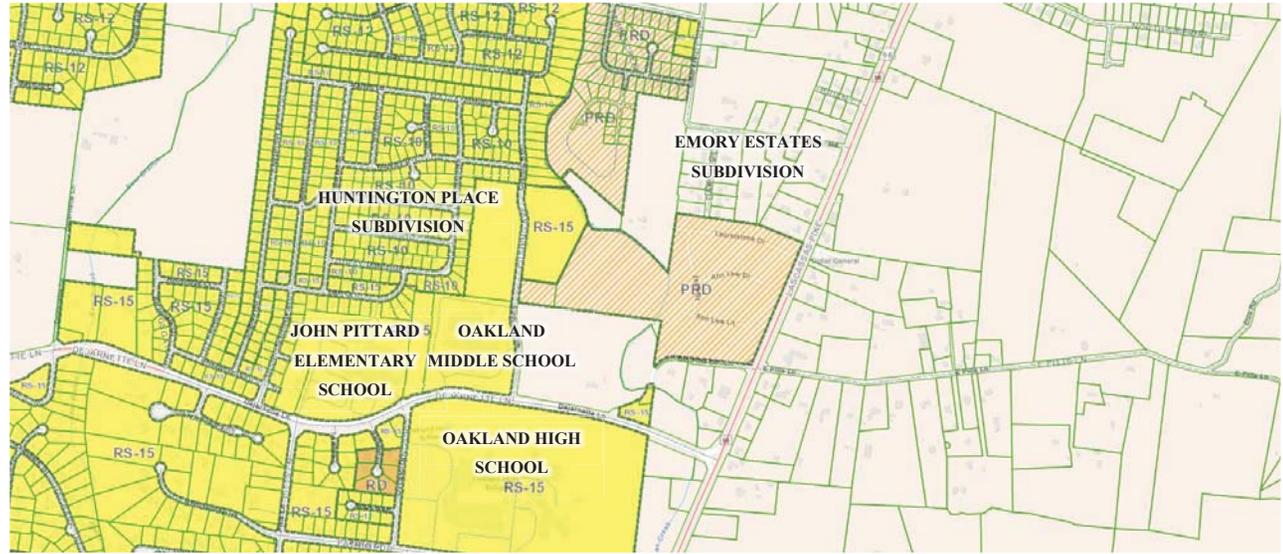
Surrounding Zonings & Developments



Picture #6
Emory Estates Subdivision



Picture #7
Huntington Subdivision



Not To Scale



Picture #8
John Pittard Elementary School



Picture #9
Oakland High School



Picture #10
Oakland Middle School

Proposed PRD Amendment Development Standards

Synopsis

- ✦ 186 Dwelling Units with 2 Bedrooms or more.
- ✦ Three varieties of dwelling units
 - Age Targeted Cottages
 - 109 Units (all 2-3 bedroom units)
 - Age Targeted Villas
 - 49 Units (2-3 bedroom units)
 - Age Targeted Single Family Lots
 - 31 Lots (all 3-4 bedroom units)
- ✦ All homes will be required to be constructed with a mixture of brick, stone, and cement board siding. Representation of material mixtures are outlined on Pages 10 & 11.

Laurelstone consists of 186 dwelling units on 46.48 acres for a density of 4.02 d.u. per acre. The concept provides over 25% of open space that will function as stormwater management areas as well as recreation areas. In addition to the unstructured open space, the project will include a clubhouse, a dog park, and a community garden.

All units are designed towards an age targeted (a move down) buyer demographic that no longer desires the weekly responsibility of exterior maintenance on their homes. This demographic is not exclusive to a move down buyers, it also includes single parents, widows/widowers, or other markets that desire living with little maintenance in a respected community.



- ✦ The development will contain public streets and private alleys.
- ✦ Cushing Avenue and Lascassas Pike entrances will have a new entrance sign constructed of masonry materials and enhanced with landscaping.
- ✦ Driveways shall be a minimum of 20' deep and 16' wide.
- ✦ The development provides a total of 372 driveway parking spaces for a 2 spaces per unit ratio. With 372 garage spaces that ratio rises to 4 spaces per unit. In addition, 137 guest parking spaces have been planned for the project.
- ✦ Each unit will provide at least 4 parking spaces per lot (a minimum of 2 spaces in the driveway & 2 spaces in the garage).
- ✦ This plan is committed to promoting the primary use of all garages for vehicular parking while restricting the parking of boats, RVs, household storage, etc. Each garage shall always be available for the parking of two vehicles. This commitment shall be included in the restrictive covenants and enforced by the homeowner's association.
- ✦ Landscaping on each lot will be installed by the home builder, while landscaping for the open spaces areas will be installed by the developer with each phase. See pages 16 & 17.

Proposed PRD Development Standards

- ✦ All public streets have been designed to comply with the City's subdivision regulations.
- ✦ Prior to preliminary plat review, a complete and thorough design of the stormwater management system and facilities will be completed.
- ✦ All homeowners will be required to be members of the H.O.A.
- ✦ All front, sides facing R.O.W. shall be required to be sodded.
- ✦ All utilities shall be underground.
- ✦ All homes shall have minimum 2 car garages.
- ✦ Mail service will be provided via Centralized Mail Kiosk for all postal services.
- ✦ All homes shall have concrete driveways wide enough for 2 vehicles and be a minimum of 16' in width.
- ✦ Sidewalks shall be constructed along both sides of all public streets.
- ✦ Solid waste services for the development will be provided by the City of Murfreesboro. All alleys will be designed to accommodate both the weight and turning movements of city solid waste vehicles. City solid waste carts will be stored in garages except on the day of service.
- ✦ Public streets and Private Alleys shall be coordinated with MTEMC to meet MTEMC's lighting standards.
- ✦ The proposed alleys will be private and maintained by H.O.A. The rest of the streets will be public R.O.W.



Example Entrance Sign

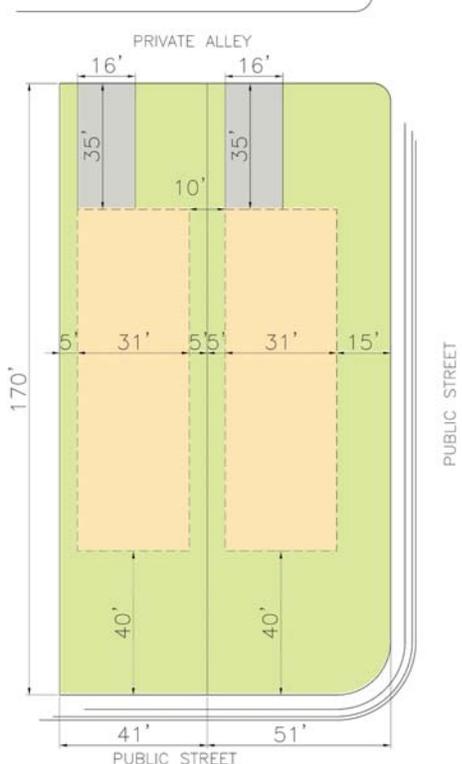


Example Centralized Mail Kiosk

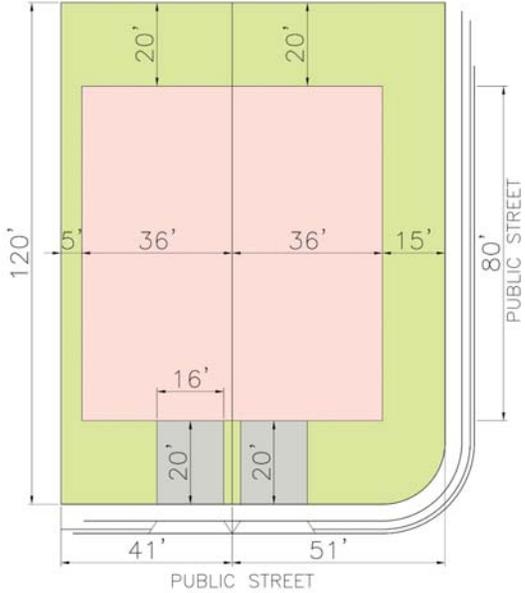


Example Lighting

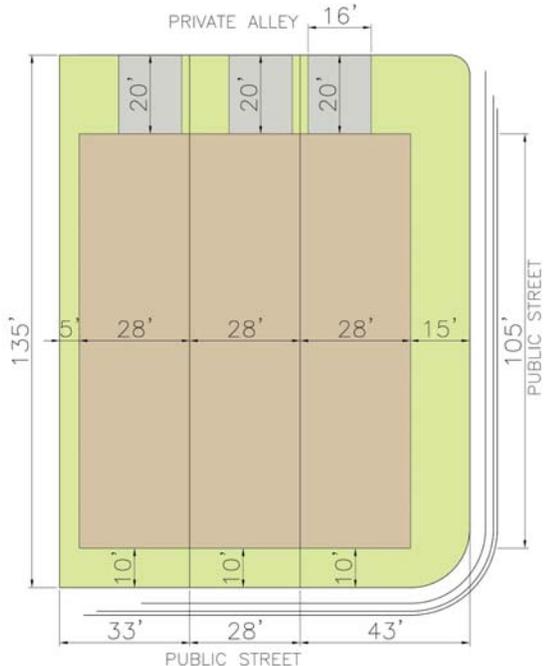
Proposed PRD Amendment Setback Diagrams



Single Family Lots



Villas



Cottages

Lot Type	Minimum Front Setback	Minimum Rear Setback	Minimum Side Setback	Minimum Corner Side Setback to ROW
Cottages	10 feet	20 feet	5' with min., 10' b/w Buildings	15 feet**
Villas	20 feet	20 feet	5' with min., 10' b/w Buildings	15 feet**
Single Family Lots	40 feet	35 feet	5' with min., 10' b/w Buildings	15 feet**

****Note:**
Traffic sight distances on corner lots will be reviewed during construction plan review at a later date and will be subject to approval by the city traffic engineer.

Proposed PRD Amendment

Phasing Plan

- ✦ The project is anticipated to be built in 2 phases with a mixture of home types in each phase.
- ✦ Construction of Phase 1 is currently underway.
- ✦ There shall be no development in areas labeled Phase 2 until the bridge construction is completed, except for mass grading and required utilities to serve the site.
- ✦ Construction timing of the remaining phases will be market driven and dependent upon the absorption of the lots in the previous phase.
- ✦ In general, each subsequent phase will begin construction after the previous phase is 80%-85% sold.
- ✦ The sidewalks within each phase will be constructed by the home builders as the homes are constructed. If sidewalks are located along common area then, the developer will construct those portions with the infrastructure work.



Phase #	Single Family	Villas	Cottages	Phase Acres
1A	0	30	23	9.08
1B	19	0	48	14.4
2	12	16	38	23
Total	31	46	109	46.48

Not to Scale

Proposed PRD Amendment

Proposed Villas

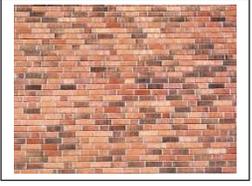
- ❖ All villas will be minimum of 1,400 s.f. of living area with 2 bedrooms with an option for a third bedroom.
- ❖ All villas will have 2 car garages and will be 100% front entry.
- ❖ The villas shall be 1 or 1 ½, story buildings.
- ❖ All elevations will be comprised brick, stone, and fiber cement board siding. Vinyl will only be permitted in the trim and soffits.
- ❖ The villas are an age targeted home geared towards a 55 and older resident but not age restricted. Deliberate design features are included to market to this demographic specifically.
- ❖ Garage doors shall be decorative with varies styles and colors to enhance architectural appeal.
- ❖ The villas will be sold fee simple, similar to zero lot line homes.
- ❖ Maximum building heights will be 35'.
- ❖ Landscape maintenance will be maintained by H.O.A.



Not to Scale



Example of the Cement Board
(different colors will be allowed)



Example of Possible Brick
(different colors will be allowed)



Example of the Stone Veneer
(different colors, cuts, patterns will be allowed)

The elevations of the homes will vary across the development. The images below are meant to convey the general appearance and functionality of the buildings.



Villa Elevation Examples

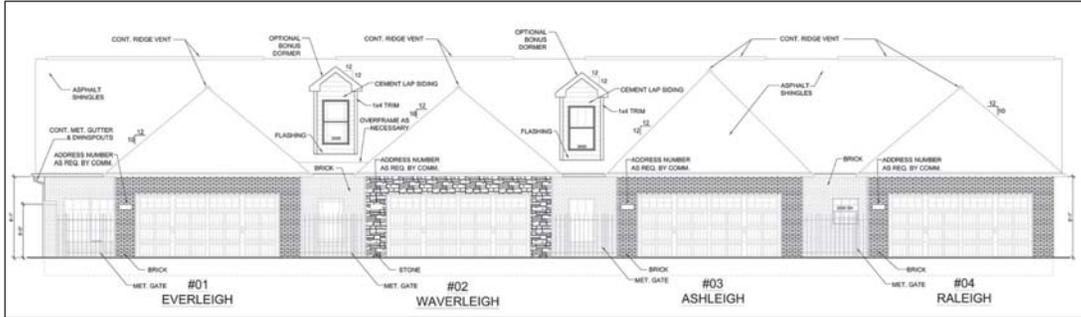
Proposed PRD Amendment

Proposed Cottages

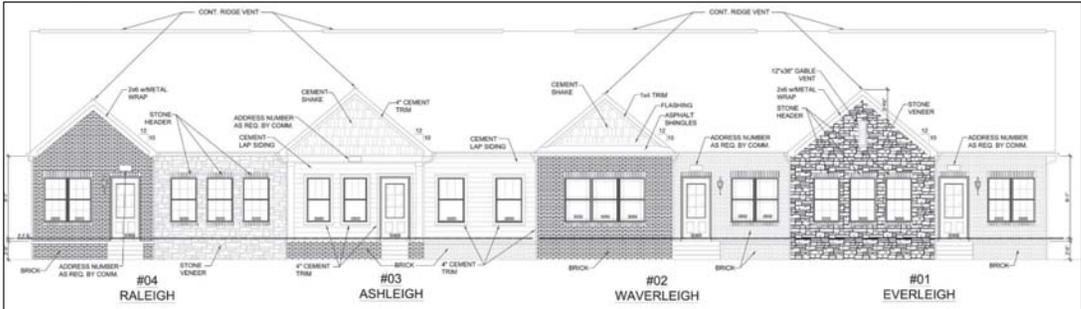
- ❖ All cottages will be minimum of 1,200 s.f. of living area with 2 bedrooms, with an option for a third bedroom.
- ❖ All cottages will have 2 car garages and shall be alley loaded.
- ❖ The cottages can be 1, 1 ½, and 2 - story buildings.
- ❖ All elevations will be comprised brick, stone, and fiber cement board siding. Vinyl will only be permitted in the trim and soffits.
- ❖ The cottages are an age targeted home geared towards a 55 and older resident but not age restricted. Deliberate design features are included to market to this demographic specifically.
- ❖ Maximum building heights will be 35'.
- ❖ Garage doors shall be decorative with varies styles and colors to enhance architectural appeal.
- ❖ Landscaping will be required along all internal roads of the project, and be maintained by the H.O.A.
- ❖ All cottages will be sold fee simple, similar to zero lot line homes.



Not to Scale



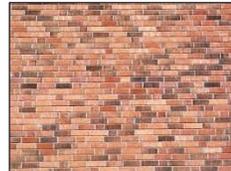
Example of Rear/Alley Elevations



Example of Front/Public Street Elevations



Example of the Cement Board
(different colors will be allowed)



Example of Possible Brick
(different colors will be allowed)



Example of the Stone Veneer
(different colors, cuts, patterns will be allowed)

The elevations of the homes will vary across the development. The images to the left are meant to convey the general appearance and functionality of the buildings.

Proposed PRD Amendment

Proposed Single Family Houses

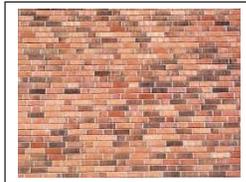
- ❖ All single-family homes will be minimum of 1,500 s.f. of living area with 3-4 bedrooms.
- ❖ All single-family homes shall have alley loaded 2-car garages.
- ❖ The single-family homes shall be 1, 1 ½, or 2-story buildings.
- ❖ All elevations will be comprised brick, stone, and fiber cement board siding. Vinyl will only be permitted in the trim and soffits.
- ❖ The single-family homes are an age targeted home geared towards a 55 and older resident but not age restricted. Deliberate design features are included to market to this demographic specifically.
- ❖ Garage doors shall be decorative with varies styles and colors to enhance architectural appeal.
- ❖ The single family lots will be for purchase.
- ❖ Maximum building heights will be 35'.
- ❖ Landscape maintenance will be maintained by H.O.A.



Not To Scale



Example of the Cement Board
(different colors will be allowed)



Example of Possible Brick
(different colors will be allowed)



Example of the Stone Veneer
(different colors, cuts, patterns will be allowed)

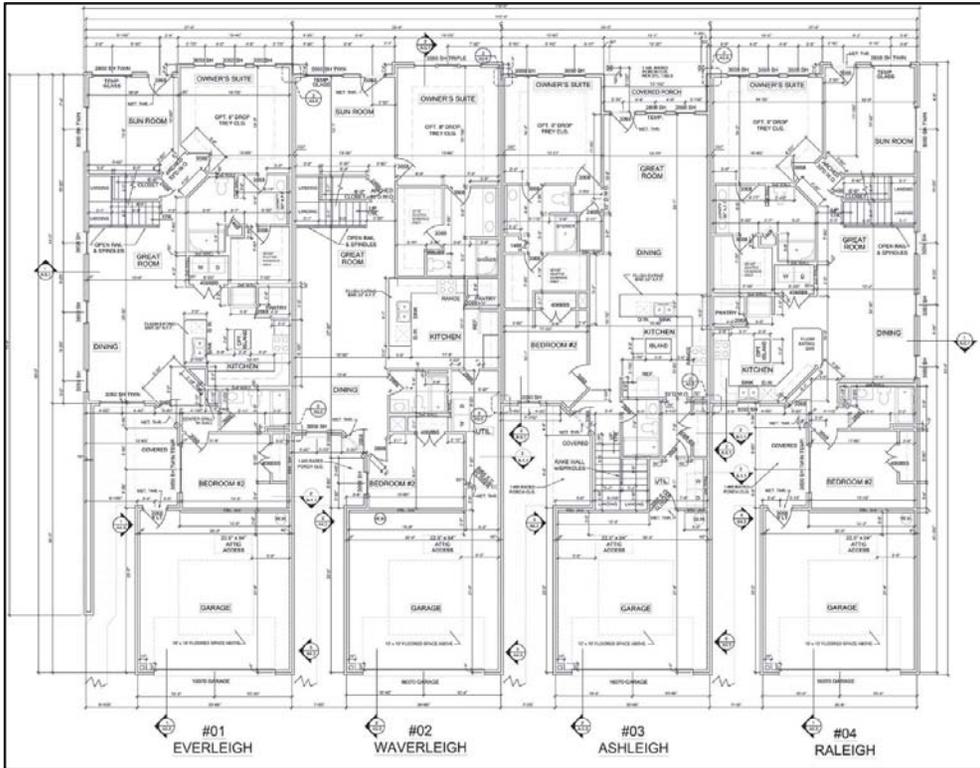
The elevations of the homes will vary across the development. The images below are meant to convey the general appearance and functionality of the buildings.



Example of elevations

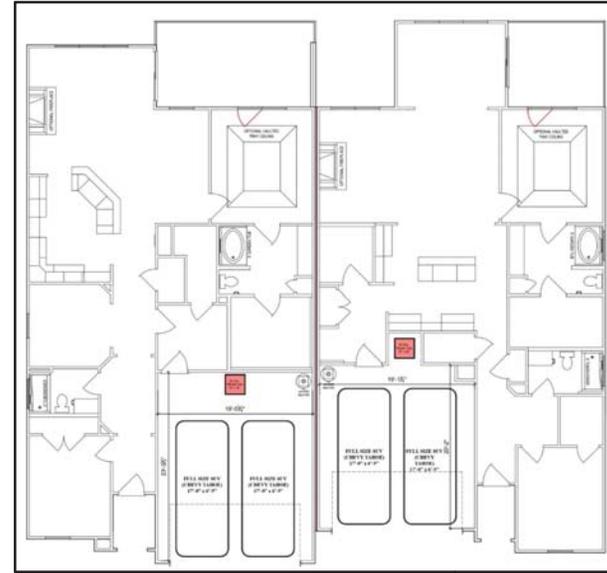
Proposed PRD Amendment

Floorplan Examples



Example of a Cottage Floorplan

Not to Scale



Example of a Villa Floorplan

Not to Scale

❖ Garbage can storage for the Cottages will be in the entry court area.

❖ Garbage can storage for the Villas will be in the garage.
 ▪ Garbage can locations indicated in red

The floorplans of the homes will vary across the development. The images shown are meant to convey the general appearance and functionality of the buildings.

Proposed PRD Amendment

Amenities

With this request, Laurelstone will be dedicating over 25% of the development as open space for the neighborhood. This open space area will contain the stormwater management areas as well as passive recreational areas. Sidewalks are included on both sides of the public street throughout the neighborhood to provide pedestrian connectivity. The amenities program shall include a clubhouse, dog park, and community gardens for residence to enjoy. The elevations of the clubhouse shall be consistent in both materials and architectural styles of the proposed homes.



Not To Scale



Example of Community Garden

The residents of Laurelstone shall be required to be members of the H.O.A. and shall have access to the proposed facilities and amenities within the neighborhood. As a member of the H.O.A., the residents will be subject to restrictive covenants and be required to pay membership dues as determined by the 3rd party management company. The Laurelstone H.O.A. will be responsible for the maintenance of home exteriors, driveways, private roads and parking areas, amenities, and common open spaces.



Example Elevation of Clubhouse



Outdoor Patio and Grilling Area

Pursuant to the Murfreesboro Major Thoroughfare Plan, Lascassas Pike is planned to be improved to a 5 lane cross-section in the future. Laurelstone shall dedicate required ROW for the roadway improvements, construct a northbound left turn lane on Lascassas Pike, and pay for or construct other road improvements, as determined by TDOT and/or the City Engineer.

Laurelstone is proposed with 5 points of ingress/egress. The primary entrance into the site shall be off Lascassas Pike. Secondary entrances off Cushing Avenue and Old Pitts Lane shall become available in Phase 2 of the development. Two stub streets are proposed as well, for possible future connections to the surrounding areas. Public ROWs within the development shall be developed in conformance to the City of Murfreesboro's Street Specifications. The alleyways are to be considered as private roads and maintained by the H.O.A. Alleyways shall be designed to allow accessibility for solid waste service and emergency vehicles.

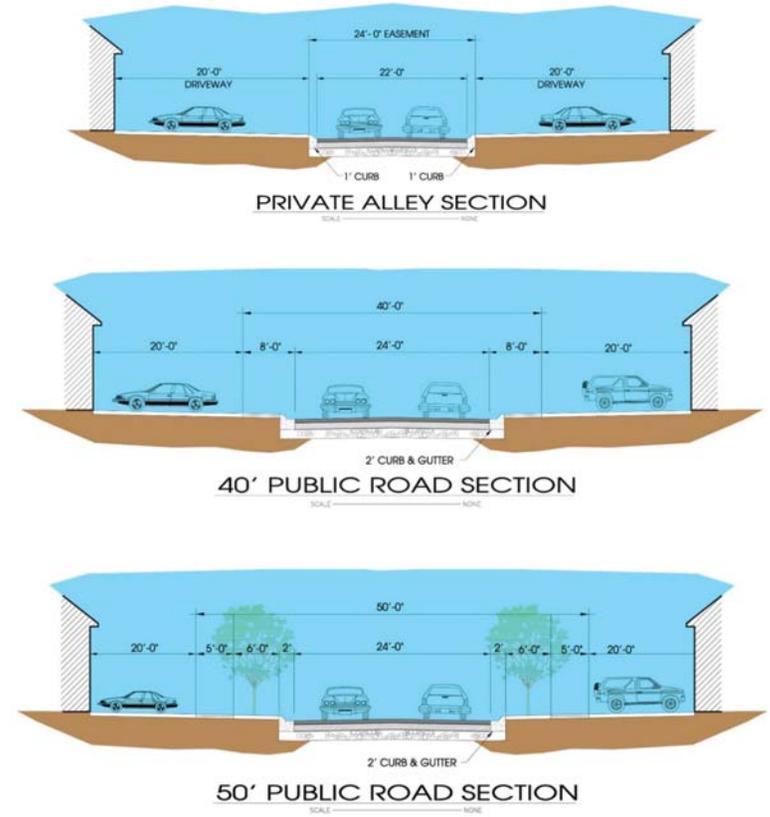
Laurelstone shall be dedicating a portion of land to the Old Pitts Lane ROW. This will allow for a connection into the site and possible future road improvements along Old Pitts Lane.

Proposed PRD Amendment

Ingress/Egress



Not to Scale 



Proposed PRD Amendment Conceptual Master Landscape Plan



*Proposed landscaping shown is strictly conceptual and does not dictate the final location or quantity of landscaping.



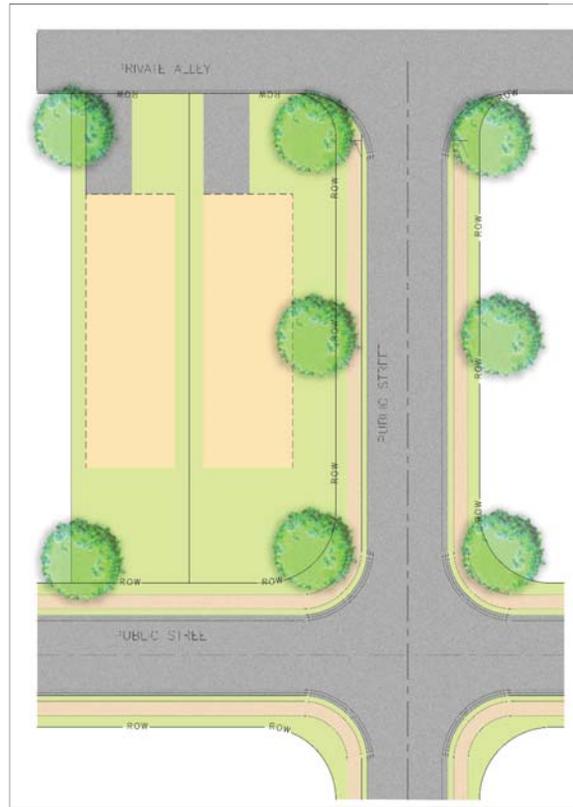
Not to Scale

Landscaping shall enhance the architectural style of the homes, while creating curb appeal for the community. Home elevations facing public streets shall have foundation landscaping consisting of both deciduous and evergreen shrubs to create year-round interest. Perennials and grasses will add a variety of colors and textures to each home. Lawn areas adjacent to 50' and 40' ROWs shall provide street tree to create a unified streetscape. Alleys shall be planted with both understory and street trees to create a unified streetscape as well. Understory trees are proposed between the Cottage driveways, while Single Family lots shall have shade/street trees. Understory trees are proposed between the Cottage driveways, while Single Family lots shall have shade/street trees.

Proposed PRD Amendment Conceptual Residential Landscape Plan



COTTAGES



SINGLE FAMILY HOMES



VILLAS

Section 13 Subsection D Item 2a Requirement

- 1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.
Response: An exhibit is given on Page 4 along with descriptions of each.

- 2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.
Response: An exhibit is given on Page 4 that shows the existing contours and drainage patterns along with an aerial photograph of the area. The central portion of the property is subject to floodplains and floodways associated with Bushman Creek.

- 3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.
Response: Exhibits and photographs on Pages 4-6 give the location of existing structures on the subject property and the surrounding properties.

- 4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.
Response: Overall amended concept plan is located on Page 3 with the previously approved plan on page 2 for comparison. Pages 7-18 lists the standards and exhibits pertaining to the amended concept plan.

- 5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.
Response: Page 7 lists this information.

- 6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). *These tabulations are for the PRD.*

TOTAL SITE AREA	2,024,669 s.f.
TOTAL MAXIMUM FLOOR AREA	313,500 s.f.
TOTAL LOT AREA	896,777 s.f.
TOTAL BUILDING COVERAGE	248,800 s.f.
TOTAL DRIVE/ PARKING AREA	125,134 s.f.
TOTAL RIGHT-OF-WAY	402,124 s.f.
TOTAL LIVABLE SPACE	522,843 s.f.
TOTAL OPEN SPACE	1,373,745 s.f.
FLOOR AREA RATIO (F.A.R.)	0.15
LIVABILITY SPACE RATIO (L.S.R.)	1.67
OPEN SPACE RATIO (O.S.R.)	4.38

Section 13 Subsection D Item 2a Requirements (cont.)

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned PRD City of Murfreesboro. The surrounding areas have a mixture of residential properties including other PRD developments and RZ. The amended concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align with the type of single-family developments in the surrounding neighborhoods and are envisioned to compliment the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:
(aa) the approximate date when construction of the project can be expected to begin;

Response: The Phasing of the development is discussed on Page 10.

(bb) the order in which the phases of the project will be built;

Response: The Phasing of the development is discussed on Page 10.

(cc) the minimum area and the approximate location of common space and public improvements that will be required at each stage;

Response: The Phasing of the development is discussed on Page 10.

(dd) a breakdown by phase for subsections [5] and [6] above;

Response: The exact size and location of each phase is unknown at this time, but a representative phasing plan has been provided on Page 10

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Page 15.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: None to be required

	Current	Proposed Amendments to the PRD								
	PRD	Site	Difference	Single Family	Diff.	Cottages	Diff.	Villas	Diff.	Difference
Maximum Gross Density	4.41 Units/AC	4.02Units/AC	.39 Units/AC							.39 Units/AC
Front Setback	10.0'			40.0'	+30.0'	10.0'	+0.0'	20.0'	+10.0'	
Side Setback	5.0'			5.0'	+0.0'	5.0'	+0.0'	5.0'	+0.0'	
Rear Setback	20.0'			35.0'	+15.0'	20.0'	+0.0'	20.0'	+0.0'	
Minimum Lot Size (SQ.FT)	3,000			6,500	+3,500	3,780'	+780'	4920	+1,920	
Minimu Lot Width	28'			41.0'	+13.0'	28.0'	+0.0'	41.0'	+13.0'	

Section 13 Subsection D Item 2a Requirements (cont.)

- 11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article
Response: This property is within the Airport Overlay District (AOD). This property is not in the Battlefield Protection District (BPD), Gateway Design Overlay District (GDO), Historic District (H-1), or Planned Signage Overlay District (PS). A portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0163H Eff. Date: 1/5/2007.
- 12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.
Response: Page 16 discusses the Major Thoroughfare Plan.
- 13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.
Response: The primary representative is Rob Molchan of SEC, Inc.

Developer

Goodall Homes

393 Maple Street, Suite 100
Gallatin, TN 37066
Contact: Maverick Green
Ph #: 931-205-2435
Email: mgreen@goodallhomes.com

Engineering, Surveying,

Land Planning & Landscape Architecture

SEC, Inc.

850 Middle TN Blvd
Murfreesboro, TN 37129
Contact: Rob Molchan, R.L.A.
Ph #: 615-890-7901
Email: rmolchan@sec-civil.com

- 14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures
Response: Pages 11-14 show the architectural character of the proposed homes with garages shown and building materials listed. A Single-family option has been added to this amendment and can be seen on page 13. Villas will be allowed to have rear porches and attached lighting, cottages will have automatic lighting in the alleys. However, exact configuration for these items is unknown and will be determined as each home is built. The public streets will have standard streetlights spaced per Middle Tennessee Membership Corporation guidelines.
- 15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.
Response: Page 4 shows the site plan indicating the location of the entrance sign. Also, Page 8 provides a picture of a similar sign. The sign will be constructed of masonry materials. If lit, the sign will have up-lighting. The sign shall be anchored with landscaping. All elements of the sign will be in accordance with the City of Murfreesboro's Sign Ordinance.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
AUGUST 19, 2020
PROJECT PLANNER: MARINA RUSH**

- 6.f. Mandatory Referral/ROW Abandonment [2020-713] to consider the abandonment of a portion of Esther Lane Right-of-Way, Mid-South Property Acquisitions, LLC and the City of Murfreesboro Planning Department applicants.**

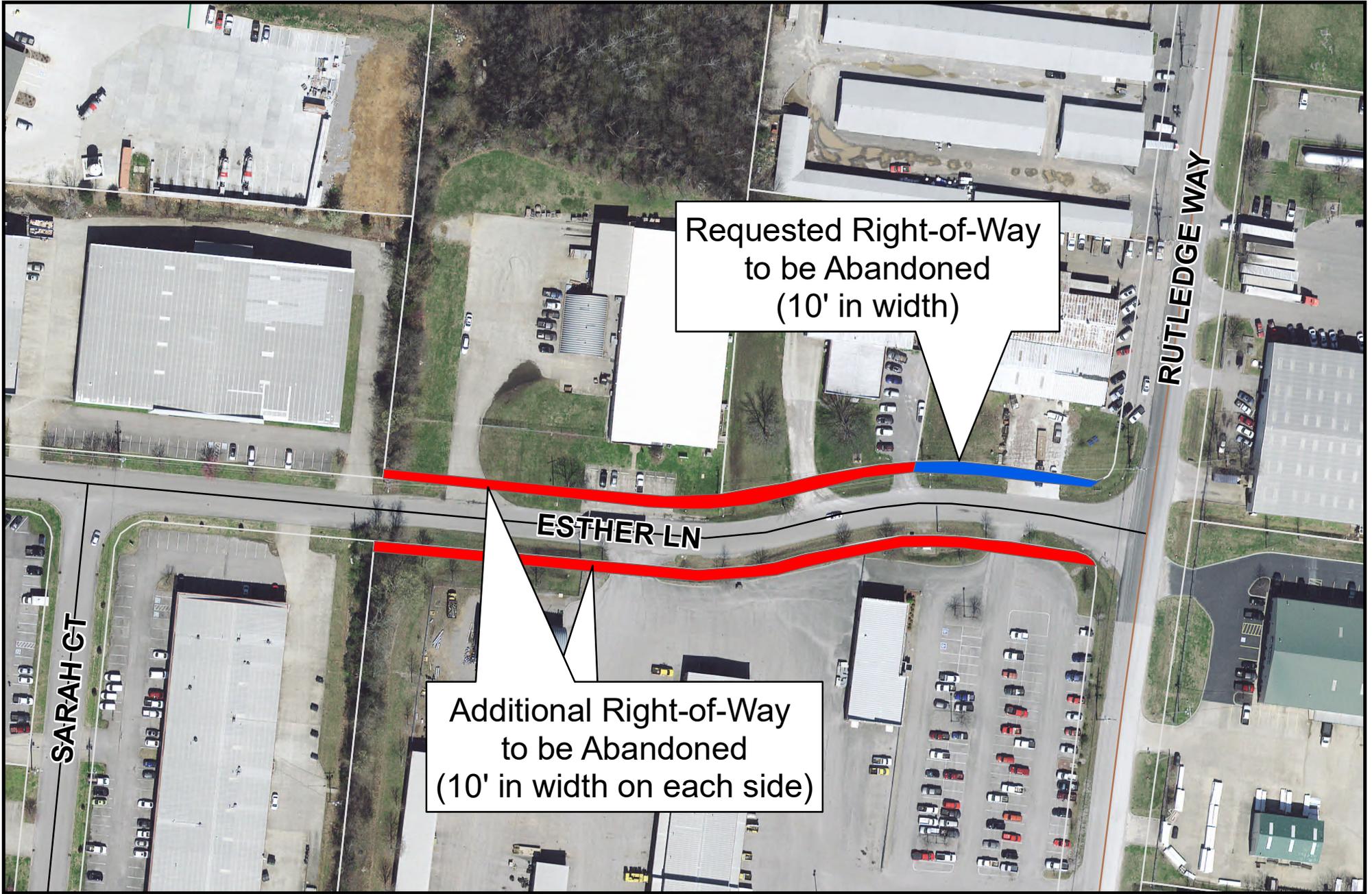
In this mandatory referral, the Planning Commission is being asked to consider approving the abandonment of a portion of Esther Lane right-of-way (ROW) as depicted on the attached maps. The ROW area to be abandoned includes a portion along the south side of Esther Lane, approximately 691 linear feet long by 10 feet in width, and along the north side of Esther Lane approximately 691 linear feet long by 10 feet width.

The purpose of the request is to reduce the current 80-foot width of this segment of Esther Lane ROW to a width of 60 feet instead, consistent with the remainder of Esther Lane to the west. There is 10 feet of ROW on each side of this segment of Esther Lane proposed to be abandoned, leaving 30 feet of ROW from the centerline of the street in both directions.

The requested abandonment is for ROW, and as such, a public hearing is required. Staff is in the process of gathering information from other City departments and utility providers regarding the impact of the proposed abandonment. Staff will prepare a report summarizing the impacts prior to the public hearing.

Action Needed

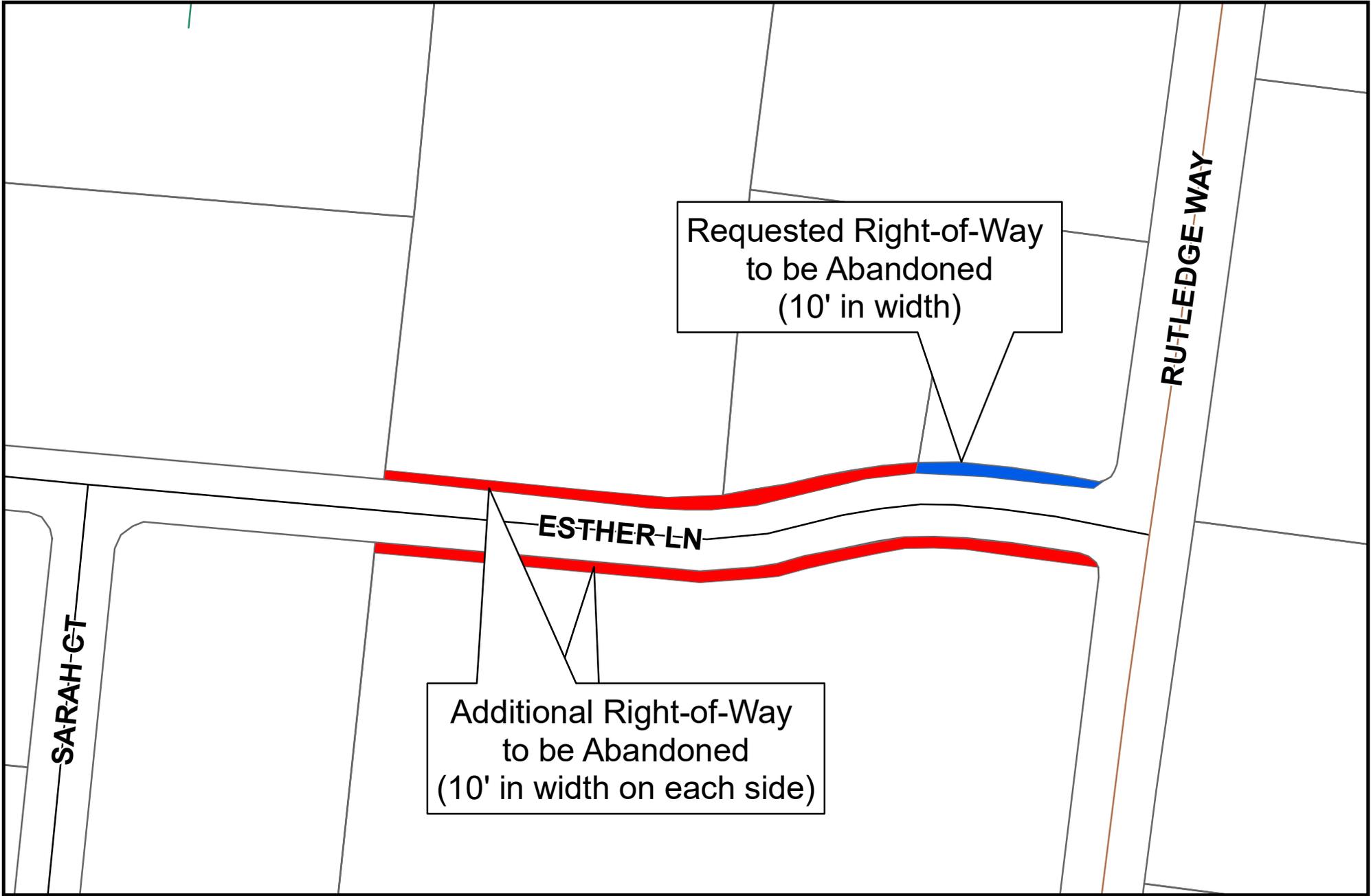
The Planning Commission should discuss the matter and schedule a public hearing for this item. Staff recommends a public hearing date of September 2, 2020.



Request to Abandon Right-of-Way
Of Esther Lane



Planning Department
City of Murfreesboro
11 W Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Request to Abandon Right-of-Way
Of Esther Lane



Planning Department
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11 W Vine St
Murfreesboro, TN 37130
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July 14, 2020

Mr. Matthew Blomeley
Murfreesboro Planning & Engineering Dept
111 W. Vine St
Murfreesboro, Tennessee 37130

RE: Mid-South Machine Expansion
Esther Lane Right-of-Way Abandonment Request
Murfreesboro, Tennessee

Dear Mr. Blomeley:

Please accept this as our formal request for the City of Murfreesboro to abandon a portion of Right-of-Way for Esther Lane that is shown to the west of Rutledge Way. Furthermore, the attached exhibit highlights this area.

This segment of right-of-way along Esther Lane appears to be excess and not needed.

If you should have any questions concerning this letter, please feel free to call me at (615) 890-7901 or via email at mtaylor@sec-civil.com

Sincerely,



Matt Taylor, P.E.
Vice-President
SEC, Inc



City of Murfreesboro
Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, **INCLUDING** abandonment of right-of-way..... \$350.00
Mandatory Referral, **NOT INCLUDING** abandonment of right-of-way..... \$150.00

Property Information:

Tax Map/Group/Parcel: Map 102 Parcel 41.03 | Address (if applicable): 1310 Rutledge Way
Street Name (if abandonment of ROW): Esther Lane
Type of Mandatory Referral: Right-of-Way

Applicant Information:

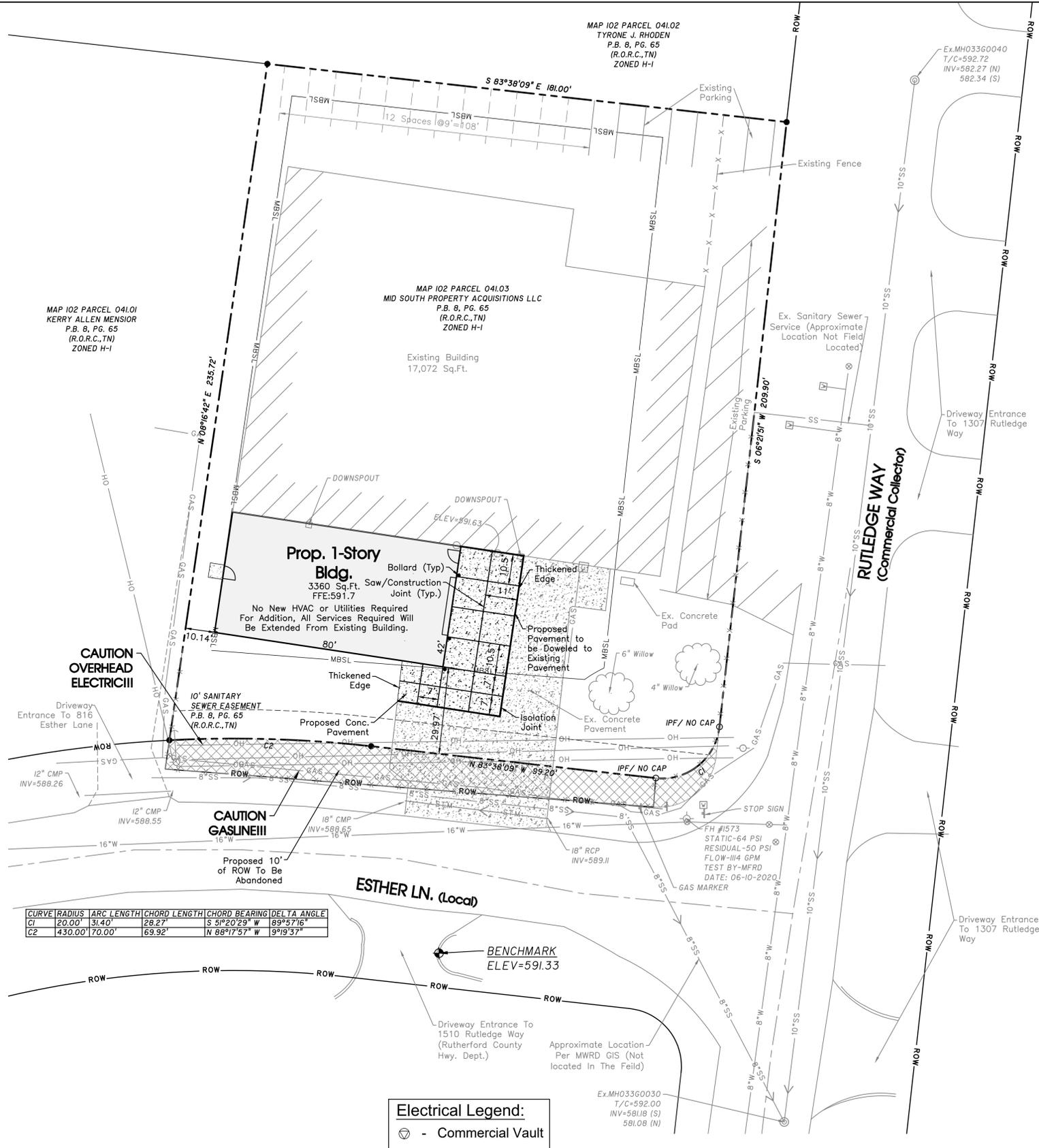
Name of Applicant: Matt Taylor on Behalf of Mid South Property Acquisitions
Company Name (if applicable): SEC, Inc
Street Address or PO Box: 850 Middle TN Blvd
City: Murfreesboro
State: TN | Zip Code: 37129
Email Address: mtaylor@sec-civil.com
Phone Number: 615-890-7901

Required Attachments:

- Letter from applicant detailing the request
- Exhibit of requested area, drawn to scale
- Legal description (if applicable)


Applicant Signature

7-14-2020
Date



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	20.00'	31.40'	26.27'	S 5°20'29" W	89°57'16"
C2	430.00'	170.00'	69.92'	N 68°17'57" W	9°19'37"

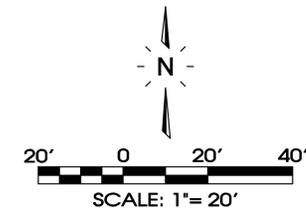
Electrical Legend:

	- Commercial Vault
	- Transformer

The proposed electrical, gas, water and telecommunications information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information.

Note:
 1) No New Solid Waste Service Required.
 2) No New Lighting Proposed With Addition.

Note:
 Planning Department Approval Of This Site Plan, May Or May Not Adequately Reflect The Latest Requirements And/Or Plans Approved By Murfreesboro Water Resources Department (MWRD). This Also Applies To Site Plans That Are Included In The Building Permit Set. Contractor Must Verify With MWRD That They Are Using Approved Utility Plans.



Legend:

	EXIST. CONCRETE MONUMENT		BENCHMARK
	IRON PIN SET (I.P.S.)		HANDICAP PARKING SYMBOL
	IRON PIN FOUND (I.P.F.)		VAN ACCESSIBLE HANDICAP DESIGNATION
	EXIST. SIGN POST		HC SIGN
	EXIST. SEWER CLEANOUT		PROPOSED SIGN POST
	EXIST. MANHOLE (SEWER & PHONE)		CONCRETE BOLLARD
	EXIST. CATCH BASIN (STORM SEWER)		WHEEL STOP
	EXIST. WATER/GAS VALVE		CONCRETE SIDEWALK
	EXIST. TELEPHONE RISER		EXTRUDED CURB
	EXIST. GAS RISER		CURB & GUTTER
	ELECTRICAL ENCLOSURE		TRAFFIC ARROW
	EXIST. WATER METER		TURN LANE ARROWS
	EXIST. UTILITY POLE		REVISION NUMBER
	EXIST. FIRE HYDRANT		DRAINAGE STRUCTURE DESIGNATION
	POST INDICATOR VALVE		DRAINAGE PIPE DESIGNATION
	BLOW OFF VALVE		RIP RAP
	REDUCER		RUNOFF FLOW ARROW
	REMOTE FIRE DEPT. CONNECTION		INLET FILTER PROTECTION
	CONCRETE THRUST BLOCK		PROPOSED SPOT ELEVATION
	DOUBLE DETECTOR CHECK VALVE		EXIST. SPOT ELEVATION
	FIRE DEPT. CONNECTION		SEWER/STORM FLOW DIRECTION
	FIRE HYDRANT		CATCH BASIN
	GATE VALVE & BOX		CURB INLET
	WATER METER		AREA DRAIN
	GAS METER		HEADWALL
	GREASE TRAP		WINGED HEADWALL
	EXTERIOR CLEANOUT		CONCRETE SWALE
	MANHOLE		TYPE- X- HEADWALL

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	~ ~ ~
EXISTING FENCELINE	- X - X - X - X -
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	=====
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	---601---
PROPOSED CONTOUR LINES	---601---
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W
PROPOSED WATER	W W

Owner/Developer:
 Mid South Property Acquisitions, LLC
 1310 Rutledge Way
 Murfreesboro, TN 37129
 Contact: Rickey Butler

Dead Reference:
 Plat Book 8 Page 65, Lot 1
 Tax Map 102 Parcel 41.03
 R.Bk. 1798 Pg. 3319

Yard Requirements:
 Front: 42'
 Side: 10'
 Rear: 20'

Intended Use:
 Warehouse

Land Use Data:
 Zoned: H-1
 1-Story Building
 Building Ht.: 20'-11"
 Existing: 17,072 Sq.Ft.
 Proposed: 3,360 Sq.Ft.
 Total Floor Area: 20,432 Sq.Ft.
 1 Lot on: 0.98± Acres

Parking Requirements:
 1.5 Spaces x 10 Employees + (1 Space x 5 business Vehicles) = 13 Spaces Required
 Existing Provided = 16 Total Spaces Provided

Flood Map No.:
 This site lies within Zone X, outside the 100 Year Floodplain, per Community Panel 47146C020H dated January 5, 2007.

Owner/Developer:
 Mid South Property Acquisitions, LLC
 850 MIDDLE TENNESSEE BOULEVARD
 MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 880-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 885-2567
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.

SEC, Inc.
 SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING
 LANDSCAPE ARCHITECTURE

REVISIONS:

DATE:	6-11-20
CHECKED:	MAT
FILE NAME:	20116project
SCALE:	1"=20'
JOB NO.:	20116
SHEET:	C2.0

MidSouth Machine Building Addition
 Murfreesboro, Tennessee

Site & Utility Plan

REVIEW SET
 (Not intended for construction)