

CITY OF MURFREESBORO
HISTORIC ZONING COMMISSION

Regular Meeting, June 16, 2020
3:30 PM, Council Chambers, City Hall

- I. Call to Order and determination of a quorum
- II. Approve Minutes of the Regular Meeting on January 21, 2020
- III. New Business
 - a. **20-H-006: 449 East College Street, Thomas Jennings** - Requesting review of a new driveway gate at single-family residence.
 - b. **20-H-004: 451 East College Street, Richard and Vicki Fewell** - Requesting review of construction of new single-family residence.
 - c. **20-H-005: 324 East College Street, Bill Jakes** – Requesting review of new privacy fence along rear lot line of existing single-family residence.
- IV. Staff Reports and other Business
- V. Adjourn

Regular Meeting Minutes of the Historic Zoning Commission January 21, 2020

MEMBERS PRESENT:

Jim Thompson, Chairman
David Becker
Bill Jakes
Jeff Davis
Marimae White

ABSENT:

Gib Backlund
Deborah Belcher
Linda Anderson

STAFF PRESENT:

Amelia Kerr, *Planner*
Matthew Blomeley, *Assistant Planning Director*
Brenda Davis, *Recording Assistant*
Katie Driver, *Staff Attorney*

Chairman Thompson called the meeting to order at 3:30 p.m.

Mr. Jakes made a motion to approve the December 17, 2019 minutes. The motion was seconded by Mr. Becker and carried unanimously in favor.

New Business:

H-20-001 – 449 East College Street, Thomas Holden Jennings – Requesting final review for construction of a new residence on a vacant lot on East College Street.

Ms. Kerr reviewed the application and the Staff comments contained in the HZC agenda package. The applicant was present.

Mr. Jennings, 449 East College Street, came to the podium to answer questions from the Commission.

Mr. Becker asked about the Fibrex material Mr. Jennings plans to use on the house. He was approved for a material like Fibrex and said a material he used previously on a home in the Historic District was a Fibrex material but not a clad material. He said the material was made of ground wood and a synthetic material. Mr. Becker said it appears in the detail that Mr. Jennings' application refers to a clad material with Fibrex on the outside.

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Mr. Jennings said the Fibrex is the same, adding it is 40% wood and 60% PVC and 200% stronger than vinyl.

Mr. Becker was glad to hear it was the same type of material he was approved for when he lived in the Historic District.

Chairman Thompson said the cut-sheet from Anderson shows something that looks like an extruded applied material. He asked if maybe this was the wrong cut-sheet.

After some discussion, Mr. Jennings said he probably pulled the wrong cut-sheet and will go back to Anderson and obtain the correct one.

Chairman Thompson suggested breaking the approvals into sections for discussions and motions.

Front Elevation:

Chairman Thompson said the back of the house cannot be seen from the front, so it does not need to be reviewed. He asked if the Commission had any questions regarding the front elevations.

Mr. Blomeley pointed out with the City Core regulations that go into effect on Friday, for the plot plan that was submitted the front setback will be reduced to be consistent with what is already on that block. The house depicted on the plot plan that is submitted will be pulled up closer to the front lot line, more consistent with what is around it.

Chairman Thompson said the front porch slope from the front of the porch to the body of the building appears to be 1 and 12, but the sides of the hip on either the short end to the porch is steeper. He recommended Mr. Jennings match the sides to the front pitch. He said when it is built, it will look clumsy on the sides as the ridge of the hip of the porch would be closer to the windows where it meets the body of the building, but it should match. Chairman Thompson said architecturally that is the way they do it adding it should match to make it look more cohesive.

Mr. Jakes said the front elevation shows siding and asked if the brick is for the sides.

Mr. Jennings said the brick is for the foundation only.

Mr. Jakes verified the exterior is siding.

Mr. Jennings said yes, the entire exterior is hardi-plank.

Mr. Jakes asked if the chimneys will be hardi-plank as well.

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Mr. Jennings said yes.

Mr. Becker made a motion to approve the elevations as submitted. The motion was seconded by Ms. White.

Chairman Thompson asked if there were any acknowledgements about his comment about the porch slope or not.

Mr. Becker amended the above motion to approve the elevations as submitted with the exception on the porch roof, the pitches on the side would be the same as the pitch over the porch. An amended second was made by Ms. White and the motion carried unanimously in favor.

Site Plan:

Chairman Thompson referred to a fence, but it was not noted where the fence would be located.

Mr. Jennings said the fence is indicated in red on the site plan.

Chairman Thompson said the driveway is not shown on the site plan and asked for a revised site plan. He asked Mr. Jennings to submit a new site plan to Ms. Kerr so it can be approved administratively.

Mr. Jennings said yes.

Chairman Thompson asked Mr. Jennings to include the type of material for the driveway. He suggested Mr. Jennings take into consideration getting out of the garage to pull forward out of the driveway instead of backing out since the garage doors are on the rear wing facing to the right-side lot line.

Chairman Thompson asked Mr. Jennings to resubmit the site plan referring to the fence and driveway for administrative approval.

Mr. Jakes asked if there will be a gate on the front of the driveway.

Mr. Jennings said no. He also mentioned there are no other fences on the street.

Hardi-plank Surface:

Chairman Thompson confirmed Mr. Jennings submitted the Cedarmill which has the rusticated face to it.

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Mr. Jennings said yes.

Mr. Jakes made a motion to approve the surface of the Hardi-plank as submitted. The motion was seconded by Ms. White and carried unanimously in favor.

Columns:

Chairman Thompson said the columns are round, tapered, and permacast. He asked if they were a synthetic material.

Mr. Jennings said the columns are fiberglass.

Chairman Thompson asked if the columns were hollow inside.

Mr. Jennings said yes.

Chairman Thompson asked if he was going with the smooth-faced column or the fluted column.

Mr. Jennings said smooth.

Mr. Jakes asked if this is a paintable product.

Mr. Jennings said they intend to keep it white, so he didn't explore if it was paintable.

Mr. Becker made a motion to approve the smooth-face Tuscan columns as submitted. The motion was seconded by Mr. Davis and carried unanimously in favor.

Windows:

Chairman Thompson verified Mr. Jennings will resubmit the windows with a new cut-sheet.

Mr. Jennings said he will resubmit with the Fibrex material.

Chairman Thompson said the windows show several options. He suggested when Mr. Jennings resubmits to inform them of which option he chooses. He referred to the grill options of the windows and asked if Mr. Jennings would have muttons on the outside of the windows.

Mr. Jennings said he plans to have muttons on the outside and inside of the windows marked Colonial Traditional.

Chairman Thompson said he has seen it where the muttons are on both sides of the glass but in the middle between the glass there is nothing. He said at the right angle, you can look up

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between them. He recommended Mr. Jennings get the inserts between the panes of glass to fill in the muttons; otherwise, it looks very fake. When the windows are resubmitted, the Commission will look at the muttons.

Mr. Jennings appreciated the advice.

French Quarter Gas Lights:

Mr. Jakes said the lights are a great addition to the house.

Mr. Jakes made a motion to approve the French Quarter gas lights. The motion was seconded by Mr. Becker and carried unanimously in favor.

Metal Roof:

Chairman Thompson verified Mr. Jennings is proposing a metal roof.

Mr. Jennings said yes.

Chairman Thompson said it appears there are two styles submitted and asked which option he will be going with.

Mr. Jennings said the standard 14-inch unless the Commission suggests otherwise.

Chairman Thompson said if he goes with the 14-inch, there will be a 1/2-inch standing seam. He said that is up to Mr. Jennings, as it is just a visual.

Mr. Jennings said he will go with 16-inch metal roof.

Mr. Becker asked what color Mr. Jennings plans to go with.

Mr. Jennings said a final decision has not been made but leaning toward a black or bronze color.

Mr. Becker made a motion to approve the 16-inch panel for a metal tin roof. The motion was seconded by Ms. White and carried unanimously in favor.

Gutters & Downspouts:

Mr. Becker asked if the gutters are 4-inch or 6-inch.

Mr. Jennings left the size to the Commission's discretion.

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Mr. Becker and Mr. Jakes both recommended 6-inch.

Mr. Jennings said he will go with the 6-inch size.

Mr. Becker made a motion to approve 6-inch gutters and downspouts. The motion was seconded by Ms. White and carried unanimously in favor.

Brackets Under Front Elevation:

Chairman Thompson asked what type of material these brackets are made of.

Mr. Jennings was not sure the type of material but stated it is decorative millwork. He assumes it is some type of composite but there wasn't that much detail or spec sheets available online at their website.

Mr. Jakes said waterproofing DF is probably the ideal material.

Ms. White made a motion to approve the brackets under the front elevations as presented. The motion was seconded by Mr. Davis and carried unanimously in favor.

Garage Doors:

Chairman Thompson asked if the garage doors are steel doors.

Mr. Jennings said yes. He was not sure if the Commission needed to approve them as they cannot be seen from the road.

Chairman Thompson agreed.

Mr. Jennings said the vacant lot next door to him has just been sold and assumes they will build in a reasonable timeframe and that would take away any possibility of seeing them from the road.

Mr. Jakes asked if the doors have a wood-grain look to them.

Mr. Jennings said the doors are textured to look like wood, but they are not wood.

Mr. Jakes made a motion to approve the garage doors as submitted. The motion was seconded by Mr. Becker and carried unanimously in favor.

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Fence:

Chairman Thompson asked the height of the fence.

Mr. Jennings said a 6-foot fence is being requested. He wasn't sure if an 8-foot fence would be allowed.

Ms. Kerr said the maximum height would be 8-feet but generally they are 6-feet high.

Mr. Jennings said he will propose a 6-foot high privacy fence.

Chairman Thompson asked if he would paint the fence.

Mr. Jennings said no adding he will just leave it.

Mr. Becker made a motion to approve a 6-foot privacy wood fence as submitted. The motion was seconded by Ms. White and carried unanimously in favor.

Entry Way Doors:

Chairman Thompson asked Mr. Jennings to describe the entry way doors.

Mr. Jennings said the doors are similar to the Anderson product stating they are a "wood-core product" that can have the aluminum cladding or not.

Chairman Thompson asked if all the doors are the same.

Mr. Jennings said the middle and the left side will be fixed doors and they don't intend those to be working. He thinks the fixed doors come in the same material as the windows, Fibrex.

Chairman Thompson said this looks different than the window submittals. He said if Mr. Jennings went with something like the doors, it would be consistent.

Mr. Jakes asked if the doors will be under a covered porch.

Mr. Jennings said yes.

Mr. Jakes asked if Mr. Jennings had a preference for wood or metal-clad.

Mr. Jennings said the metal cladding makes sense to him but understands there is an aspect of its wood is less likely to rot under porch cover but it is also 20/20.

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Chairman Thompson said the Commission has different standards stating if it were a historic home versus a brand-new home that we give more leeway to the newer homes. He said the Commission has approved metal-clad in the past. He said a metal-clad door will protect the finish and you won't have to paint it and it gives a bit of security.

Mr. Jennings agreed and said it is the same thought process with the columns. He would like to use the advanced technology with the aspect of aluminum cladding, adding they will look the same for the next 20 years.

Mr. Jakes made a motion to approve the doors as submitted. The motion was seconded by Ms. White and carried unanimously in favor.

Elevation of the House:

Chairman Thompson said the house should not be any taller than the house across the street. He asked if Mr. Jennings has checked to see if his house will be taller than or the same size.

Mr. Jennings checked the heights stating the house next door is 28-feet tall and the one across the street is 24-feet to the start of the roof and assuming 10-12 feet from there. He said his house will be 30-feet 9-inches in height. He said the height of their house will be somewhere between the house next door and the house across the street.

Driveway:

Ms. Kerr said there was previous mention about the proposed driveway and asked if it would be concrete.

Chairman Thompson said Mr. Jennings will submit a drawing and it should label what type of material will be used.

Mr. Jennings said they currently have a shared driveway entrance. He asked if a new angled entrance for his side of the driveway needs to be cut.

Mr. Blomeley said in order to make any modifications to the right-of-way (planning to widen or add an additional driveway or modify the curb cuts), Mr. Jennings will need to obtain a right-of-way permit from the City Engineering Department.

Brick:

Chairman Thompson asked if the brick sample submitted will only be for the foundation.

Mr. Jennings said yes.

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Chairman Thompson asked if the Commission had any issues related to the brick.

Mr. Jakes made a motion to approve the brick as submitted. The motion was seconded by Mr. Becker and carried unanimously in favor.

Mr. Jakes asked when Mr. Jennings plans to break ground.

Mr. Jennings is looking at March, depending on the weather.

Ms. Kerr asked if the Commission is giving Staff the authority to approve the items for administrative approval or does the Commission need to be included by e-mail or additional meetings.

Chairman Thompson requested the information be e-mailed to the Commission Members for input/administrative approval. He said if a majority of the Commission Members (5 total) approves the requests, it will be equivalent to being at a meeting.

Ms. Kerr asked Mr. Jennings to send the resubmittals in one document to her and she will then forward it to the Commission Members for review.

Staff Reports and Other Business

None

Mr. Becker made a motion to adjourn. The motion was seconded by Mr. Jakes and carried unanimously in favor.

Meeting adjourned at 4:05 P.M.

CHAIRMAN

SECRETARY

**City of Murfreesboro
Historic Zoning Commission
Staff Comments
Regular meeting: June 16, 2020**

New Business:

- a. **20-H-006: 449 East College Street, Thomas Jennings** - Requesting review of a new driveway gate at single-family residence.



This property is located on the north side of East College Street several lots to the west of North Highland Avenue. It contains approximately 0.18 acres. The property is zoned RS-8 (Single-Family Residential District 8) and H-1 (Historic Zoning Overlay District). It is also located in the CCO (City Core Overlay) district. A single-family home was previously located on the subject property and was torn down. In January, the applicant received

approval from the Historic Zoning Commission (HZC) to construct a new single-family dwelling on the subject property. It has since been permitted and is under construction.

The plot plan for the construction on the property is included with the agenda packet. The proposed house is situated on the west side of the lot, and the driveway is located along the east side of the lot all the way past the rear of the house. The proposed attached garage is a side-entry garage located toward the rear of the house. The HZC's January approval included approval of a wooden privacy fence along the rear lot line as well as portions of both side lot lines. Due to the amount of foot traffic in the neighborhood, the applicant has decided that he wants to include a gate across the driveway connecting the fence to the house. The gate will be set back approximately 5' further back than the front wall of the house. It will be composed of aluminum and 6' in height. An exhibit depicting the type of gate has been included in the agenda packet. For new construction, the HZC guidelines state that accessory structures related to a building "should be visually compatible with the environmental to which they are related."

The applicant will be in attendance at the meeting in order to answer any questions the Commission may have regarding the request.

May 29, 2020

Murfreesboro Historic Zoning Commission
City of Murfreesboro Planning Department
111 West Vine Street
Murfreesboro, Tennessee 37130

RE: 449 East College Street

Dear Commission,

The enclosed COA requests the addition of a driveway gate to the previously approved perimeter fencing. Our time on the property during construction has exposed a significantly higher amount of foot traffic than expected. A driveway gate will increase the safety of our young children while playing outside. Thank you for your time and consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'THJ', with a horizontal line extending to the right.

Thomas Holden Jennings



Creating a better quality of life

HZC Application Fees	
Certificate of Appropriateness	
HZC Application (Goes to Meeting)	\$150.00
HZC Application (Admin Approval)	\$ 75.00

To initiate a Historic Zoning Commission Application, an applicant must submit the following:

1. A completed HZC Application Certificate of Appropriateness (below).
2. A non-refundable application fee (prices listed above).
3. Meet with HZC Planner about application.

To be completed by applicant: Date: 05-29-20

Owner: Thomas Holden Jennings

Owner's Address: 971 New Salem Hwy, Murfreesboro, TN 37129 Phone: 615-849-2383

Address of Property (if different than above) 449 East College Street, Murfreesboro, TN 37130

Current Use: Single Family New Construction

Describe property / structure (e.g. architectural style, date of construction, condition of structure, history of structure, if known, etc.)

New Construction

Is this a "contributing" structure? Yes X No _____

Is the property or structure listed on the National Register of Historic Places? Yes _____ No X

Check proposed action(s):

____ Alteration ____ Addition ____ Demolition X New Construction

____ Exterior Repairs / Maintenance (No Appearance Changes)

Description of the work to be performed on the property:

Addition of driveway gate to previously approved property line fence.

Provide: Photographs, scaled drawings of the plans, elevations and materials to assist the Commission in deciding

Architect: J. Taylor Designs

Address: 310 Uptown Square, Murfreesboro, TN 37129 Phone: 615-617-6466

Contractor: Self

Address: _____ Phone: _____

Is there an application relevant to this property and the subject of modifications or improvements pending or contemplated before the Board of Zoning Appeals, Planning Commission or City Council?
 Yes No

If yes, please specify: _____

Who will represent the owner at the Historic Zoning Commission meeting?

Note: The representative needs to be present at the meeting to answer questions and should have the authority to commit the owner to make changes suggested or required by the Historic Zoning Commission.

Name: Self Phone: _____

Address: _____

Title or Relationship to Owner: _____

Information:

There will be two inspections **prior** to completion of the Certificate of Appropriateness. One near midway of the project and one at the completion of the project. Call 615-893-6441 at least two working days prior to each the inspection. Upon completing the project, according to the application, the owner will receive a copy of the Certificate of Appropriateness in the mail.

Please complete these forms and submit them to the Planning Department by 3:00 p.m. on the submittal date indicated on the HZC yearly calendar.

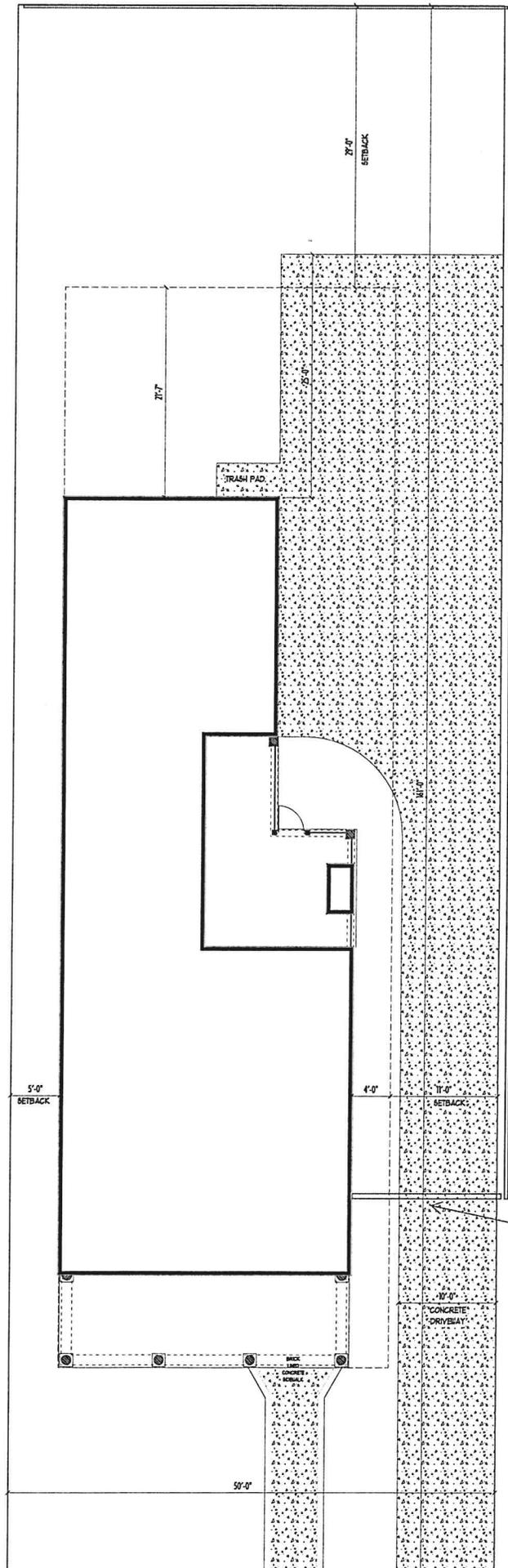
Approvals for Certificates of Appropriateness allow six months to begin construction. If work has not commenced with that timeframe, the approval will be expired.

SIGNATURE OF OWNER: 

SIGNATURE OF AGENT (when applicable): _____

*****For Office Use Only*****

Date received: 6/3/20 Receipt #: 117847 Amt Paid: 150.00 HZC #: 20-H-006

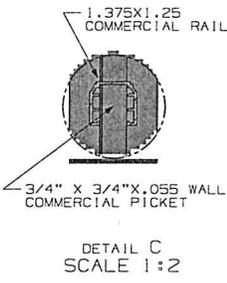
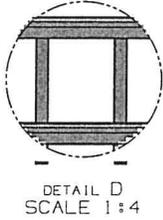
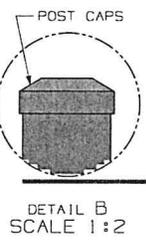
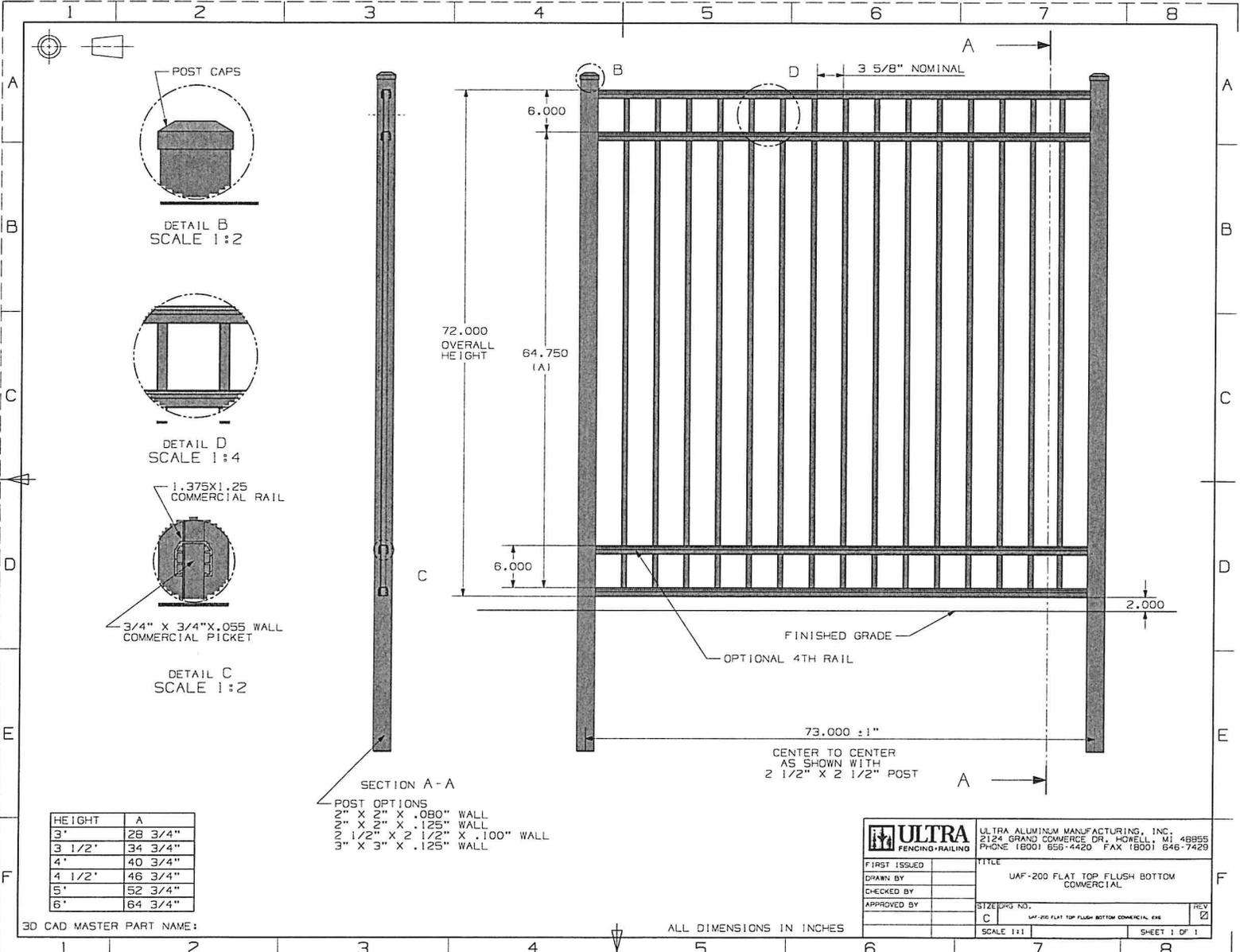


Electric Gate

UAF-200 • Double Leaf Post Mount • Arch: Standard • Post Caps: Flat • Color: White
Features: Flush Bottom
Accents: None



 **ULTRA**
FENCING • RAILING



- SECTION A-A
- POST OPTIONS
- 2" X 2" X .080" WALL
 - 2" X 2" X .125" WALL
 - 2 1/2" X 2 1/2" X .100" WALL
 - 3" X 3" X .125" WALL

HEIGHT	A
3'	28 3/4"
3 1/2'	34 3/4"
4'	40 3/4"
4 1/2'	46 3/4"
5'	52 3/4"
6'	64 3/4"

ULTRA FENCING-RAILING		ULTRA ALUMINUM MANUFACTURING, INC. 2124 GRAND COMMERCE DR., HOWELL, MI 48855 PHONE 1800 656-4420 FAX 1800 646-7429	
FIRST ISSUED		TITLE	
DRAWN BY		UAF-200 FLAT TOP FLUSH BOTTOM COMMERCIAL	
CHECKED BY		SIZE/DWG NO.	UAF-200 FLAT TOP FLUSH BOTTOM COMMERCIAL EYE
APPROVED BY		SCALE 1:1	SHEET 1 OF 1

ALL DIMENSIONS IN INCHES





**City of Murfreesboro
Historic Zoning Commission
Staff Comments
Regular meeting: June 16, 2020**

New Business:

- b. **20-H-004: 451 East College Street, Richard and Vicki Fewell -**
Requesting review of construction of new single-family residence.



This property is located on the north side of East College Street several lots to the west of North Highland Avenue. It contains approximately 0.26 acres. The property is zoned RS-8 (Single-Family Residential District 8) and H-1 (Historic Zoning Overlay District). It is also located in the CCO (City Core Overlay) district. A single-family home was previously located on the subject property. On March 19, 2019, the Historic Zoning Commission (HZC) voted to approve the request to demolish the house at 451 East College Street, and

it has since been torn down. In January of this year, the HZC approved the construction of a new single-family dwelling on the lot directly to the west. Photographs of the subject property, the property directly to the west, and the surrounding homes are included below.

The new property owner is now proposing to construct a new single-family dwelling on the now vacant parcel of property. The structure will be set back from the front property line 20', which is consistent with the building setbacks for both the existing structure to the east and the structure to the west, which is currently under construction. The total living area of the proposed two-story home is 3,569 square-feet. In addition, there will also be unconditioned 2nd floor storage space, porches, a two-car garage, and a storage building to the rear of the home. The storage building will not be visible from the public right-of-way and the details of its construction have not been included in the application because its plans have not yet been finalized.

The driveway will be located along the west property line and will terminate at a courtyard-style garage in front of the main area of the house. In addition, there will be a parking area in front of the house perpendicular to the driveway. A 6' wood privacy fence is proposed around the back yard. The applicant has provided brochures of the proposed exterior design and materials including exterior finishes, including roofing, brick, siding, doors, garage doors, windows, gutters/downspouts, lighting, fencing, and driveway and parking details.

The applicants will be in attendance at the meeting in order to answer any questions the Commission may have.



The subject property at 451 East College Street (currently a vacant lot)



Triplex at 443 East College Street two doors to the west of the subject property



House under construction at 449 East College Street directly to the west of the subject property



House under construction at 449 East College Street directly to the west of the subject property



Triplex at 457-461 East College Street directly to the east of the subject property



House at 467 East College Street at the northeast corner of Highland and College two doors to the east of the subject property



Side view of house at 125 North Highland Avenue at the southwest corner of Highland and College



Duplex at 448-450 East College Street across the street from the subject property



House at 444 East College Street across the street from the subject property



House at 442 East College Street across the street to the southwest of the subject property



Creating a better quality of life

HZC Application Fees Certificate of Appropriateness	
HZC Application (Goes to Meeting)	\$150.00
HZC Application (Admin Approval)	\$ 75.00

To initiate a Historic Zoning Commission Application, an applicant must submit the following:

1. A completed HZC Application Certificate of Appropriateness (below).
2. A non-refundable application fee (prices listed above).
3. Meet with HZC Planner about application.

To be completed by applicant:

Date: 4/28/2020

Owner: Richard and Vicki Fewell

Owner's Address: 113 Fairways Blvd., Tullahoma, TN 37388 Phone: (931) 607-0043

Address of Property (if different than above) 451 East College St., Murfreesboro, TN 37130

Current Use: Vacant lot

Describe property / structure (e.g. architectural style, date of construction, condition of structure, history of structure, if known, etc.)

Vacant lot - Not applicable

Is this a "contributing" structure? Yes No

Is the property or structure listed on the National Register of Historic Places? Yes No

Check proposed action(s):

Alteration Addition Demolition New Construction
 Exterior Repairs / Maintenance (No Appearance Changes)

Description of the work to be performed on the property:

Construction of new residence

Provide: Photographs, scaled drawings of the plans, elevations and materials to assist the Commission in deciding

Architect: J. Terry Bates & Assoc., Inc

Address: 1705 19th Ave. So., Nashville, TN 37212 Phone: (615) 298-2288

Contractor: Mullins Watson Builders LLC

Address: P.O. Box 11467, Murfreesboro, TN 37129 Phone: (615) 898-1086

Is there an application relevant to this property and the subject of modifications or improvements pending or contemplated before the Board of Zoning Appeals, Planning Commission or City Council?

 Yes X No

If yes, please specify: _____

Who will represent the owner at the Historic Zoning Commission meeting?

Note: The representative needs to be present at the meeting to answer questions and should have the authority to commit the owner to make changes suggested or required by the Historic Zoning Commission.

Name: Terry Bates Phone: (615) 298-2288

Address: 1705 19th Ave. So., Nashville, TN 37212

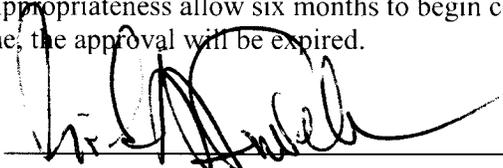
Title or Relationship to Owner: Architect

Information:

There will be two inspections **prior** to completion of the Certificate of Appropriateness. One near midway of the project and one at the completion of the project. Call 615-893-6441 at least two working days prior to each the inspection. Upon completing the project, according to the application, the owner will receive a copy of the Certificate of Appropriateness in the mail.

Please complete these forms and submit them to the Planning Department by 3:00 p.m. on the submittal date indicated on the HZC yearly calendar.

Approvals for Certificates of Appropriateness allow six months to begin construction. If work has not commenced with that timeframe, the approval will be expired.

SIGNATURE OF OWNER: 

SIGNATURE OF AGENT (when applicable): _____

******For Office Use Only******

Date received: _____ Receipt #: _____ Amt Paid: _____ HZC #: _____

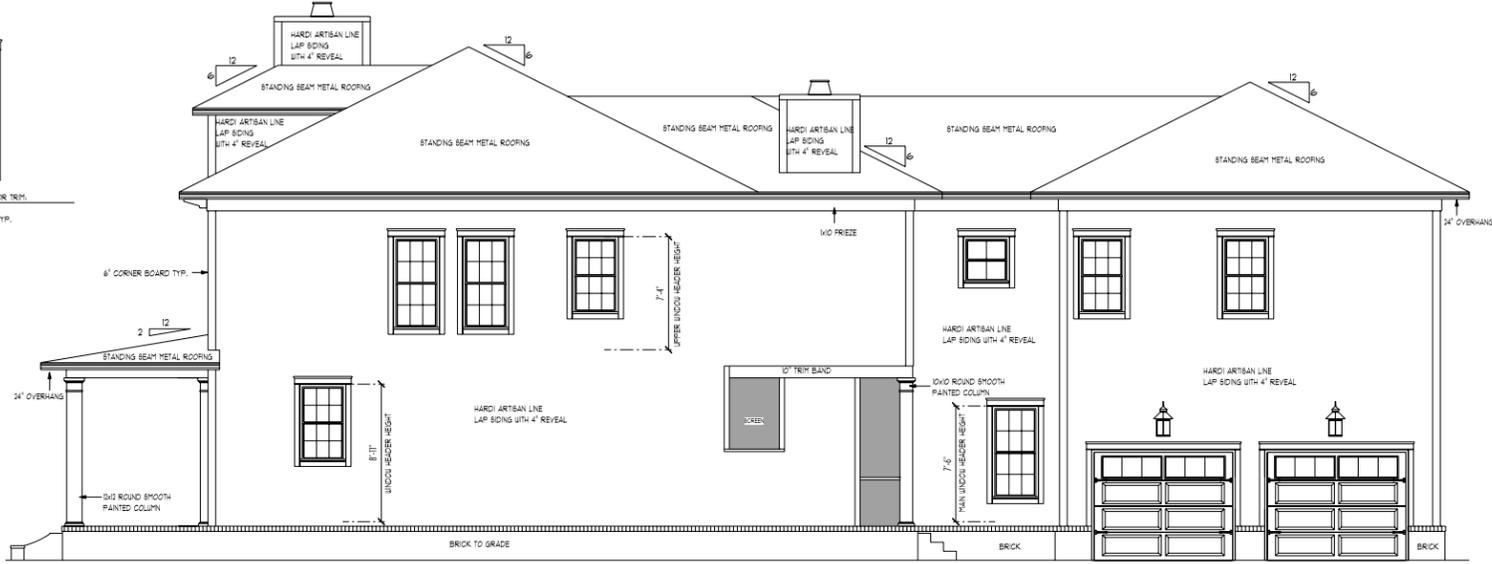
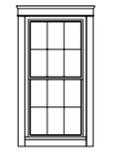
Elevations for Jennings House Under Construction Next Door at 449 East College Street

HEATED SQUARE FOOTAGE:
 MAIN HEATED = 1330
 UPPER HEATED = 1941
 TOTAL HEATED = 3271

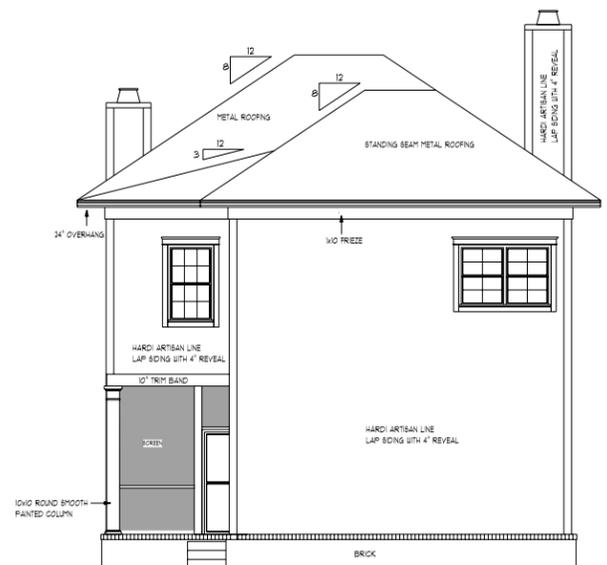
FOOTPRINT SQUARE FOOTAGE FOR LOT COVERAGE = 2312



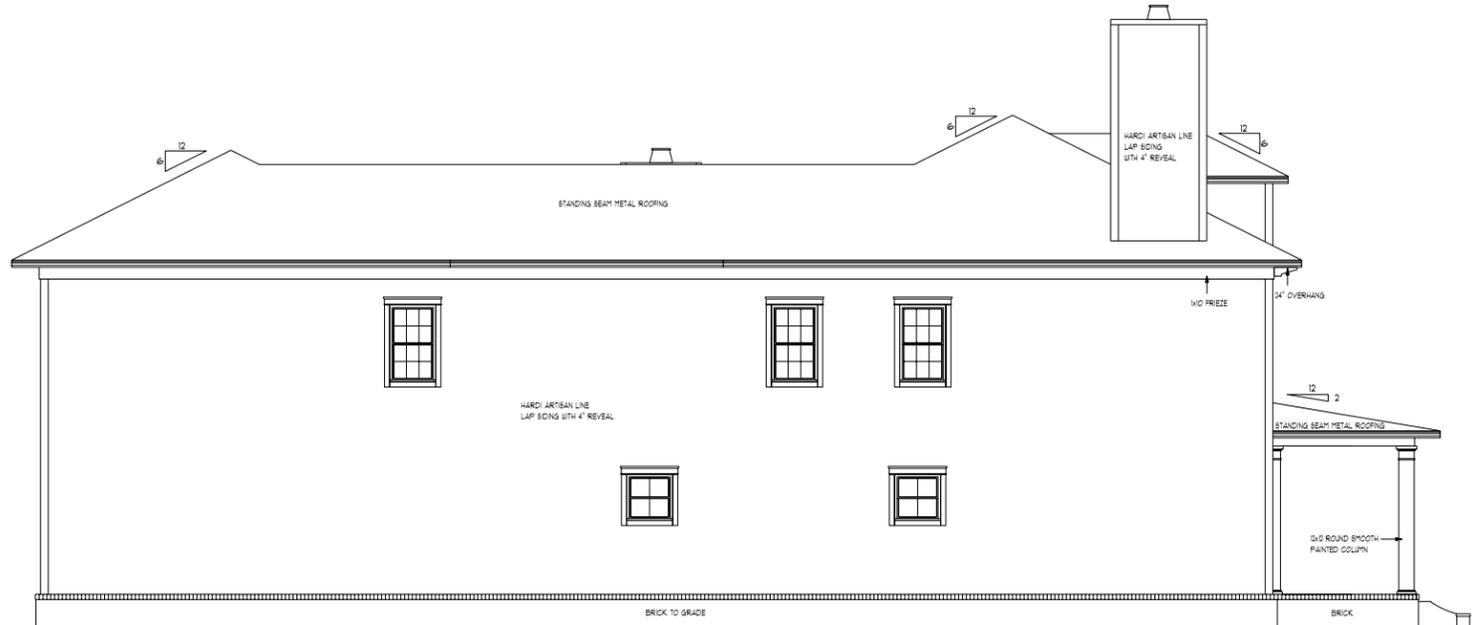
call: 615.542.4675
 web: jtaylordesigns.net



RIGHT ELEVATIONS
 SCALE : 3/4" = 1'0"



REAR ELEVATIONS
 SCALE : 3/4" = 1'0"



LEFT ELEVATIONS
 SCALE : 3/4" = 1'0"

RELATED ITEMS ARE, AND WILL REMAIN THE PROPERTY OF J-TAYLOR DESIGNS. THE CLIENTS RIGHT IS CONDITIONAL AND LIMITED TO A ONE TIME USE. PLANS MAY NOT BE SOLD, LOANED, OR GIVEN TO OTHERS FOR THE PURPOSE OF CONSTRUCTING ANOTHER PROJECT. POSSESSION OF PLANS DOES NOT AUTHORIZE CONTINUED USE FOR CONSTRUCTION OF OTHER PROJECTS. REPRODUCTION IN ANY MANNER IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ORIGINAL DESIGNER. CONTRACTOR SHALL VERIFY ALL LOCAL CODES, CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JAMIE TAYLOR FOR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED. J-TAYLOR DESIGNS ASSUMES NO LIABILITY FOR ANY HOME CONSTRUCTED.

REVISION	DATE

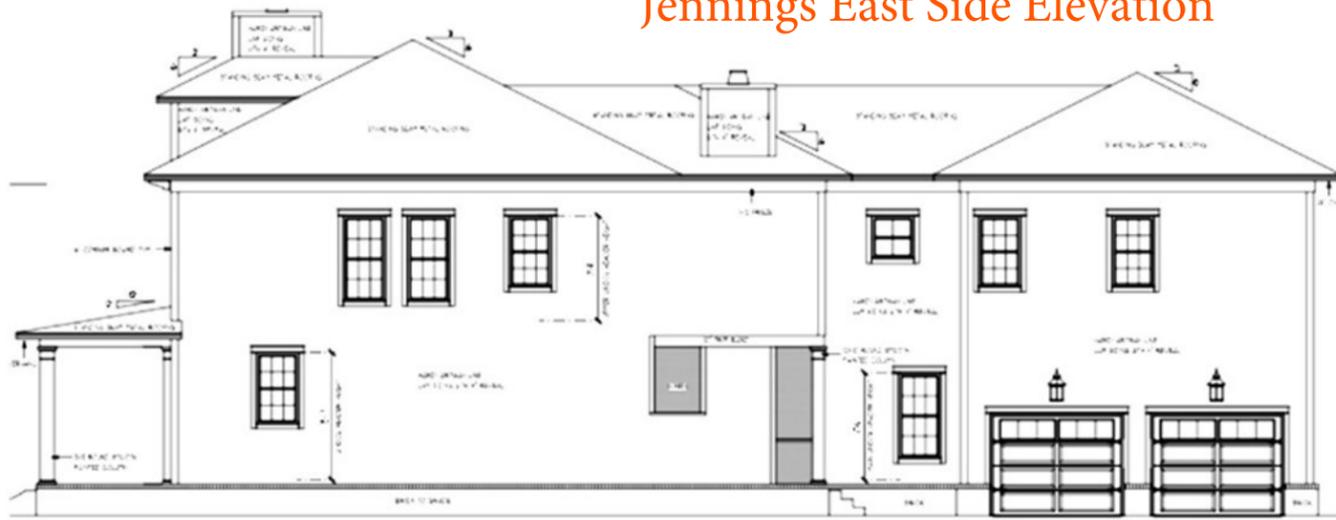
EXTERIOR ELEVATIONS
Jennings Residence

DATE APPROVED:
 SHEET SIZE: 24 X 36
 SCALE: 1/4" = 1'-0"
 (UNLESS NOTED)

SHEET: **1** OF 6



Jennings East Side Elevation



Jennings Front

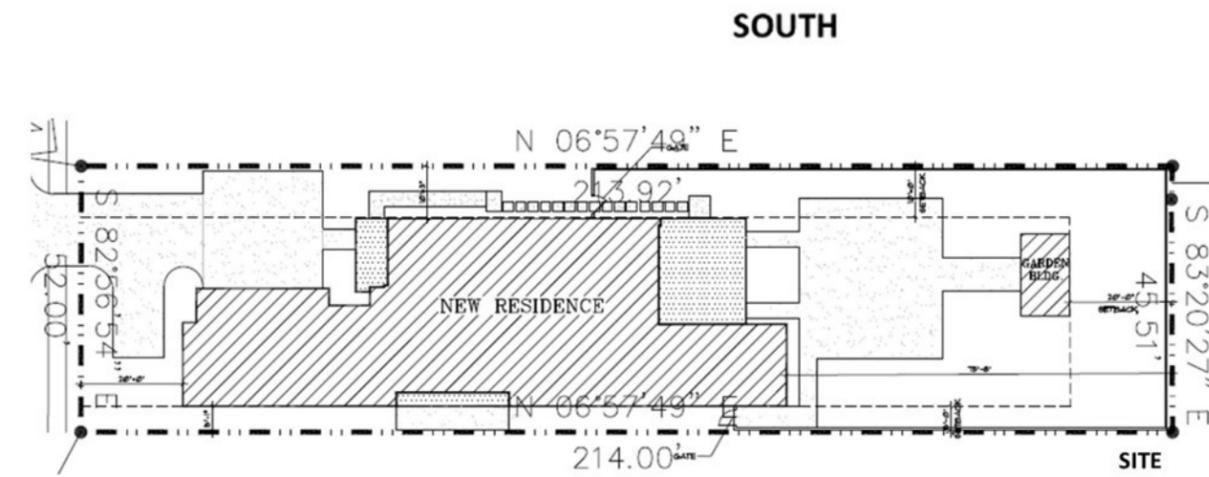


Fewell Front



SOUTH

WEST



SOUTH

SITE



EAST



NORTH



FEWELL RESIDENCE

451 EAST COLLEGE STREET, MURFREESBORO, TN

J. TERRY BATES & ASSOCIATES, INC.

ARCHITECTS & PLANNERS

NASHVILLE, TENNESSEE

HZC REVIEW SET

29 MAY 2020

GENERAL NOTES

1. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL STATE AND LOCAL CODES.
2. THESE DRAWINGS AND ALL COPYRIGHT PRIVILEGES ARE THE PROPERTY OF THE ARCHITECT. UNAUTHORIZED USE OF THESE DRAWINGS SHALL BE SUBJECT TO PROSECUTION.
3. THE ARCHITECT SHALL BE CONSULTED PRIOR TO DEVIATION FROM THESE PLANS.
4. CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF DRAWINGS ON JOB SITE AT ALL TIMES WORK IS IN PROGRESS.
5. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT AND/OR OWNER BEFORE CONTINUING WITH CONSTRUCTION.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE ALL TRADES.
7. CONTRACTOR SHALL VERIFY ALL APPLIANCE LOCATIONS AND DIMENSIONS OF ALL APPLIANCES.
8. THE CONTRACTOR SHALL PROVIDE ADDITIONAL STRUCTURE AS REQUIRED TO SUPPORT APPLIANCES AND/OR MISCELLANEOUS ITEMS, I.E. - CASEWORK, CABINETS, TUBS, ETC.
9. ALL EXTERIOR MATERIALS AND FINISHES INCLUDING COLORS, SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO INSTALLATION.
10. GUTTERS, SCUPPERS AND DOWNSPOUTS ARE SIZED AND LOCATED FOR DESIGN PURPOSES ONLY. CONTRACTOR IS TO VERIFY THAT GUTTER, SCUPPERS AND DOWNSPOUT SIZES MEET ALL CODES. CONTRACTOR IS TO COORDINATE W/ ARCHITECT ANY CHANGES IN SIZE AND/OR LOCATION OR ADDITIONAL DOWNSPOUTS.

PROJECT TEAM

ARCHITECT
 J. TERRY BATES & ASSOCIATES, INC.
 1705 19TH AVENUE SOUTH
 NASHVILLE, TN 37212
 CONTACT: TERRY BATES / SUSAN WALLACE
 (615) 298-2288

CONTRACTOR
 MULLINS WATSON BUILDERS, LLC
 P.O. BOX 11467
 MURFREESBORO, TN 37129
 CONTACT: CHUCK MULLINS
 (615) 898-1086

SQUARE FOOTAGE

	CONDITIONED	UNCONDITIONED	
FIRST FLOOR	2,548.01		
GARAGE		622.70	
COVERED PORCHES		497.53	
SECOND FLOOR	1,021.87		
SECOND FLR. STO.		388.79	
GARDEN STORAGE		149.33	
			TOTAL UNDER ROOF
TOTAL	3,569.88	1,658.35	5,228.23

DRAWING INDEX

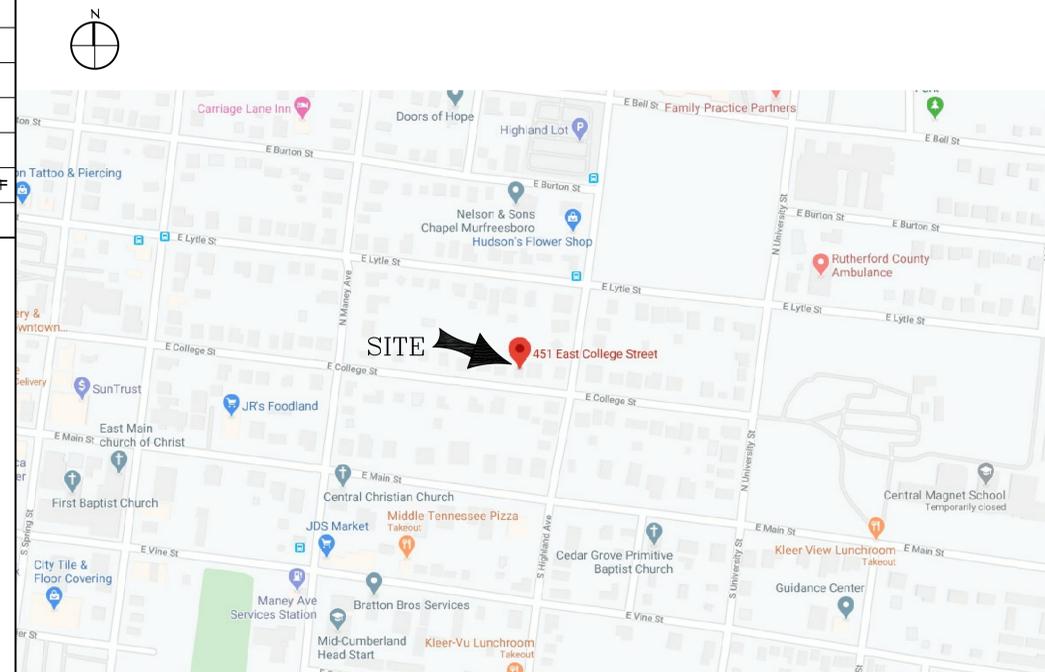
GENERAL

A0.00 INDEX SHEET

ARCHITECTURAL

A1.00 FOUNDATION PLAN
 A1.01 FIRST FLOOR PLAN
 A1.02 SECOND FLOOR PLAN
 A1.21 ROOF PLAN
 A2.01 EXTERIOR ELEVATION
 A2.02 EXTERIOR ELEVATIONS
 A3.21 WALL SECTION
 A3.22 WALL SECTION
 A3.23 WALL SECTION
 A5.01 RCP FIRST FLOOR PLAN
 A5.02 RCP SECOND FLOOR PLAN
 A6.01 DOOR & WINDOW SCHEDULE
 F1.01 FLOOR FINISH PLAN FIRST FLOOR
 F1.02 FLOOR FINISH PLAN SECOND FLOOR

VICINITY MAP



J. TERRY BATES & ASSOCIATES, INC.
 ARCHITECTS & PLANNERS

1705 19TH AVENUE SOUTH
 NASHVILLE, TENNESSEE 37212
 615-298-2288

FEWELL RESIDENCE
 451 EAST COLLEGE STREET
 MURFREESBORO, TENNESSEE

DRAWN BY:
 CHECKED BY:
 DATE: 29 MAY 2020
 REVISIONS:

HISTORICAL ZONING
 COMMISSION REVIEW

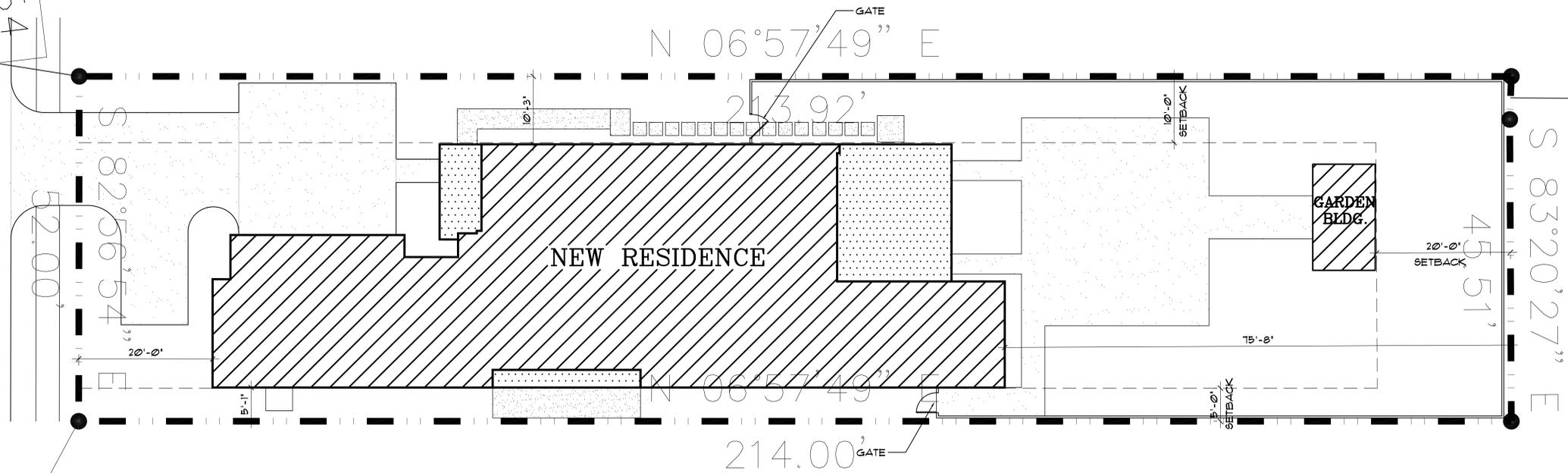
DRAWING NO.

A0.00

INDEX SHEET

N:550978.64
E:1854585.56

N:550972.26
E:1854637.17



NOTE:
SITE INFORMATION IS TAKEN FROM DATA SUPPLIED BY DAN PARKER LAND SURVEYING ON A DRAWING DATED 12/22/2019. J. TERRY BATES AND ASSOCIATES, INC. SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THIS INFORMATION.

SITE INFORMATION	
25 ACRE (1,119,63 SQ. FT.)	
LOT COVERAGE CALCULATIONS	
PRINCIPAL BUILDING	3,668.24 SQ. FT.
GARDEN BUILDING	149.33 SQ. FT.
TOTAL	3,817.57 SQ. FT.
34.33% COVERAGE ON 1,119,63 SQ. FT.	



SITE PLAN
SCALE: 1/8" = 1'-0"

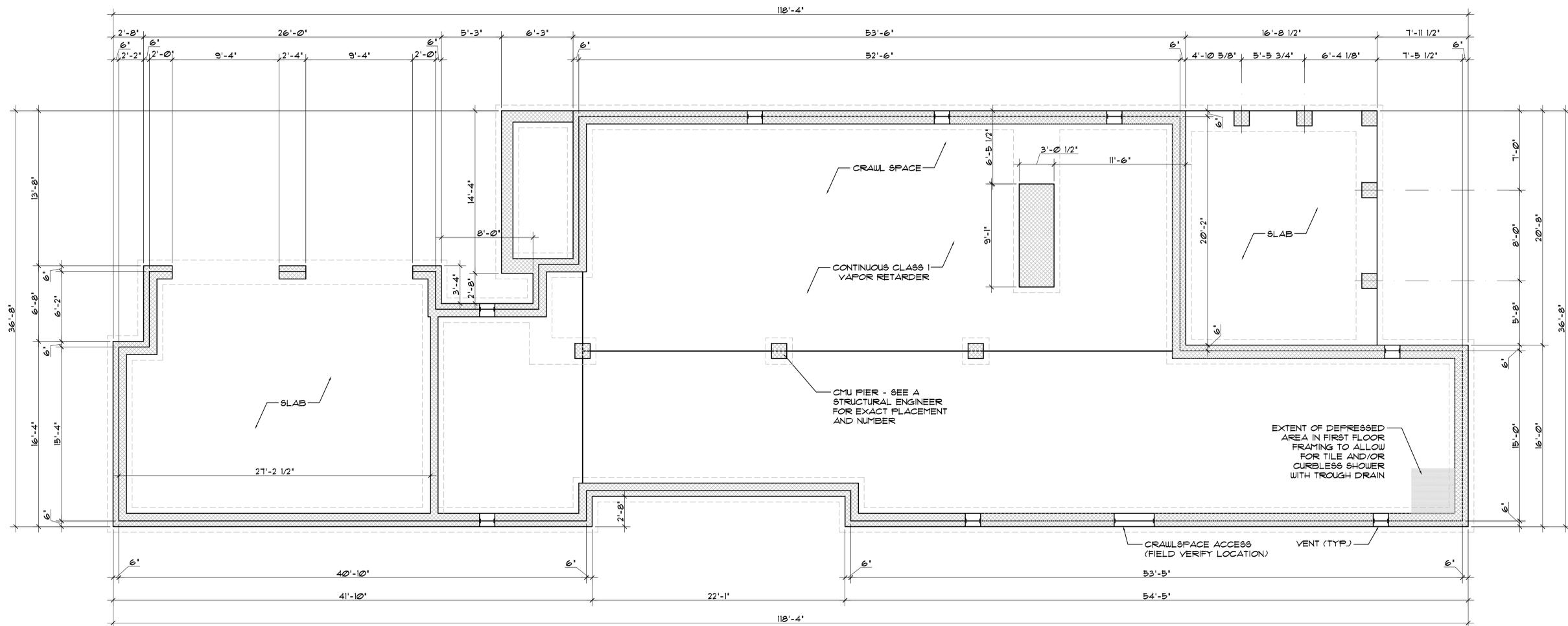
J. TERRY BATES & ASSOCIATES, INC.
ARCHITECTS PLANNERS
1705 19TH AVENUE SOUTH
NASHVILLE, TENNESSEE 37212
615.298.7288

FEWELL RESIDENCE
451 EAST COLLEGE STREET
MURFREESBORO, TENNESSEE

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DRAWING NO.
AS1.01
SITE PLAN



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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FEWELL RESIDENCE
451 EAST COLLEGE STREET
MURFREESBORO, TENNESSEE

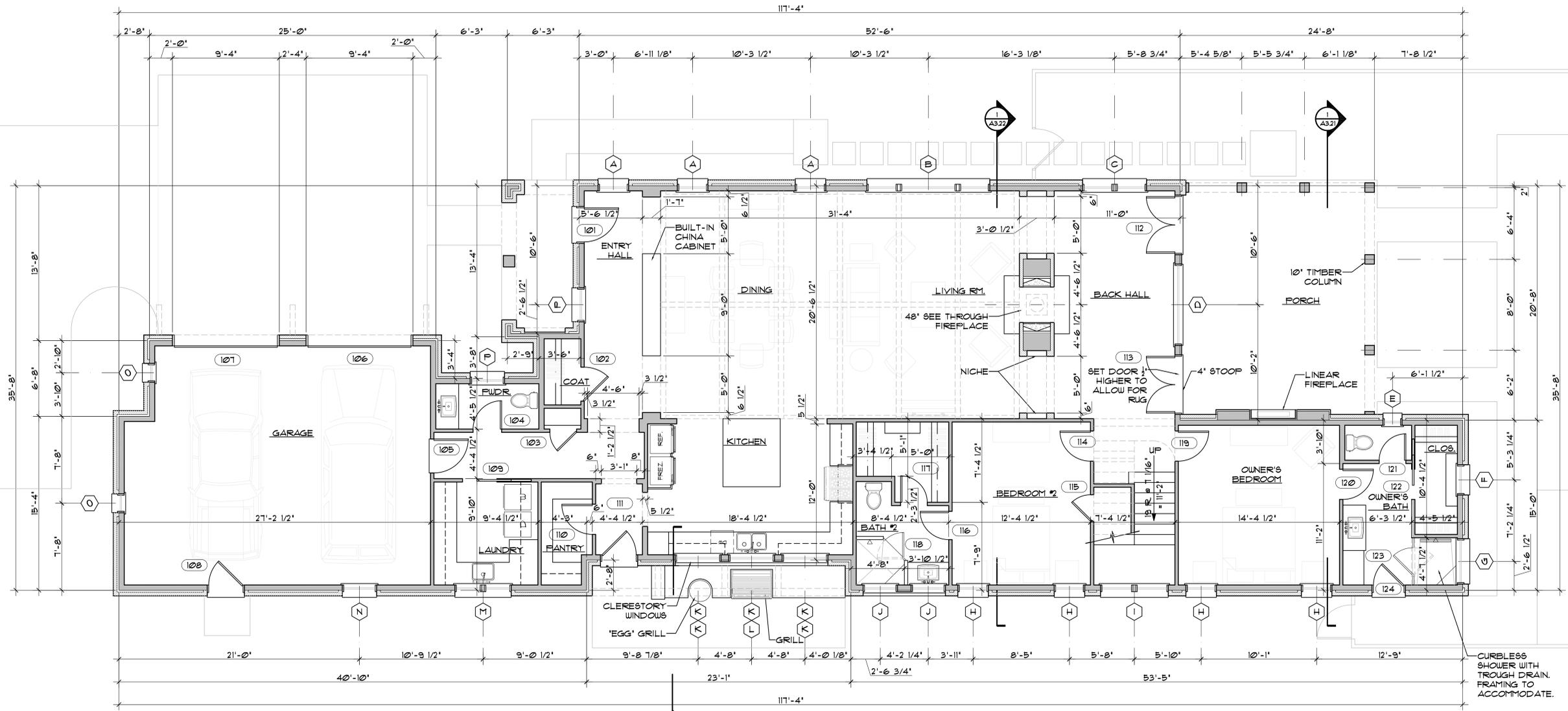
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A1.00

LOWER LEVEL
PLAN



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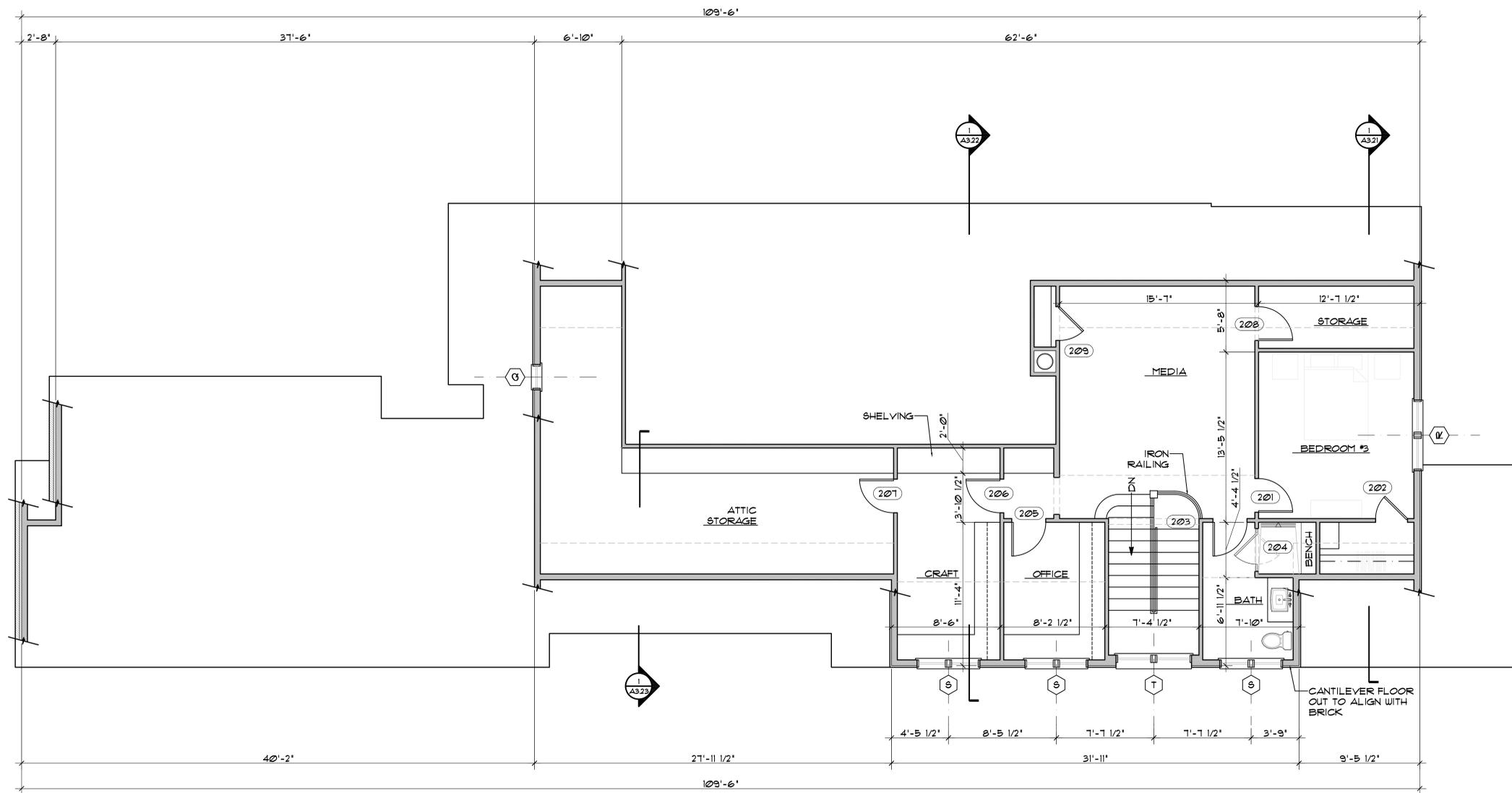
A1.01

FIRST FLOOR
 PLAN

FIRST FLOOR
 SCALE: 1/4" = 1'-0"



CURBLESS
 SHOWER WITH
 TROUGH DRAIN.
 FRAMING TO
 ACCOMMODATE.



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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 1705 19TH AVENUE SOUTH
 NASHVILLE, TENNESSEE 37212
 615-298-7288

FEWELL RESIDENCE
 451 EAST COLLEGE STREET
 MURFREESBORO, TENNESSEE

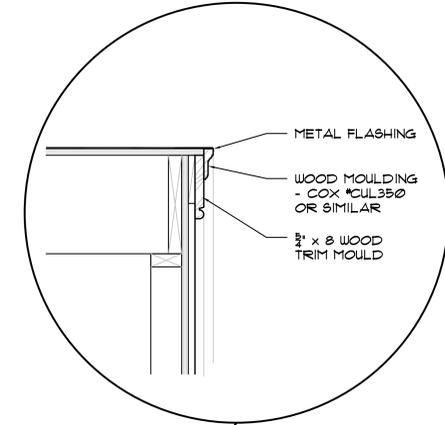
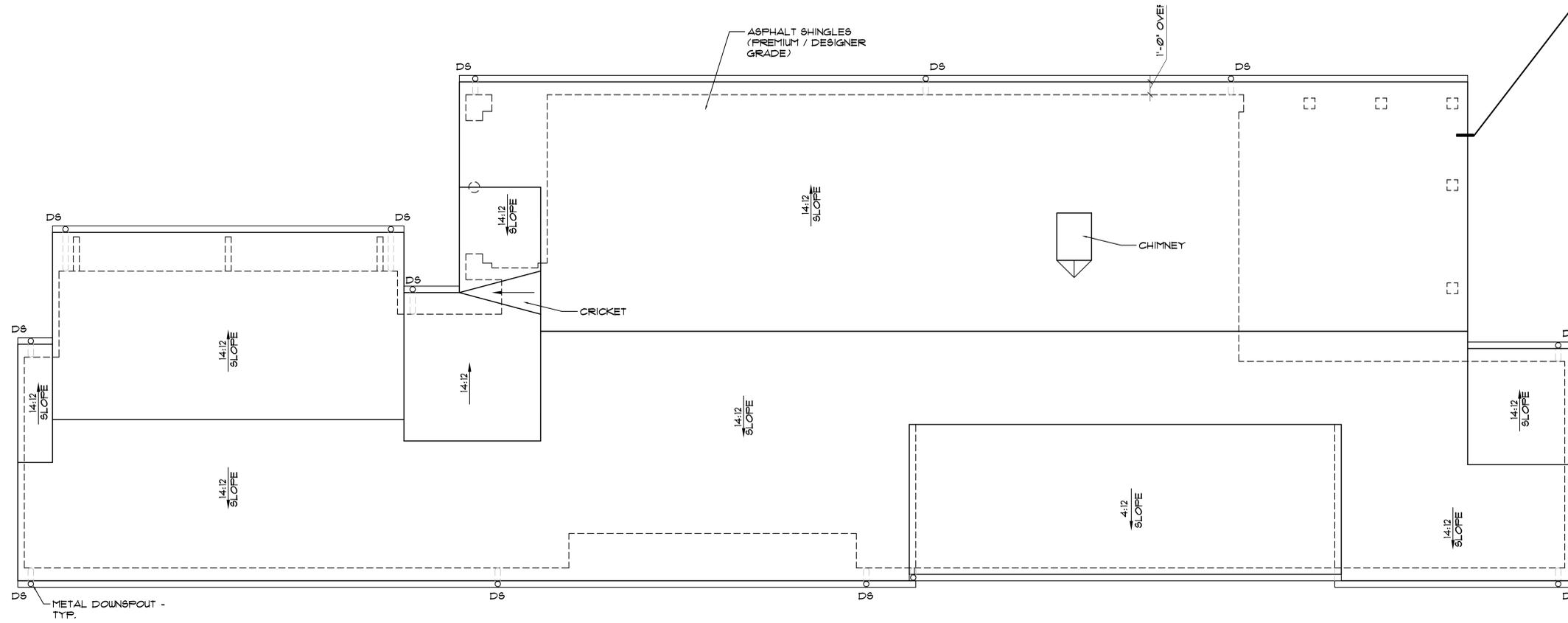
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A1.02

SECOND FLOOR
 PLAN



ROOF PLAN
SCALE: 1/4" = 1'-0"

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NASHVILLE, TENNESSEE 37212
615-298-7288

FEWELL RESIDENCE
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MURFREESBORO, TENNESSEE

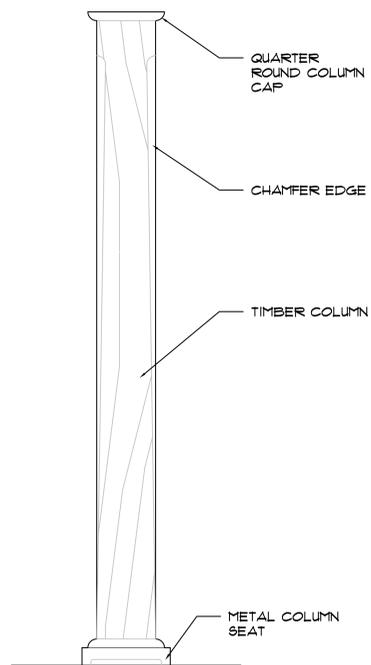
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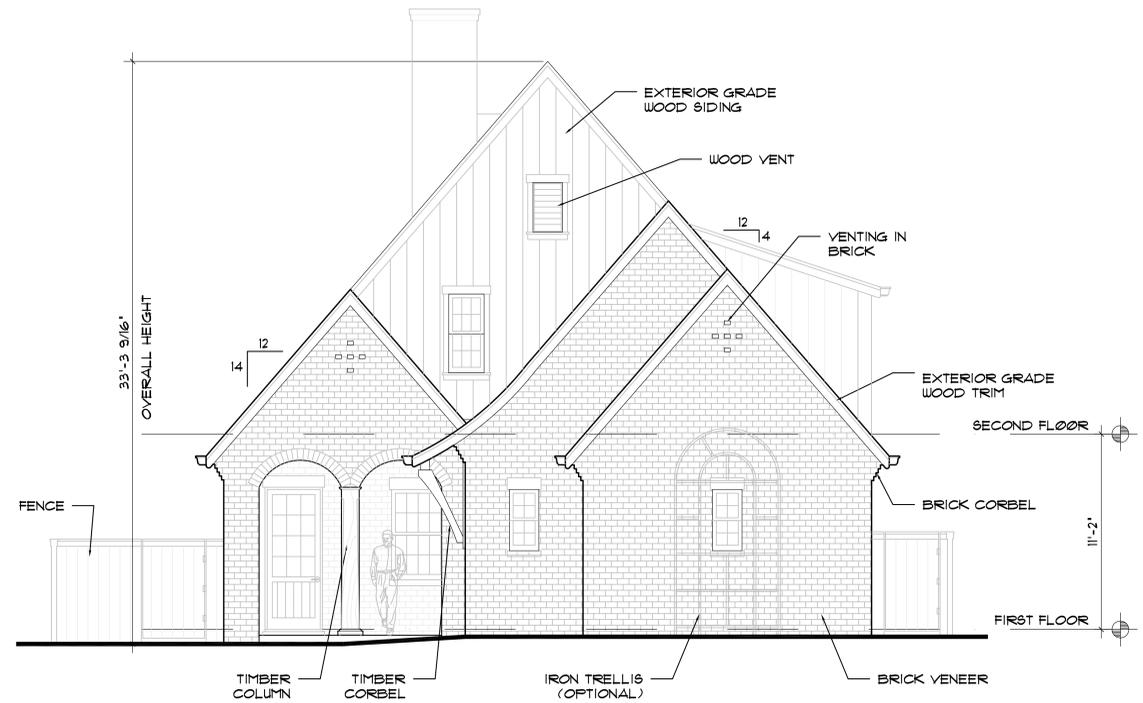
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A1.21

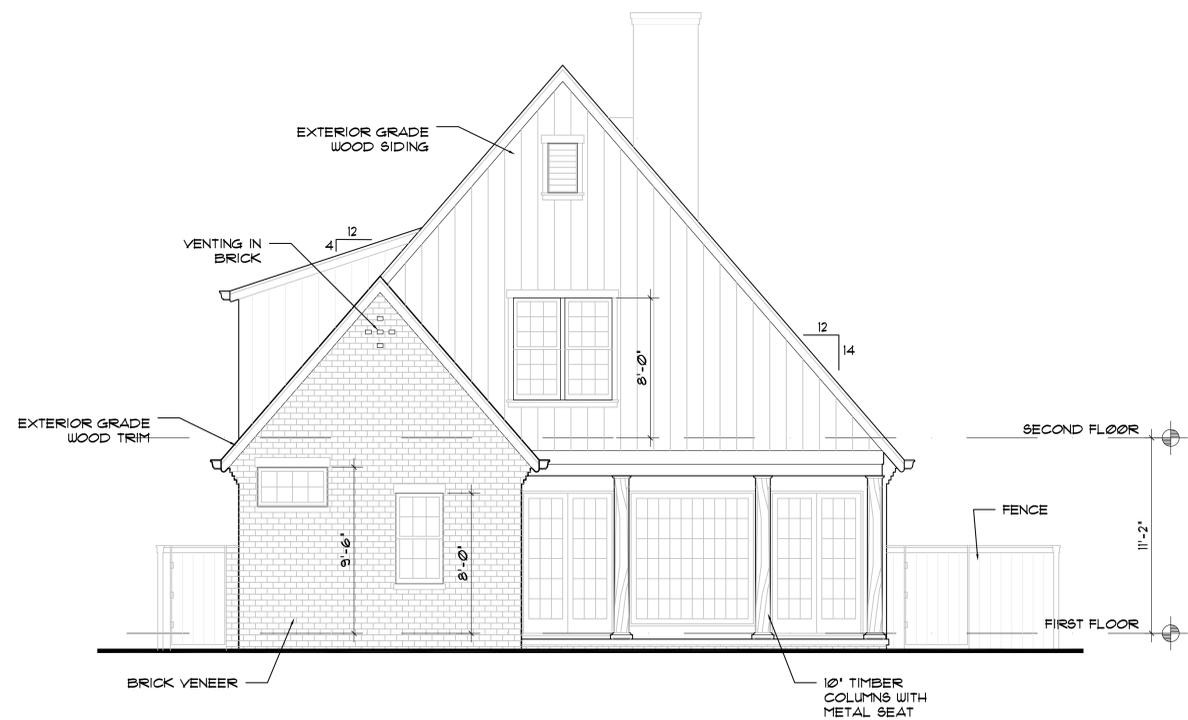
ROOF PLAN
1/4" SCALE PLAN



1 DETAIL COLUMN
SCALE: 1" = 1'-0"



1 ELEVATION FRONT (SOUTH)
SCALE: 1/4" = 1'-0"



2 ELEVATION REAR (NORTH)
SCALE: 1/4" = 1'-0"

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ARCHITECTS PLANNERS
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NASHVILLE, TENNESSEE 37212
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FEWELL RESIDENCE
451 EAST COLLEGE STREET
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A2.01

EXTERIOR ELEVATIONS



1 ELEVATION SIDE (EAST)
SCALE: 1/4" = 1'-0"



2 ELEVATION SIDE (WEST)
SCALE: 1/4" = 1'-0"

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ARCHITECTS PLANNERS
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NASHVILLE, TENNESSEE 37212
615-298-7288

FEWELL RESIDENCE
451 EAST COLLEGE STREET
MURFREESBORO, TENNESSEE

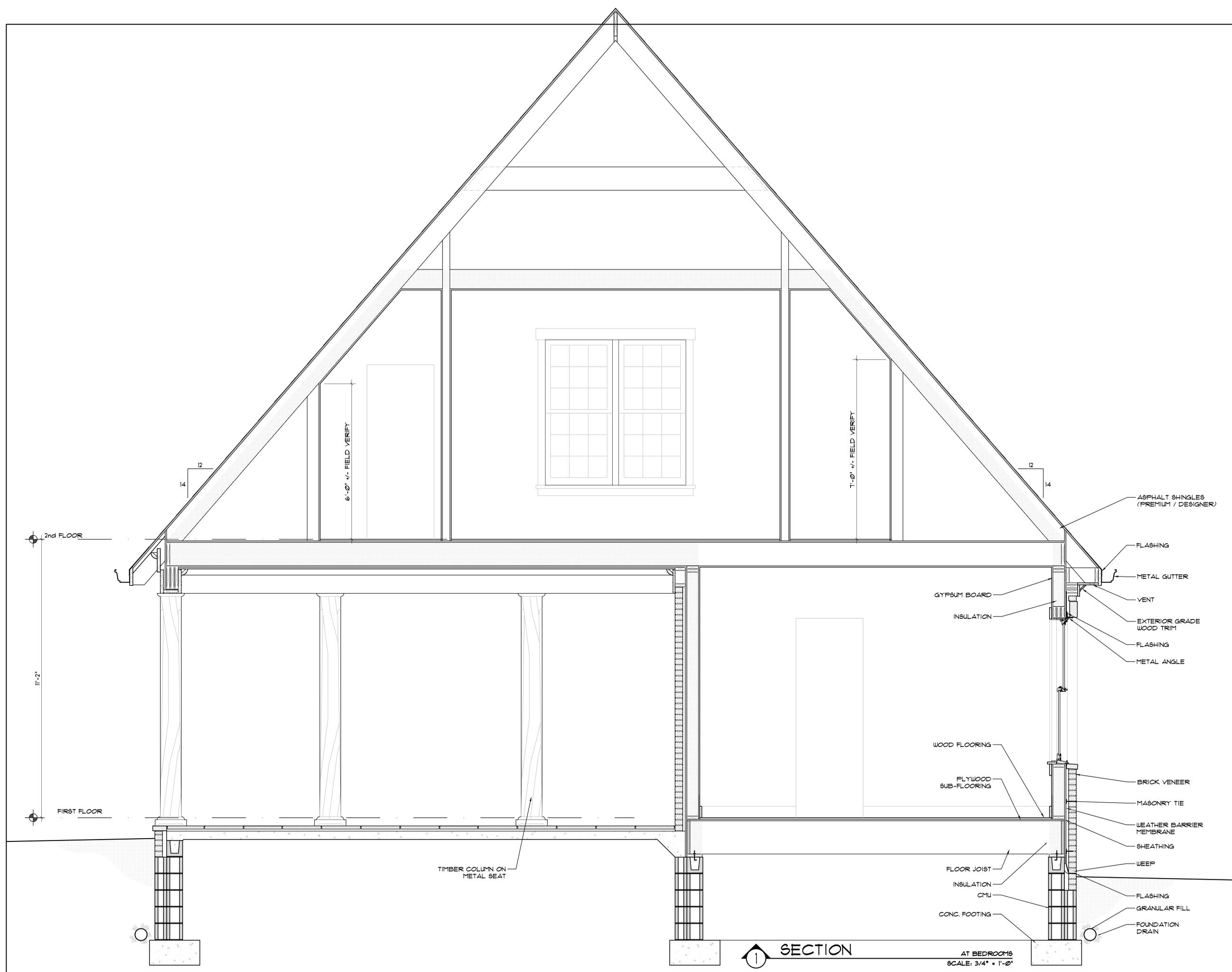
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A2.02

EXTERIOR
ELEVATIONS



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FEWELL RESIDENCE
 451 EAST COLLEGE STREET
 MURFREESBORO, TENNESSEE

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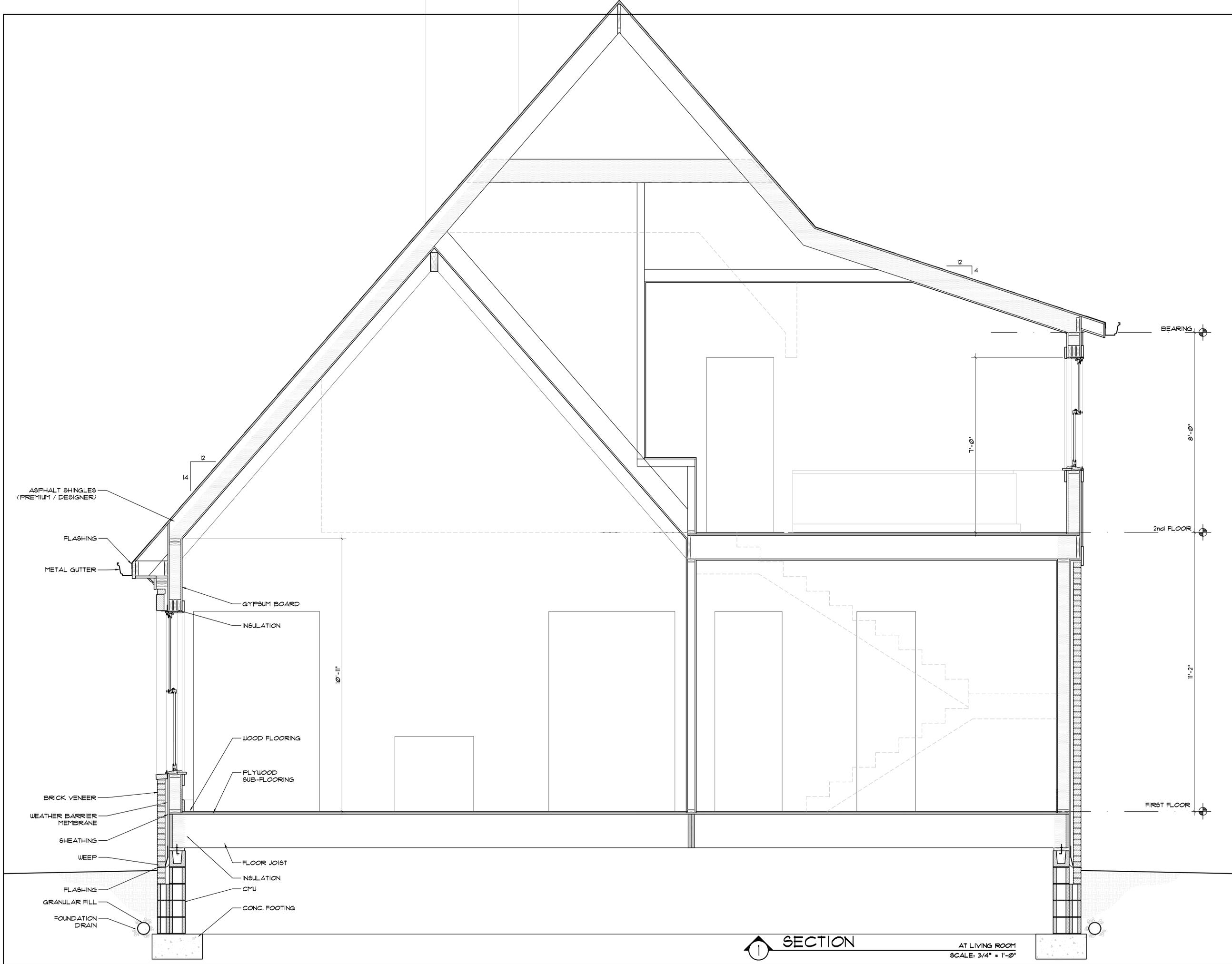
DRAWING NO.

A3.21

WALL SECTIONS

SECTION

AT BEDROOMS
 SCALE: 3/4" = 1'-0"



J. TERRY BATES & ASSOCIATES, INC
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 1705 19TH AVENUE SOUTH
 NASHVILLE, TENNESSEE 37212
 615-298-7288

FEWELL RESIDENCE
 451 EAST COLLEGE STREET
 MURFREESBORO, TENNESSEE

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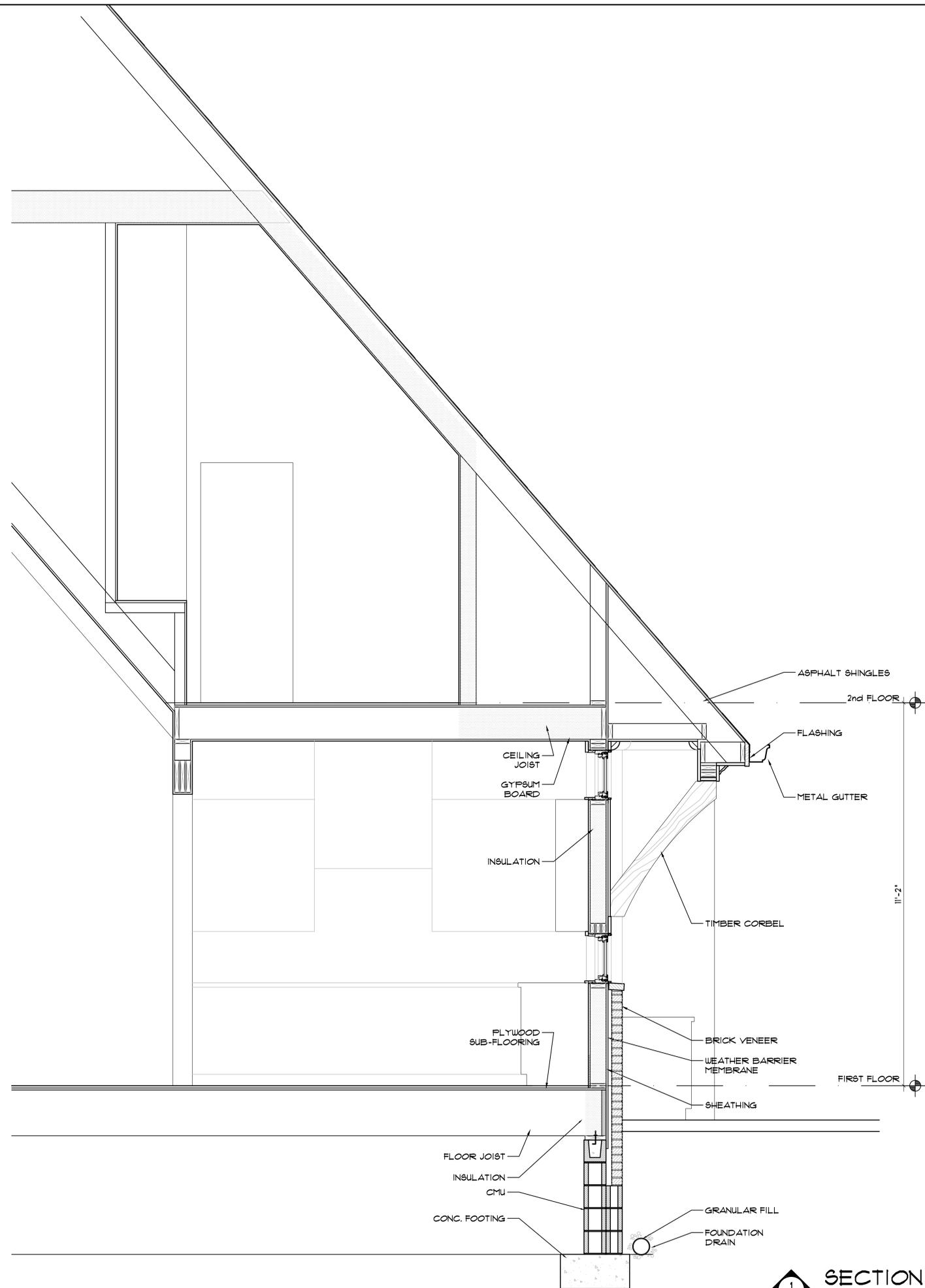
HISTORICAL ZONING
 COMMISSION REVIEW

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A3.22

WALL SECTIONS

SECTION 1
 AT LIVING ROOM
 SCALE: 3/4" = 1'-0"



1 SECTION

AT KITCHEN
SCALE: 3/4" = 1'-0"

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NASHVILLE, TENNESSEE 37212
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MURFREESBORO, TENNESSEE

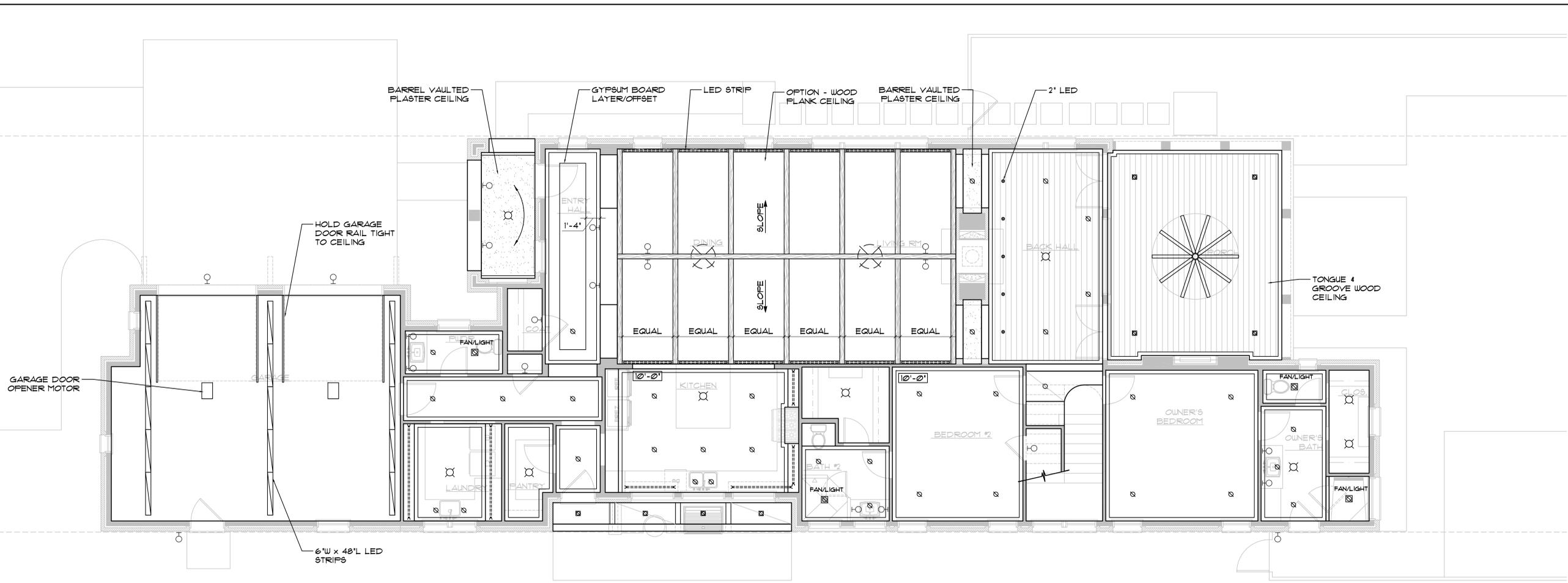
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COMMISSION REVIEW

DRAWING NO.

A3.23

WALL SECTION



REFLECTED CEILING PLAN &
ELECTRICAL - FIRST FLOOR
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS

	DUPLEX OUTLET		SQUARE RECESSED CAN
	OUTLET W/MOUNTING HEIGHT		5' RECESSED CAN
	QUADRUPLEX OUTLET		5' LOW VOLTAGE RECESSED CAN
	DUPLEX OUTLET - SPLIT WIRE		WALL WASHER
	RANGE OUTLET		SURFACE MOUNTED FIXTURE
	GROUND FAULT OUTLET		PENDANT MOUNTED FIXTURE
	WATERPROOF DUPLEX OUTLET		FAN
	FLOOR MOUNTED DUPLEX OUTLET		SURFACE MOUNTED FLUORESCENT FIXTURE
	CLOCK PLUG		UNDERCABINET LIGHT
	TELEVISION OUTLET		TRACK LIGHTING
	COMPUTER TERMINAL		TRACK RAIL
	TELEPHONE OUTLET		RECESSED LED LIGHT BOX
	FLOOR MOUNTED TELEPHONE OUTLET		LED TAPE FIXTURE
	SWITCH		EXHAUST FAN/LIGHT COMBO
	SWITCH W/ DIMMER		WALL MOUNTED FIXTURE
	3-WAY SWITCH		LED FLOOR SPOT
	SWITCH FOR LANDSCAPE LIGHTING		UPLIGHTS
	WALL EXHAUST FAN		RECESSED STEP LIGHT
	GARBAGE DISPOSAL		
	MOTION SENSOR		
	SMOKE DETECTOR - WALL		
	SMOKE DETECTOR - CEILING		

ELECTRICAL NOTES

- NOTES:**
1. ELECTRICAL PLANS ARE FOR PREFERRED LOCATION OF OUTLETS AND FIXTURES. ELECTRICAL CONTRACTOR IS TO ABIDE BY STATE AND LOCAL CODES FOR EXACT NUMBER OF OUTLETS AND FIXTURES.
 2. FIELD MARK LOCATIONS OF ALL OUTLETS, LIGHTS, THERMOSTATS, SECURITY CONTROLS, AUDIO CONTROLS, ETC. FOR APPROVAL BY OWNER, ARCHITECT, AND INTERIOR DESIGNER PRIOR TO INSTALLATION.
 3. DECORATIVE FIXTURES TO BE SELECTED BY ARCHITECT, OWNER OR INTERIOR DESIGNER.
 4. AT LOCATIONS WHERE OUTLETS ARE SHOWN TO BE SWITCHED, ONLY THE BOTTOM HALF IS TO BE SWITCHED UNLESS NOTED OTHERWISE.
 5. STYLE AND COLOR OF SWITCHES, PLUGS, AND PLATES TO BE SELECTED BY ARCHITECT, OWNER OR INTERIOR DESIGNER.
 6. OBTAIN POWER REQUIREMENTS FOR MECHANICAL, SECURITY, SPRINKLERS, POOL EQUIPMENT, ETC. FROM PERSPECTIVE CONSULTANTS AND/OR SUB-CONTRACTORS.
 7. COORDINATE LOCATION OF LIGHTING FIXTURES WITH REFLECTED CEILING PLAN.
 8. FLOOR MOUNTED OUTLETS ARE TO BE INSTALLED FLUSH WITH FINISHED FLOOR.
 9. ALL SWITCHES TO BE MOUNTED WITH BOTTOM OF THE SWITCH PLATE 46" ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.
 10. SWITCHING THAT IS SHOWN IS FOR PREFERRED LOCATION ONLY. SWITCHING IS TO BE COORDINATED WITH THE ELECTRICIAN, LIGHTING CONSULTANT, ARCHITECT, AND OWNER.

MATERIAL LEGEND

	GYPSUM BOARD		PLASTER
	WOOD		STUCCO
	WOOD PLANKING		

J. TERRY BATES & ASSOCIATES, INC
ARCHITECTS & PLANNERS
1705 19TH AVENUE SOUTH
NASHVILLE, TENNESSEE 37212
615-298-7228

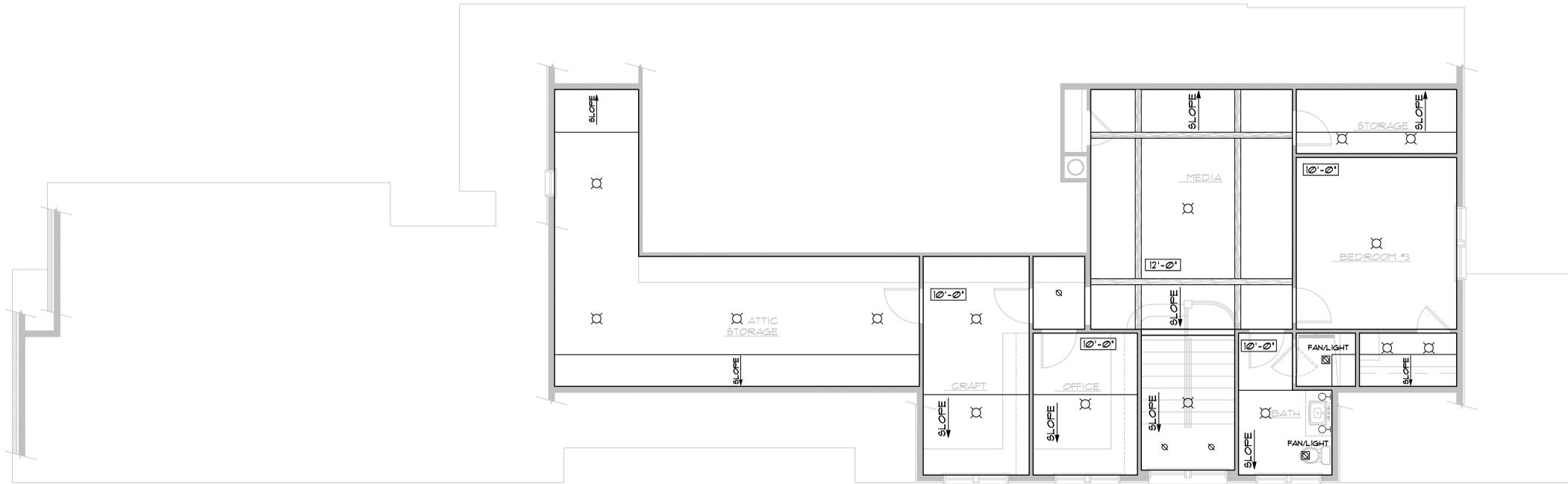
FEWELL RESIDENCE
451 EAST COLLEGE STREET
MURFREESBORO, TENNESSEE

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COMMISSION REVIEW

DRAWING NO.

A5.01
REFLECTED CEILING
AND ELECTRICAL
PLAN



REFLECTED CEILING PLAN &
ELECTRICAL - SECOND FLR.
SCALE: 1/4" = 1'-0"

J. TERRY BATES & ASSOCIATES, INC
ARCHITECTS PLANNERS
1705 19TH AVENUE SOUTH
NASHVILLE, TENNESSEE 37212
615-298-7288

FEWELL RESIDENCE
451 EAST COLLEGE STREET
MURFREESBORO, TENNESSEE

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COMMISSION REVIEW

DRAWING NO.

A5.02
REFLECTED CEILING
AND ELECTRICAL
PLAN

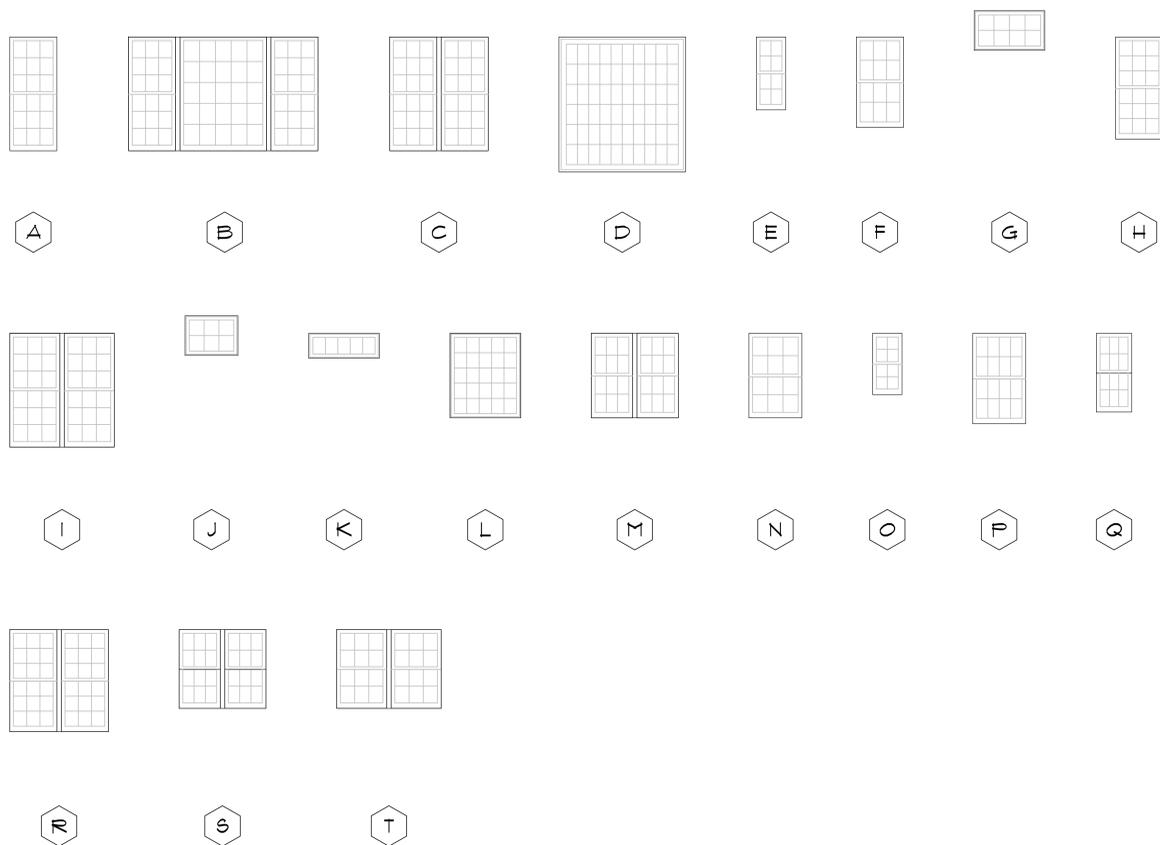
WINDOW SCHEDULE

MARK	SIZE	MATERIAL	HEAD	JAMB	SILL	REMARKS
A	2'-8" x 6'-6"	WOOD	-	-	-	DOUBLE HUNG
B	10'-8 3/4" x 6'-6"	WOOD	-	-	-	(2) 2'-8" x 6'-6" D.H. & 4'-10 3/4" x 6'-6" PICTURE WITH 3" MULL.
C	5'-7" x 6'-6"	WOOD	-	-	-	(2) 2'-8" x 6'-6" D.H. WITH 3" MULL.
D	7'-2" x 7'-8 1/2"	WOOD	-	-	-	PICTURE
E	1'-8" x 4'-2"	WOOD	-	-	-	DOUBLE HUNG
F	2'-8" x 5'-2"	WOOD	-	-	-	DOUBLE HUNG
G	4'-0" x 2'-4"	WOOD	-	-	-	TRANSOM
H	2'-8" x 5'-10"	WOOD	-	-	-	DOUBLE HUNG
I	5'-11" x 6'-6"	WOOD	-	-	-	(2) 2'-10" x 6'-6" D.H. WITH 3" MULL.
J	3'-0" x 2'-4"	WOOD	-	-	-	TRANSOM
K	4'-0" x 1'-6"	WOOD	-	-	-	TRANSOM
L	4'-0" x 4'-11"	WOOD	-	-	-	PICTURE
M	4'-11" x 4'-10"	WOOD	-	-	-	(2) 2'-4" x 4'-10" D.H. WITH 3" MULL.
N	3'-0" x 4'-10"	WOOD	-	-	-	DOUBLE HUNG
O	1'-8" x 3'-6"	WOOD	-	-	-	DOUBLE HUNG
P	3'-0" x 5'-2"	WOOD	-	-	-	DOUBLE HUNG
Q	2'-0" x 4'-6"	WOOD	-	-	-	DOUBLE
R	5'-7" x 5'-10"	WOOD	-	-	-	(2) 2'-8" x 5'-10" D.H. WITH 3" MULL.
S	4'-11" x 4'-6"	WOOD	-	-	-	(2) 2'-4" x 4'-6" D.H. WITH 3" MULL.
T	5'-11" x 4'-6"	WOOD	-	-	-	(2) 2'-10" x 4'-6" D.H. WITH 3" MULL.

DOOR SCHEDULE

#	TYPE	SIZE	MATERIAL	SILL	JAMB	HEAD	REMARKS
101	A	3'-0" x 8'-0"	WD/GL	-	-	-	FRONT DOOR
102	H	2'-4" x 8'-0"	WD	-	-	-	HIDDEN
103	B	2'-4" x 8'-0"	WD	-	-	-	-
104	B	2'-6" x 8'-0"	WD	-	-	-	-
105	B	3'-0" x 8'-0"	WD	-	-	-	-
106	G	9'-0" x 8'-0"	MTL.	-	-	-	GARAGE
107	G	9'-0" x 8'-0"	MTL.	-	-	-	GARAGE
108	D	3'-0" x 8'-0"	WD/GL	-	-	-	FRENCH DOOR
109	B	3'-0" x 8'-0"	WD	-	-	-	POCKET
110	B	2'-8" x 8'-0"	WD	-	-	-	-
111	D	3'-0" x 8'-0"	WD/GL	-	-	-	FRENCH DOOR
112	C	2'-6" x 8'-0"	WD/GL	-	-	-	PAIR, FRENCH DR.
113	C	2'-6" x 8'-0"	WD/GL	-	-	-	PAIR, FRENCH DR.
114	B	2'-8" x 8'-0"	WD	-	-	-	-
115	B	2'-4" x 8'-0"	WD	-	-	-	-
116	B	2'-6" x 8'-0"	WD	-	-	-	-
117	B	2'-4" x 8'-0"	WD	-	-	-	-
118	S	2'-8" x	GL	-	-	-	SHOWER
119	B	2'-8" x 8'-0"	WD	-	-	-	-
120	B	2'-8" x 8'-0"	WD	-	-	-	-
121	B	2'-4" x 8'-0"	WD	-	-	-	-
122	B	2'-8" x 8'-0"	WD	-	-	-	POCKET
123	S	2'-6" x	GL	-	-	-	SHOWER
111	D	2'-8" x 8'-0"	WD/GL	-	-	-	FRENCH DOOR
201	B	2'-8" x 7'-0"	WD	-	-	-	-
202	B	2'-6" x 7'-0"	WD	-	-	-	-
203	B	2'-8" x 7'-0"	WD	-	-	-	-
204	S	2'-6" x	GL	-	-	-	SHOWER
205	B	2'-8" x 7'-0"	WD	-	-	-	-
206	B	2'-8" x 7'-0"	WD	-	-	-	-
207	B	2'-8" x 7'-0"	WD	-	-	-	-
208	B	2'-8" x 7'-0"	WD	-	-	-	-
209	B	2'-8" x 7'-0"	WD	-	-	-	-

WINDOW TYPES



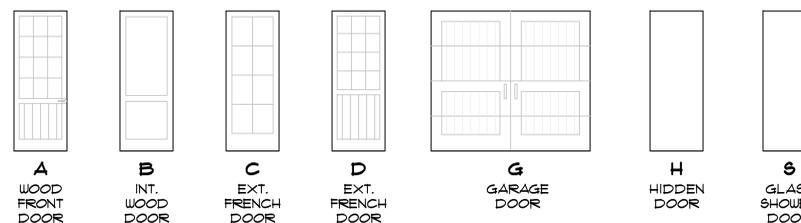
GENERAL NOTES

- DOOR / WINDOW MANUFACTURER TO SUPPLY ARCHITECT WITH SHOP DRAWINGS FOR APPROVAL PRIOR TO FABRICATION.
- PROVIDE WEATHER STRIPPING AND THRESHOLDS AT ALL EXTERIOR DOORS.
- SEE ELEVATIONS FOR LITE DIVISION IN DOORS WITH GLAZING.
- COLOR AND FINISH OF DOORS IS TO BE SELECTED BY THE ARCHITECT.

MATERIAL LEGEND

WD	SOLID CORE WOOD
MTL	METAL
MTL/GL	METAL W/ GLAZING
CLD/GL	CLAD W/ GLAZING
MTL/SCRN	METAL W/ SCREENING

DOOR TYPES



J. TERRY BATES & ASSOCIATES, INC.
ARCHITECTS PLANNERS

1705 19TH AVENUE SOUTH
NASHVILLE, TENNESSEE 37212
615.298.7288

FEWELL RESIDENCE
451 EAST COLLEGE STREET
MURFREESBORO, TENNESSEE

DRAWN BY:
CHECKED BY:
DATE: 29 MAY 2020
REVISIONS:

HISTORICAL ZONING
COMMISSION REVIEW

DRAWING NO.

A6.01

DOOR & WINDOW
SCHEDULES

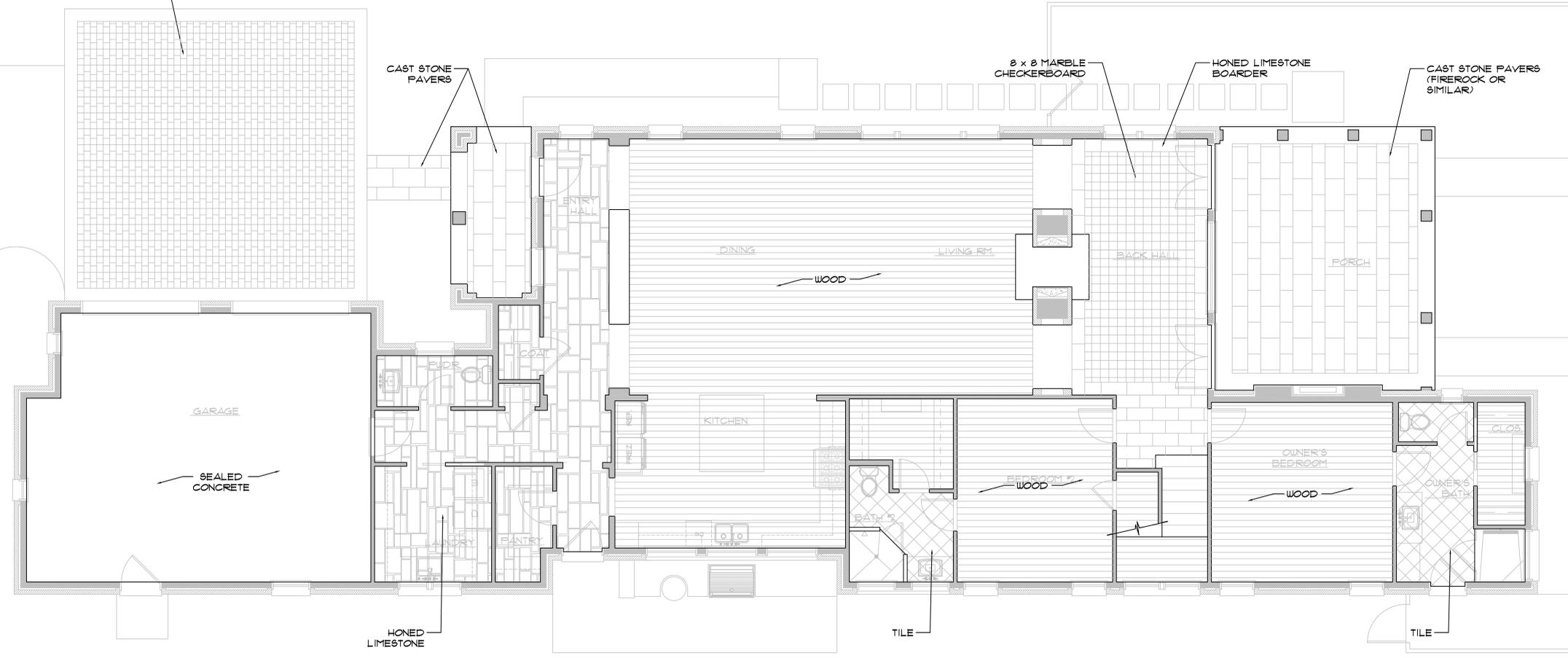
CONCRETE
COBBLESTONES
(FIREROCK OR
SIMILAR)

CAST STONE
PAVERS

8 x 8 MARBLE
CHECKERBOARD

HONED LIMESTONE
BOARDER

CAST STONE PAVERS
(FIREROCK OR
SIMILAR)



FINISH LEGEND

-  CARPET
-  CONCRETE PAVERS
(COBBLESTONE)
-  TILE
-  WOOD FLOORING
-  STONE PAVER FLOORING
-  STONE/TILE FLOOR - HEATED
-  EXERCISE FLOOR
-  SEALED CONCRETE



**FLOOR FINISH PLAN -
FIRST FLOOR**

SCALE: 1/4" = 1'-0"

J. TERRY BATES & ASSOCIATES, INC
ARCHITECTS PLANNERS
1705 19TH AVENUE SOUTH
NASHVILLE, TENNESSEE 37212
615-298-7288

FEWELL RESIDENCE
451 EAST COLLEGE STREET
MURFREESBORO, TENNESSEE

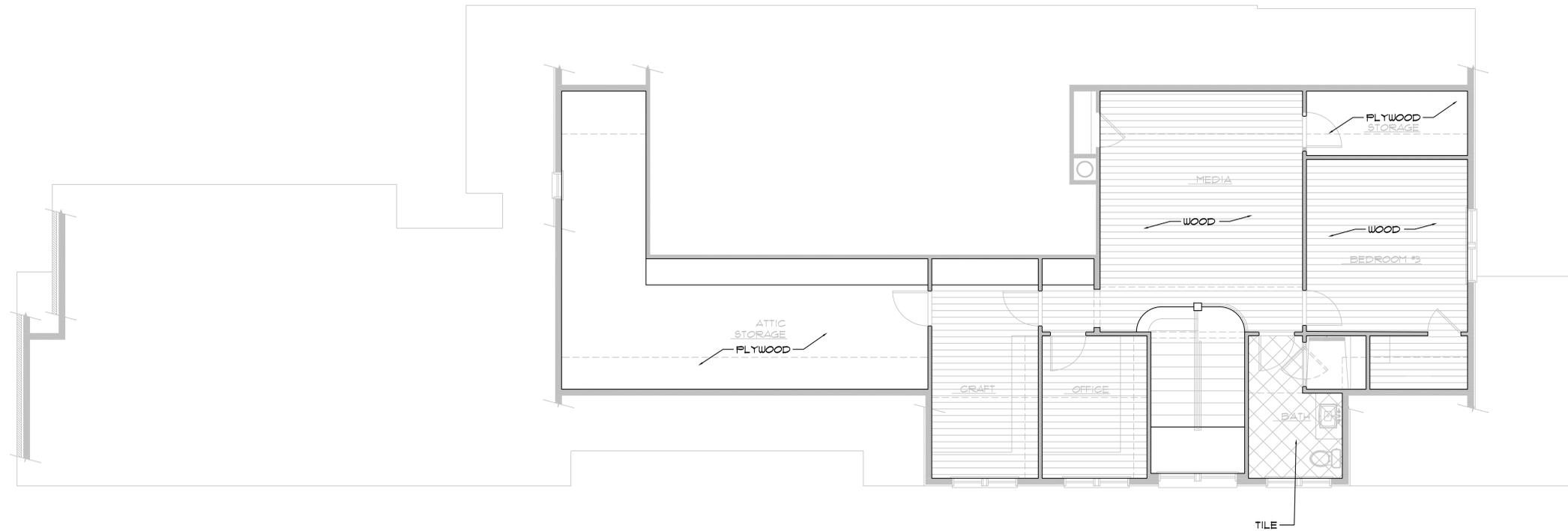
DRAWN BY:
CHECKED BY:
DATE:
29 MAY 2020
REVISIONS:

HISTORICAL ZONING
COMMISSION REVIEW

DRAWING NO.

F1.01

FLOOR FINISH PLAN
FIRST FLOOR



FINISH LEGEND

-  CARPET
-  CONCRETE PAVERS (COBBLESTONE)
-  TILE
-  WOOD FLOORING
-  STONE PAVER FLOORING
-  STONE/TILE FLOOR - HEATED
-  EXERCISE FLOOR
-  SEALED CONCRETE

**FLOOR FINISH PLAN -
SECOND FLOOR**

SCALE: 1/4" = 1'-0"

J. TERRY BATES & ASSOCIATES, INC
ARCHITECTS PLANNERS
1705 19TH AVENUE SOUTH
NASHVILLE, TENNESSEE 37212
615-298-7288

FEWELL RESIDENCE
451 EAST COLLEGE STREET
MURFREESBORO, TENNESSEE

DRAWN BY:
CHECKED BY:
DATE:
29 MAY 2020
REVISIONS:

HISTORICAL ZONING
COMMISSION REVIEW

DRAWING NO.

F1.02

FLOOR FINISH PLAN
SECOND FLOOR

EXTERIOR FINISHES



EXTERIOR TRIM

Painted; light taupe / warm gray / white



EXTERIOR VENEERS

ROOFING

Asphalt shingles
'Certaineed' Belmont or Landmark shingles or equal; warm gray

BRICK

Painted; Light warm gray to white

SIDING

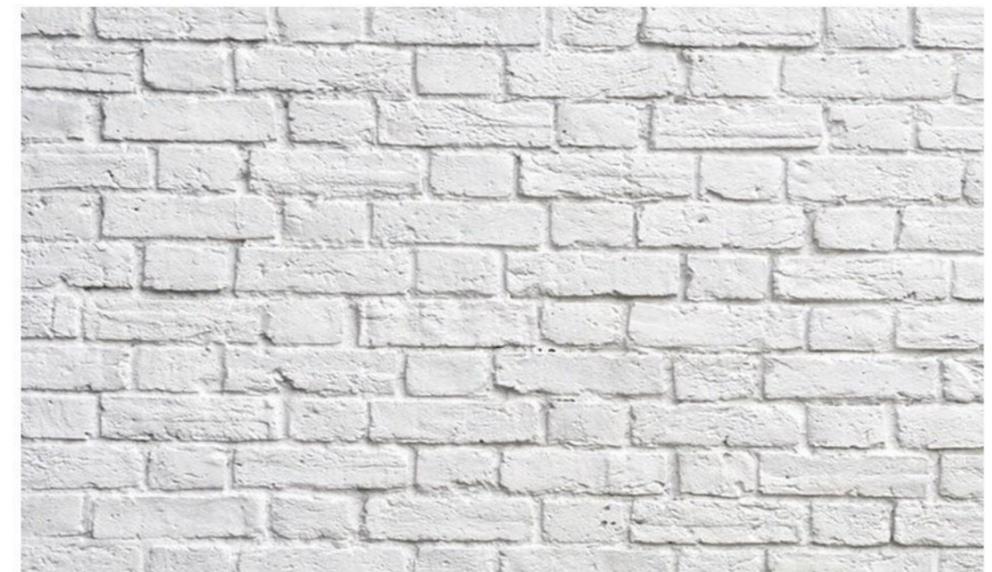
Vertical exterior wood or composite planks; painted; board-on board (8" on 10") or 8' reverse board-and-batten



board-on board



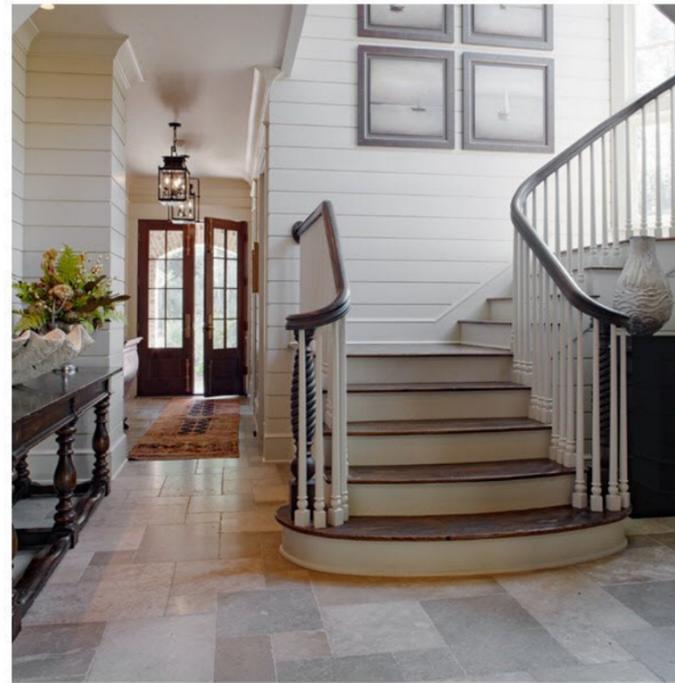
reverse board-and-batten



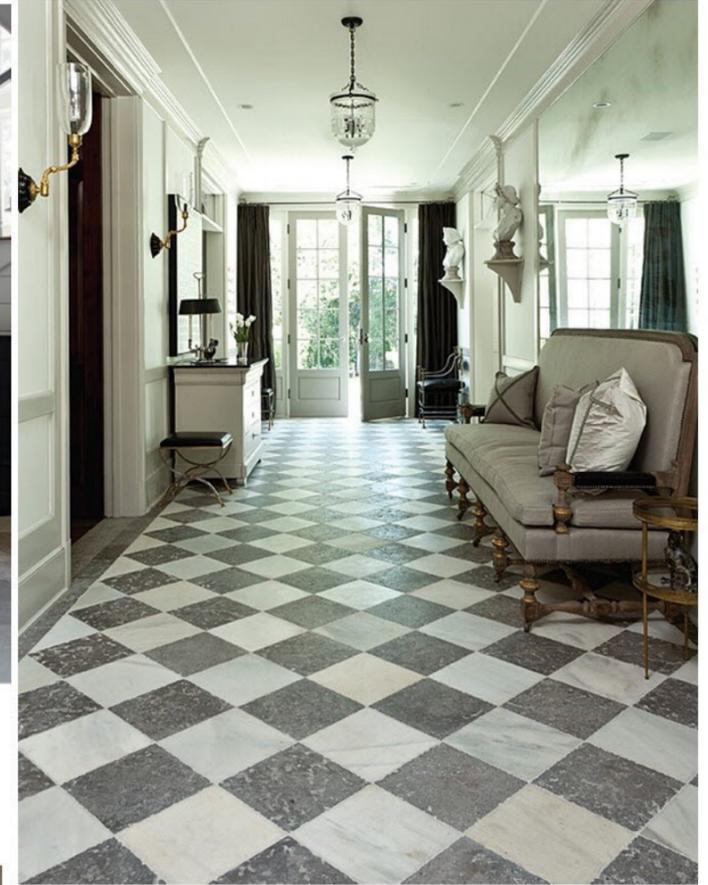
Painted brick



Distressed oak or walnut floors in dark finish. Either wide boards or random width boards.



Front entry hall; garage entry hall, laundry and powder room floors. Honed limestone - random width tiles in running bond pattern same as porches and pool terrace.



Piano gallery floor





Pattern: 'Ashlar'



Pattern "Running Bond"

MOTOR COURT PAVERS

Concrete pavers ; color match FIREROCK 'Steel'



DRIVEWAY / PARKING

Brushed, scored concrete



Color: FIREROCK 'Steel'

Pattern: running bond ; random widths

EXTERIOR PORCH AND DECK PAVERS

EXTERIOR PAVING

CANYON RIDGE®

collection

LIMITED EDITION SERIES | ULTRA-GRAIN® SERIES



America's Favorite Garage Doors®



Canyon Ridge® Collection Limited Edition Series Design 13; Shown in Dark Finish with Mahogany Cladding, Mahogany Overlays and REC13 Window Design (Model CAN213MMREC13)

CANYON RIDGE® collection

Clopay offers a complete portfolio of design options for homeowners who love the look of wood, but not the upkeep.

Constructed in durable, low-maintenance steel and composite, these faux wood alternatives offer the best of both worlds – the realism and beauty of a natural stained wood appearance combined with the strength and energy efficiency of insulated steel.

Clopay's extensive selection of faux overlays, designs, windows, decorative hardware and finish colors can complement any home style and budget.



Limited Edition Series

This time-tested, carriage-house design meets the modern strength of steel and composite, providing a warm authentic look and high durability.

NEW Limited Edition Louver Designs

Perfect for coastal beach homes to colonial estates. These plantation shutter inspired designs are a perfect accent piece.

Ultra-Grain® Series

Low-maintenance Ultra-Grain® steel is covered with a composite overlay, molded from actual wood pieces for a natural look.



Canyon Ridge® Collection Ultra-Grain® Series Design 12; Shown in Medium Finish with Clear Cypress Overlays and REC14 Window Design (Model CAN212NCREC14)

intell^{icore}®

insulation technology

Warmer. Quieter. Stronger.

Canyon Ridge® Collection doors featuring Intellicore® insulation technology represent the ultimate smart choice for homeowners. Clopay's Intellicore® is a proprietary polyurethane foam that is injected into a garage door, expanding to fill the entire structure. The result is a door with incredible strength and durability. Its dense insulation also produces a quieter door, while its industry-leading R-values (up to 20.4) provide year-round comfort and improved energy efficiency.



WARMER

Energy efficiency provides year-round comfort



QUIETER

Dense insulation reduces noise by up to 16 decibels



STRONGER

Enhanced strength resists everyday wear and tear



faux wood.
REAL BEAUTY.

Canyon Ridge® Collection Limited Edition Series Design 11; Shown Custom Painted with Clear Cypress Cladding, Clear Cypress Overlays and REC14 Window Design (Model CAN211CCREC14)

LIMITED EDITION SERIES 5-LAYER CONSTRUCTION

Canyon Ridge® Collection Limited Edition Series doors are constructed of an energy efficient, durable steel core and finished with full composite cladding and overlays that have the appearance of authentic wood doors.

The cladding and overlay materials are molded from actual wood pieces to reproduce the natural texture and intricate grain patterns of the species they emulate. These two layers are attached to an Intellicore® polyurethane insulated

steel door for added strength and energy efficiency. Louver cladding available on Series 5 door designs.



Louver Mahogany Cladding Detail



- 1 Composite Overlay
- 2 Composite Cladding
- 3 Steel
- 4 2" Intellicore® Polyurethane Insulation
- 5 Steel

 <p>2" POLYURETHANE INSULATION</p>	<p>COMPOSITE OVERLAY DELAMINATION</p> <p>LIMITED 5YR WARRANTY</p>
	<p>EFFICIENCY</p> <p>20.4 R-VALUE</p>

Canyon Ridge® Collection not applicable for new construction in California areas designated as "Fire Hazard Severity Zones".

Calculated door section R-value is in accordance with DASMA TDS-163.

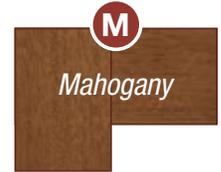


MATERIAL DESIGN OPTIONS

Composite Cladding Materials



Composite Overlay Materials



Note: Cladding and overlay material options may be mixed and matched.



Canyon Ridge® Collection Limited Edition Series Design 54; Shown in Black Finish with Louver Mahogany Cladding and Mahogany Overlays (Model CAN254LM)

COLORS



Medium Finish

Dark Finish

Walnut Finish

Slate Finish

Black Finish

Whitewash Finish

Primed (No Finish)

Cladding and overlays are finished in the same color. Black and Whitewash Finish available only on Mahogany cladding and overlays. Doors can be ordered Primed for those homeowners wishing to custom paint or stain their doors. Door stain color will vary slightly within a door due to finishing process. Due to the printing process, above colors may vary.

DOOR DESIGNS

SERIES 1



Design 01

Design 11

Design 12

Design 13

SERIES 2



Design 21

Design 22

Design 23

SERIES 3



Design 31

Design 32

Design 33

Design 34



Design 35

Design 36

Design 37

Design 38

SERIES 5



Design 51

Design 52

Design 53

Design 54

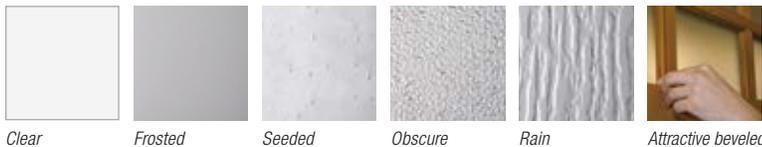
Design 55

*Door widths available 6'2" to 20'0" wide in 2" increments. Designs 22, 23, 34 and 35 are not available 10'2" to 14'10" wide.
Door heights available 6'0" to 10'0" high in 3" increments. 6'3" high doors are not available with windows. See your Clopay Dealer for details.*

WINDOW DESIGNS / TOP SECTIONS

Top sections are available in solid panels or with insulated windows in rectangular, square and arched designs. Insulated frosted, seeded, obscure and rain glass is available. Glass available only on Series 1, Series 2 and Design 52.

Additional charges for optional glass apply.



Clear Frosted Seeded Obscure Rain *Attractive beveled edge clip-in grilles are removable for easy cleaning.*

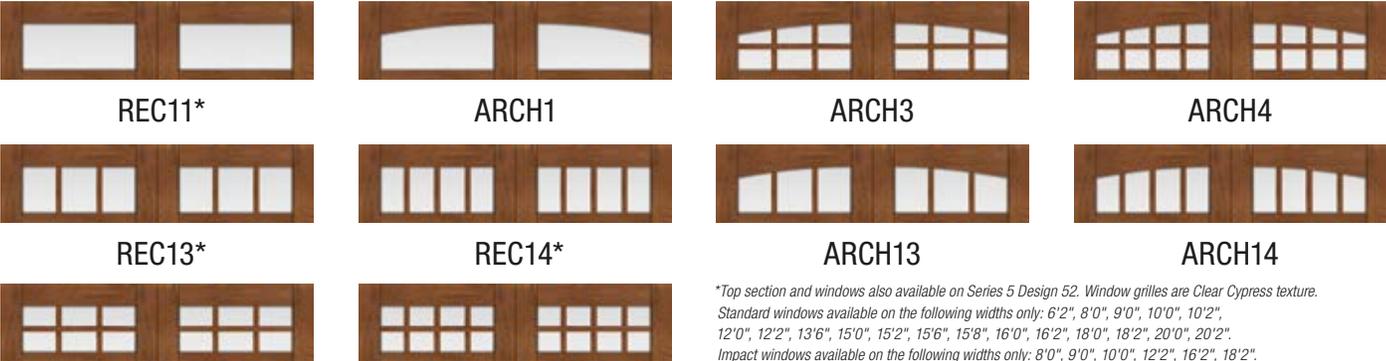
SERIES 1 & 2

Solid Top Sections Not Applicable to Design 01 and Series 3



TOP11* TOP12 TOP13 ARCH1

Window Designs Not Applicable to Design 01 and Series 3



REC11* ARCH1 ARCH3 ARCH4
REC13* REC14* ARCH13 ARCH14
SQ23* SQ24*

**Top section and windows also available on Series 5 Design 52. Window grilles are Clear Cypress texture. Standard windows available on the following widths only: 6'2", 8'0", 9'0", 10'0", 10'2", 12'0", 12'2", 13'6", 15'0", 15'2", 15'6", 15'8", 16'0", 16'2", 18'0", 18'2", 20'0", 20'2". Impact windows available on the following widths only: 8'0", 9'0", 10'0", 12'2", 16'2", 18'2".*

SERIES 3

Solid Top Sections Not Applicable to Series 1 and 2



TOP11 TOP12 TOP13 ARCH1
ARCH1 ARCH1

ARC1A, ARC3A and ARC4A double door top sections not shown. See below for more information on additional sizes or ask your Clopay Dealer for more details.

ADDITIONAL SIZES & WINDOWS

Due to the extensive design options, not all sizes, window and top sections are shown. See your Clopay Dealer or go to www.clopaydoor.com for more details.



10'4" – 14'10" WIDE DOORS 15'0" – 20'0" WIDE DOORS



CLASSIC and REFINED.

Canyon Ridge® Collection Ultra-Grain® Series Design 11; Shown in Walnut Finish with Clear Cypress Overlays and REC13 Window Design (Model CAN211NCREC13)

ULTRA-GRAIN® SERIES 4-LAYER CONSTRUCTION

An attractive and more economical alternative to the Limited Edition Series, this door features a 2" Intellcore® polyurethane insulated steel base door with Ultra-Grain®, a durable, natural-looking, woodgrain paint finish. Stained Clear Cypress composite overlays are applied to the steel door surface to create beautiful carriage house designs.



Canyon Ridge® Collection Ultra-Grain® Series Design 22; Shown in Slate Finish with Clear Cypress Overlays and REC14 Window Design (Model CAN222NCREC14)



- 1 Composite Overlay
- 2 Steel with Ultra-Grain® Paint Finish
- 3 2" Intellcore® Polyurethane Insulation
- 4 Steel

	2" POLYURETHANE INSULATION	STEEL PAINT SYSTEM LIMITED LIFE WARRANTY
	18.4 R-VALUE	COMPOSITE OVERLAY DELAMINATION LIMITED 5YR WARRANTY
EFFICIENCY	18.4 R-VALUE	HARDWARE LIMITED 5YR WARRANTY

Canyon Ridge® Collection not applicable for new construction in California areas designated as "Fire Hazard Severity Zones".

Calculated door section R-value is in accordance with DASMA TDS-163.



MATERIAL DESIGN OPTIONS

Ultra-Grain®
Steel Base Door



*Note: Cladding is not present on Ultra-Grain® Series Models.
N = No cladding.*

Composite
Overlay
Material



Canyon Ridge® Collection Ultra-Grain® Series Design 36; Shown in Medium Finish with Clear Cypress Overlays and TOP11 (Solid) Top Section (Model CAN236NCTOP11)

COLORS



Ultra-Grain® Cypress
Medium Finish



Ultra-Grain® Cypress
Walnut Finish



Ultra-Grain® Cypress
Slate Finish

*Composite overlays and window grilles are finished in the same color as the Ultra-Grain® base door.
Door stain color will vary slightly within a door due to finishing process.
Due to the printing process, above colors may vary.*

DOOR DESIGNS

SERIES 1



Design 11



Design 12



Design 13

SERIES 2



Design 21



Design 22



Design 23

SERIES 3



Design 31



Design 32



Design 33



Design 34



Design 35



Design 36



Design 37



Design 38

Door widths available 6'2" to 20'0" wide in 2" increments. Designs 22, 23, 34 and 35 are not available 10'2" to 14'10" wide. Door heights available 6'0" to 10'0" high in 3" increments. 6'3" high doors are not available with windows. See your Clopay Dealer for details.

WINDOW DESIGNS / TOP SECTIONS

Top sections are available in solid panels or with insulated windows in rectangular, square and arched designs. Insulated frosted, seeded, obscure and rain glass is available. Glass available on Series 1 and 2 only.

Additional charges for optional glass apply.



Clear Frosted Seeded Obscure Rain *Attractive beveled edge clip-in grilles are removable for easy cleaning.*

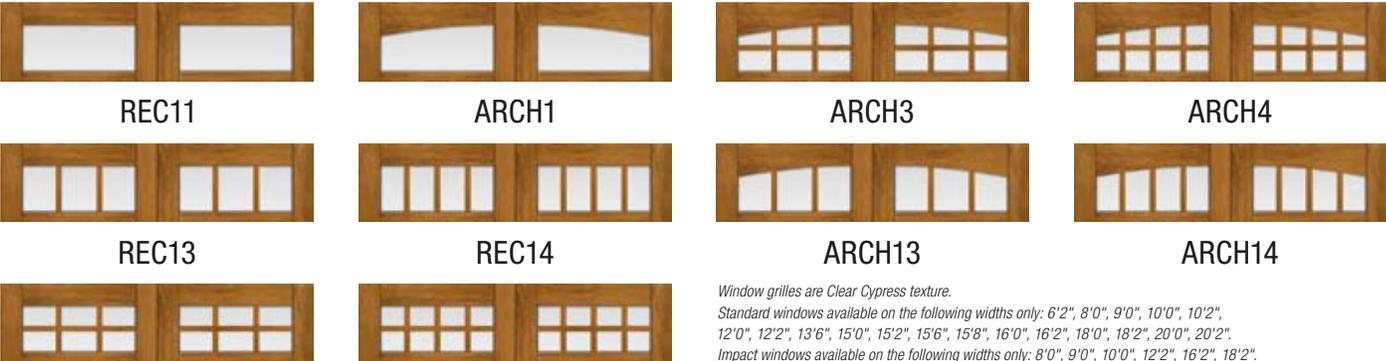
SERIES 1 & 2

Solid Top Sections Not Applicable to Series 3



TOP11 TOP12 TOP13 ARCH1

Window Designs Not Applicable to Series 3

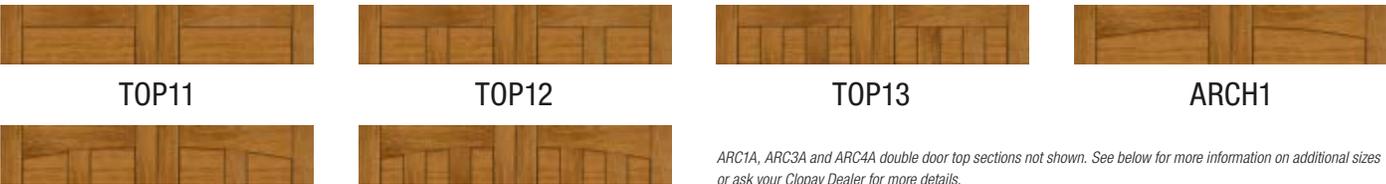


REC11 ARCH1 ARCH3 ARCH4
 REC13 REC14 ARCH13 ARCH14
 SQ23 SQ24

*Window grilles are Clear Cypress texture.
 Standard windows available on the following widths only: 6'2", 8'0", 9'0", 10'0", 10'2", 12'0", 12'2", 13'6", 15'0", 15'2", 15'6", 15'8", 16'0", 16'2", 18'0", 18'2", 20'0", 20'2".
 Impact windows available on the following widths only: 8'0", 9'0", 10'0", 12'2", 16'2", 18'2".*

SERIES 3

Solid Top Sections Not Applicable to Series 1 and 2



TOP11 TOP12 TOP13 ARCH1
 ARCH1 ARCH1

ARC1A, ARC3A and ARC4A double door top sections not shown. See below for more information on additional sizes or ask your Clopay Dealer for more details.

ADDITIONAL SIZES & WINDOWS

Due to the extensive design options, not all sizes, window and top sections are shown. See your Clopay Dealer or go to www.clopaydoor.com for more details.



10'4" – 14'10" WIDE DOORS 15'0" – 20'0" WIDE DOORS

DESIGNING YOUR DOOR

Use the information below to select the appropriate model number.

CANYON RIDGE® LIMITED EDITION SERIES

Canyon Ridge Door Insulation Thickness* Design Cladding Material † Overlay Material † Window Design/Top Section

CAN 2 13 P C REC13

* 2 = 2" Polyurethane. † See cladding and overlay design options.

CANYON RIDGE® ULTRA-GRAIN® SERIES

Canyon Ridge Door Insulation Thickness* Design Cladding Material (Does Not Apply) Overlay Material † Window Design/Top Section

CAN 2 13 N C REC13

* 2 = 2" Polyurethane. † See overlay design options.

FINISHING AND CARE

Proper care and maintenance are imperative for long-term performance and appearance of Canyon Ridge® Collection doors. Periodic inspection and maintenance of the composite cladding and overlays are required. Minor expansion and contraction is normal for exterior building materials exposed to direct sunlight and is not considered a defect. Complete finishing and maintenance instructions are provided with the door and are also available from your Clopay Dealer or online at www.clopaydoor.com

ENVIRONMENTAL ASSURANCE

Clopay doors are compliant with environmental laws and regulations. Clopay doors do not contain HFCs. All Clopay doors are compliant with:

- California SB 1013
- Washington HB 1112 – Hydrofluorocarbon Greenhouse Gas Emissions
- Canadian regulations amending the ozone-depleting substances and halocarbon alternatives regulations

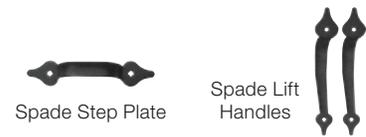
ADDITIONAL FEATURES

- Replaceable vinyl bottom weatherseal in a rust-resistant aluminum retainer helps seal out the elements.
- 10-ball nylon rollers for quiet operation.
- Heavy-duty 14 gauge steel hinges for long-lasting performance.
- Patented Safe-T-Bracket® prevents serious injury that could occur if the bottom bracket were removed with the garage door closed and under tension.
- Product complies with 2015 IECC air infiltration requirement of 0.40 cfm/ft² or less (IECC, Section C402.5.2).

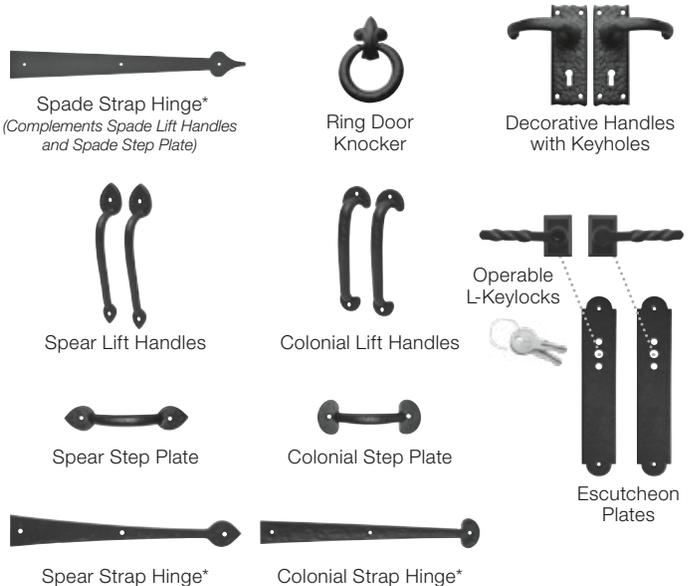
DECORATIVE HARDWARE

Attractive black powder coated grip handles and step plates are provided standard to further enhance the carriage house design. Optional antique black iron hardware, including handles, operable L-keylocks and strap hinges, are available to provide the look of a classic carriage house door.

STANDARD



OPTIONAL



*Door may not open properly if installed near the top depending on opening dimensions and lift type. See your Clopay Dealer for more details.



For more detailed product specification information or availability of our Canyon Ridge® Collection Garage Doors, please contact your Clopay Dealer. To locate a dealer to help you select the right door for your home, just go to www.clopaydoor.com/dealer or call 1-800-2CLOPAY (225-6729).

Follow us on



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RSDR-CANYONRIDGESS-12_REV0120

SEAMOX[®]

Proudly Serving the Seamless Gutter Industry Since 1972



2020 Product Catalog

PAINT & METAL SELECTION

Backed By Senox's 50 Year Paint Warranty

TRADITIONAL PAINTED ALUMINUM

Factory Baked Finish • Flexible for Roll Forming • Exterior Durability



Colors shown may vary from actual material

ArmerTOUGH PAINTED ALUMINUM

Exclusive Product • Abrasion Resistant • Reduces Appearance of Staining



DuelTone® PAINTED ALUMINUM

Created Through a Specialized Two-Coat Process
High Performance Exterior Finish



129 - Rustic Copper

PREMIUM METALS

3/4 Hard 16 oz. Copper
26 ga. Galvalume Plus Steel



890 - Solid Copper



920 - Galvalume Plus Steel

ShadowBAK
wash coat®
Non-Reflective Disappearing Wash Coat

Found on the Interior of Senox Painted Aluminum Gutters

ShadowBAK® is a washcoat specially formulated by Senox that gives the inside of the gutter a non-reflective finish. The anodized bronze appearance provides the vanishing properties of a black shadow and erases the transition lines from the gutter to the roof.

SEAMLESS GUTTER COIL

Senox seamless gutter coil is available in painted aluminum (all 26 traditional Senox colors), copper, or galvalume+ (all painted coil comes backed by our 50 year paint warranty.)

11 7/8"

.027" Aluminum
part # 111195XXX

Available in: 26 Traditional, 1 Duel Tone®, 3 Armor Tough®

11 7/8"

.032" Aluminum
part # OS1111971XXX

Available in: 26 Traditional, 1 Duel Tone®, 3 Armor Tough®

11 7/8"

16 oz. Solid Copper
part # 111195890
26 ga. Galvalume Plus Steel
part # 111195920

15"

.027" Aluminum
part # 111505XXX

15"

.032" Aluminum
part # OS1115071XXX

15"

16 oz. Solid Copper
part # 111505890
26 ga. Galvalume Plus Steel
part # 111505920

18"

.032" Aluminum
part # OS1118071XXX

18"

16 oz. Solid Copper
part # 111805890
26 ga. Galvalume Plus Steel
part # 111805920



END CAPS FOR K-STYLE

Packaged 25R/25L Units/Box

Senox end caps provide a tap on fit to easily close the ends of the gutter; uses painted Senox coil to ensure a perfect match every time.

5" Right or Left

right - part # 221503XXX
left - part # 221505XXX

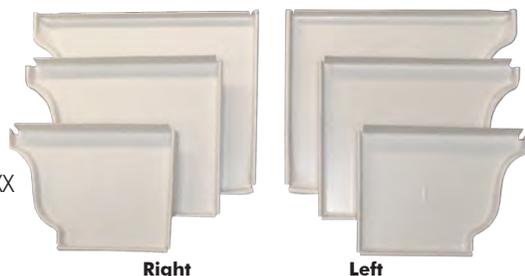
6" Right or Left

right - part # 221603XXX
left - part # 221605XXX

7" Right or Left

right - part # 221703XXX
left - part # 221705XXX

Available in: 26 Traditional, 1 Duel Tone® (129), 3 Armor Tough®,
16 oz. Solid Copper (890), 26 ga. Galvalume Plus Steel (920)



MITERS FOR K-STYLE

Packaged 20 Units/Box

The fastest way to install corners, and available in the full range of Senox colors to perfectly match Senox gutters.

5", 90°, Strip, O/S or I/S

O/S - part # 231511XXX
I/S - part # 231513XXX

5", 45°, Bay, O/S or I/S

O/S - part # 231531XXX
I/S - part # 231533XXX

5", 90°, Box, O/S or I/S

O/S - part # 231561XXX
I/S - part # 231563XXX

6", 90°, Strip, O/S or I/S

O/S - part # 231611XXX
I/S - part # 231613XXX

6", 45°, Bay, O/S or I/S

O/S - part # 231631XXX
I/S - part # 231633XXX

6", 90°, Box, O/S or I/S

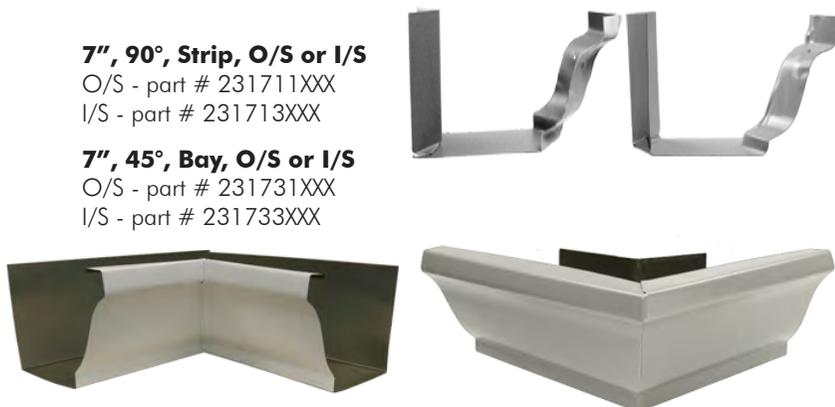
O/S - part # 231661XXX
I/S - part # 231663XXX

7", 90°, Strip, O/S or I/S

O/S - part # 231711XXX
I/S - part # 231713XXX

7", 45°, Bay, O/S or I/S

O/S - part # 231731XXX
I/S - part # 231733XXX



Available in: 26 Traditional, 1 Duel Tone®, 3 Armor Tough®, 16 oz. Solid Copper (890), 26 ga. Galvalume Plus Steel (920)

COLOR SELECTION

Traditional Painted Aluminum

- | | | |
|-------------------|--------------------|-------------------------|
| 001 30° White | 010 Sherwood Green | 021 Colonial Gray |
| 002 Royal Brown | 011 Musket Brown | 022 Buckskin Brown |
| 003 Antique Ivory | 013 Wicker | 023 80° White |
| 004 Black | 014 Dove Gray | 024 Colonial Red |
| 005 Raffia Beige | 015 Almond | 025 Dark Bronze |
| 006 Beaver Brown | 017 Linen | 026 Herringbone |
| 007 Classic Cream | 018 Light Bronze | 027 Copper Metallic |
| 008 Clay | 019 Tuxedo Gray | 028 Paint Grip Metallic |
| 009 Colonial Blue | 020 Heritage Cream | |

Duel Tone® Painted Aluminum

- 129 Rustic Copper

Armor Tough® Painted Aluminum

- 130 Satin White
131 Wood Beige
132 Cameo

Metal Selection

- 099 Mill Finish Aluminum
870 Brass
890 Solid Copper
910 Galvanized Steel
920 Galvalume Plus Steel
968 Copper Plus

LANDMARK[®] PRO

The Expert's Choice

Shown in Max Def Driftwood

CertainTeed
SAINT-GOBAIN

Introducing More Value

Landmark® Pro is designed specifically for the professional roofing contractor that takes pride in providing more to their customer.

Landmark® Pro improves upon the CertainTeed Landmark shingle, a leading consumer publication's "Best Buy" for the past five years.

We started by adding more weathering asphalt to the industry's toughest fiberglass mat to provide more protection. Then we incorporated our Maximum Definition color blend technology to give the product more vibrancy on the roof. Included is the proven performance of our NailTrak™ feature, enabling faster installation.

Landmark Pro offers the industry's strongest warranty. Protecting your reputation and safeguarding homeowners from manufacturing and aesthetic defects.

LANDMARK PRO STANDARD WARRANTY

- Lifetime Limited Warranty
- 10-years of SureStart™ protection
- 15-year 110 MPH wind warranty (Upgrade to 130 MPH available. CertainTeed starter and CertainTeed hip and ridge required.)
- 15-year StreakFighter® algae resistance warranty 

Add it all up and what you get is the opportunity to offer a lot of additional value for the money... and today that means more than ever.

LANDMARK® PRO



Landmark Pro specifications:

- Premium Max Def color palette
- NailTrak for faster installation
- Lifetime limited warranty
- 15-year algae resistance
- 10-year SureStart protection includes:
 - Materials, labor, tear off and disposal cost
- 15-year 110 MPH wind warranty with upgrade to 130 MPH available

LANDMARK®



Landmark specifications:

- Traditional color palette
- NailTrak for faster installation
- Lifetime limited warranty
- 10-year algae resistance
- 10-year SureStart protection includes:
 - Materials and labor costs
- 15-year 110 MPH wind warranty with upgrade to 130 MPH available

LANDMARK[®] PRO COLOR PALETTE



Max Def Burnt Sienna



Max Def Charcoal Black



Max Def Cobblestone Gray



Max Def Colonial Slate



Max Def Driftwood



Max Def Georgetown Gray



Max Def Heather Blend



Max Def Hunter Green



Max Def Moiré Black



Max Def Mojave Tan



Max Def Pewter



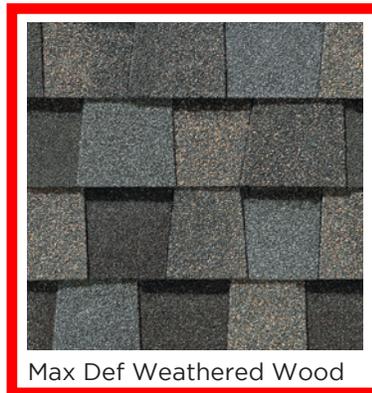
Max Def Resawn Shake



Max Def Shenandoah



Max Def Sunrise Cedar



Max Def Weathered Wood



Silver Birch

Max Def Colors

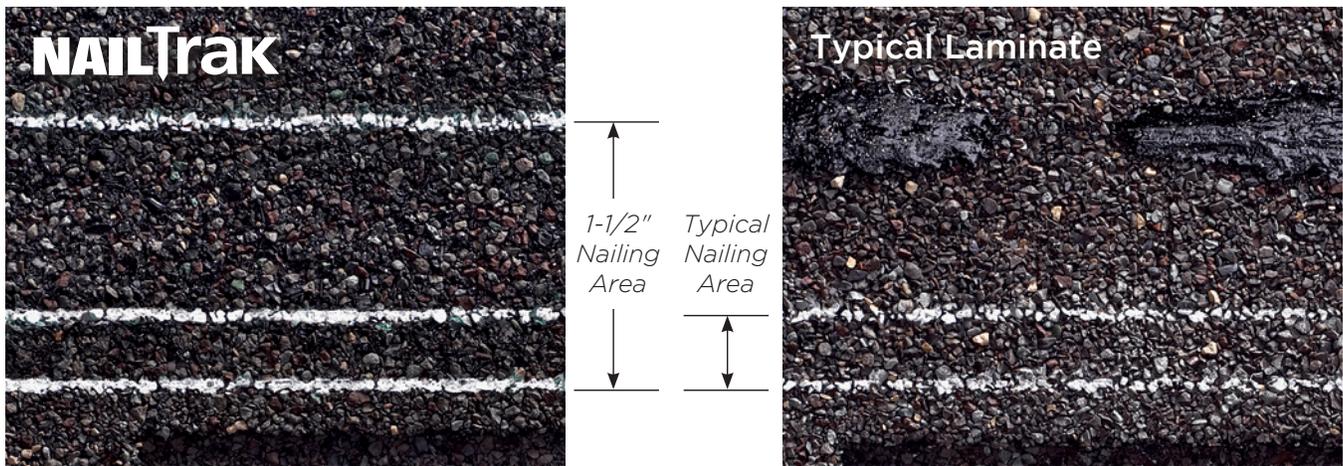
Look deeper. With Max Def, a new dimension is added to shingles with a richer mixture of surface granules. You get a brighter, more vibrant, more dramatic appearance and depth of color. And the natural beauty of your roof shines through.

Landmark Pro Silver Birch is an ENERGY STAR[®] rated product and may qualify for a federal tax credit.

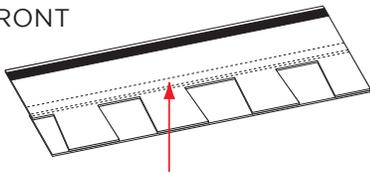
Wider. Faster. Proven.

For the past 10 years, NailTrak™ has enabled installers to shingle with improved speed and accuracy. With a nailing area that's three times WIDER than typical laminate shingles, nails hit home with NailTrak. A feature on all Landmark® Series shingles. Speed and accuracy result in lower labor costs.

No leaks. No de-lamination. No callbacks.
The cost of doing business has gone down with NailTrak.

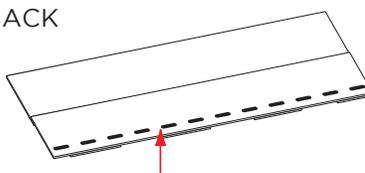


FRONT



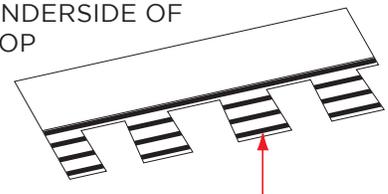
Wide nailing area for increased speed and accuracy.

BACK



Sealant placed low to avoid gumming up nail guns.

UNDERSIDE OF TOP



Specially formulated Quadra-Bond adhesive adheres the two-piece laminate shingle.

Landmark® Pro available in areas shown



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Unit Features

Elevate Double Hung: ELDH

Elevate Double Hung Picture: ELDH P

Elevate Double Hung Transom: ELDH TR

Elevate Double Hung IZ3: ELDH IZ3

Elevate Double Hung Picture IZ3: ELDH P IZ3

For applicable certification and code information, refer to the Introduction and Product Performance chapter.

Frame and Sash:

- The frame and sash exteriors are made of Ultrex® and meets all the requirements of AAMA 624-10.
- Exterior colors: Stone White, Pebble Gray, Bronze, Evergreen, Cashmere, or Ebony. Frame and sash color may be selected independently.
- The interior is non finger-jointed pine, kiln dried to a moisture content of 6-12% at time of fabrication. Water-repellent, preservative treated.
- Interior wood is available as Pine bare wood or factory-applied white, clear, and designer black interior finish. Frame and sash color may be selected independently.

Frame:

- Composite frame thickness is 1 9/16", (40). Frame width is 4 9/16", (116). Flat bottom sill with 13 degree bevel. Non finger-jointed pine interior frame liner is applied to all units. Ultrex is .075" (2) thick.

Sash:

- Composite sash thickness is 1 17/32" (39). Ultrex is .070" (2) thick.

Jamb Extension:

- Extension Thickness: 9/16" (14)
- 6 9/16" (167) or 6 13/16" (173) jamb extension - factory-applied
- Material: Bare Pine
- Option: factory applied white, designer black and clear lacquer interior finish

Hardware:

- The balance system is a coil spring block and tackle system, with nylon cord and zinc locking shoe.
- Both sash tilt into the room for cleaning or removal for painting without removing the screen.
- High-pressure zinc die cast check rail lock and keeper.
- Lock employs a cam-lock mechanism.
 - Color: Almond Frost, White, or Matte Black. Optional Bright Brass, Oil Rubbed Bronze, and Satin Nickel.
- Each sash employs spring loaded tilt latches to allow for easy tilting or sash.
- On IZ3 units CN32 widths and wider, two locks are mounted.
- Optional factory applied Window Opening Control Device is available on all sizes. A system consisting of an acetal lever housed in an acetal shell on each stile of the top sash. This device works in accordance to ASTM F2090-10 standard specification for window fall prevention devices with emergency escape.
 - Color: White, Beige, and Black.

Installation:

- Factory applied folding nailing fin and drip cap system
 - Optional installation brackets for masonry available
 - Optional through jamb installation method with brackets
 - Factory supplied field mulling kits are available for standard assemblies, or 30° and 45° Bay assemblies.
- Recommended method for IZ3 glazed units is installation clips and nailing fin.

Unit Features Continued**Glazing:**

- Dual-pane units are manufactured with an 11/16" (17) IG with Low E1, E2, E3, or E3/ERS coatings including argon gas or air fill. Clear (uncoated) glass available with air fill only.
 - Tripane not available.
- Tempered glass and/or obscure glass, and California Fire glass (annealed exterior and tempered interior glazing configuration) are available as an option.
- The glazing seal is a silicone bedding on both interior and exterior surfaces utilized in a sandwich style sash.
- STC/OITC values are available for standard 3.1 mm glass thickness.
 - Optional 3.1/4.7 STC/OITC Upgrade glass is available. See the Product Performance chapter for STC and OITC ratings.
- Decorative glass options include glue chip, rain, reed, narrow reed, frost, and tinted (bronze, gray, or green). Decorative glass is not available with Low E1, Low E3/ERS or STC/OITC Upgrade options.

CE Glazing:

- Dual-pane units are manufactured with an 11/16" (17) IG with Low E2, E3, or E1 coatings including argon gas fill.
 - Tripane not available.
- Tempered glass is available as an option.
- The glazing seal is a silicone bedding on both interior and exterior surfaces utilized in a sandwich style sash.
- CE glazing is available on operating double hung units up to CN4276.
 - Pictures and transoms are not available with CE mark. Bows and Bays are not available with CE mark

IZ3 Glazing:

- Optional IZ3 available on selected sizes.
 - IZ3 for winds up to 140 miles per hour.
- Glass is laminated insulated Low E2 or E3 Argon, consisting of annealed or tempered glass exterior and laminated glass interior.
- The laminated glass is comprised of two pieces of glass with either a SGP or PVB laminate layer between.
 - Interior and exterior glazing compound is silicone, in a sandwich style glazing system.
 - Not available with CE product.

Weather Strip:

- All units are dual weather stripped.
- All weather strip is beige, black, or white in color.
- Jamb weather strip is a robust fabric covered foam weather strip that is inserted into a rigid vinyl jamb carrier and used to seal sash to jambs. An additional jamb weather strip is inserted into Ultrex/wood and seals bottom sash to jamb.
- Parting stop is vinyl with a flexible leaf to seal between the header and the upper sash.
- Check rail weather strip is a hollow bulb weather strip attached to bottom of sash, interfaces between sill and jamb weather strip.
- Flat foam gasket is used between the jamb and sill.
- Picture and transom units is a hollow bulb weather strip that is inserted into rigid vinyl jamb carrier and head jamb carrier to seal sash.

Screen:

- Full screen is standard. Half-screen option is available.
- Roll formed aluminum frame with corner key construction
 - Color to match exterior frame color
- Charcoal color fiberglass (non-corrosive) screen cloth.
- Spring loaded pins for installation.
- A screen bar will be added when Frame OM (height) is equal to or greater than 47 1/2" (1207).

Interior Jamb Cap:

- Units with Designer Black or White interior finishes are assembled with Interior Jamb Caps and use Jamb Liners with kerfs on the jambs and head jamb.
- Interior Jamb Caps are color matched to the interior finish.

Unit Features Continued**Interior / Exterior Simulated Divided Lites (SDL):**

- Interior bar: 7/8" (22) wide bars
 - Pine bare wood with optional white, clear, or designer black interior finish
- Exterior bar: 7/8" (22) wide bars Ultrex, finish to match exterior
 - Patterns available: Rectangle, Cottage style cut, 9 lite Prairie cut or 6 lite Prairie for top sash, bottom sash, or both.
- ITDH Only: Simulated check rail option: 2 11/32" (60).
 - Patterns available: simulated rail in standard center or customer specified location with 7/8" (22) patterns above, below or both in patterns of rectangular equal lite or prairie lite cut.
- SDL is unavailable with rain, reed, and narrow reed decorative glass patterns. Glue chip pattern requires tempered glass. Available for tinted glass without spacer bars only.

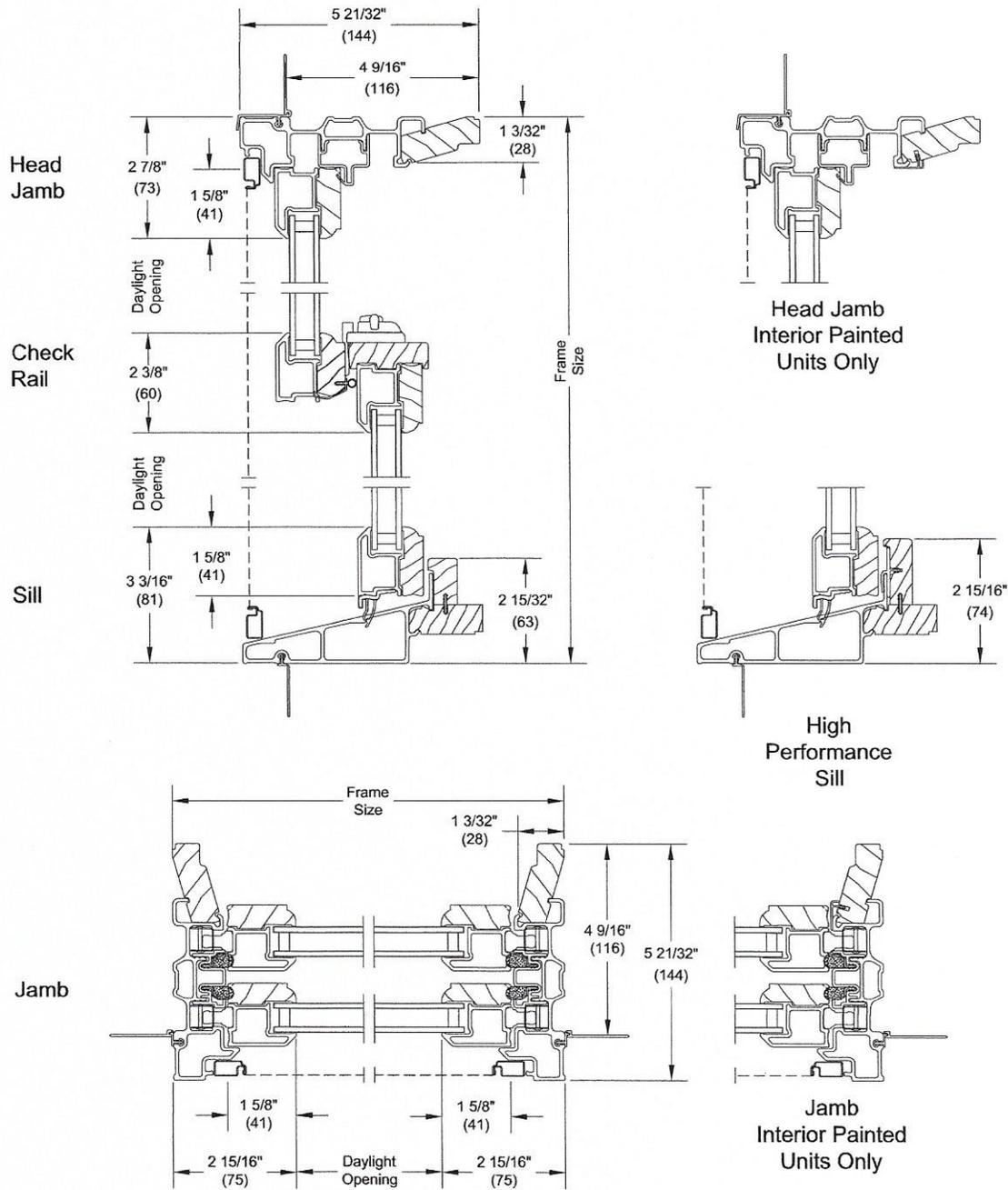
Grilles-Between-The-Glass (GBG):

- 23/32" (18) contoured aluminum bar placed between two panes of glass
- Pattern: Standard rectangular pattern, 6 or 9 lite Prairie cut, or Cottage style cut
 - Exterior colors: Stone White, Pebble Gray, Bronze, Evergreen, Cashmere, or Ebony
 - Interior Colors: White, Bronze or Black
- GBGs are not available on IZ3 units or tinted glass.

*NOTE: Direct Glaze Round Top with GBG or SDL will only align with the default lite cut of the unit it is intended to be mulled with.
NFRC values are now located on www.marvin.com.*

Section Details: Operating - Double Hung (4 9/16" Jamb)

Scale: 3" = 1' 0"



NOTE: CE is not available on High Performance or IZ3 units.

Certified Sizes and Ratings: Standard, High Performance and IZ3 Products

Certified Sizes and Ratings - Standard and High Performance Units								
Product	Air Tested to psf	Water Tested to psf	Certification Rating	Design Pressure (DP)	Max Overall Width		Max Overall Height	
					in	mm	in	mm
Elevate Double Hung (Cottage 4268)	1.57	6.06	LC-PG40-H	DP40	41 1/2	(1054)	67 3/4	(1721)
Elevate Double Hung (Cottage HP 4268)	1.57	7.52	LC-PG50-H	DP50	41 1/2	(1054)	67 3/4	(1721)
Elevate Double Hung (4276)	1.57	6.06	LC-PG40-H	DP40	41 1/2	(1054)	75 3/4	(1924)
Elevate Double Hung (HP 4276)	1.57	7.52	LC-PG50-H	DP50	41 1/2	(1054)	75 3/4	(1924)
Elevate Double Hung (4284)	1.57	5.43	LC-PG35-H	DP35	41 1/2	(1054)	83 3/4	(2127)
Elevate Double Hung (HP 4284)	1.57	6.06	LC-PG40-H	DP40	41 1/2	(1054)	83 3/4	(2127)
Elevate Double Hung (5476)	1.57	6.06	LC-PG40-H	DP40	53 1/2	(1359)	75 3/4	(1924)
Elevate Double Hung (HP 5476)	1.57	7.52	LC-PG50-H	DP50	53 1/2	(1359)	75 3/4	(1924)
Elevate Double Hung (5484)	1.57	5.43	LC-PG35-H	DP35	53 1/2	(1359)	83 3/4	(2127)
Elevate Double Hung (HP 5484)	1.57	6.06	LC-PG40-H	DP40	53 1/2	(1359)	83 3/4	(2127)
Elevate Double Hung Picture (5484)	1.57	5.43	LC-PG35-FW	DP35	53 1/2	(1359)	83 3/4	(2127)
Elevate Double Hung Picture (HP 5484)	1.57	6.06	LC-PG40-FW	DP40	53 1/2	(1359)	83 3/4	(2127)
Elevate Double Hung Picture (6276)	1.57	6.06	LC-PG40-FW	DP40	61 1/2	(1562)	75 3/4	(1924)
Elevate Double Hung Picture (HP 6276)	1.57	7.52	LC-PG50-FW	DP50	61 1/2	(1562)	75 3/4	(1924)

Certified Sizes and Ratings - IZ3 Units								
Product	Air Tested to psf	Water Tested to psf	Certification Rating	Design Pressure (DP)	Max Overall Width		Max Overall Height	
					in	mm	in	mm
Elevate Double Hung (Cottage 4268)	1.57	8.35	LC-PG55-H	+55 / -65	41 1/2	(1054)	67 3/4	(1721)
Elevate Double Hung (4276)	1.57	8.35	LC-PG55-H	+55 / -65	41 1/2	(1054)	75 3/4	(1924)
Elevate Double Hung Picture (5476)	1.57	8.35	LC-PG55-FW	+55 / -65	53 1/2	(1359)	75 3/4	(1924)
Elevate Double Hung Picture (6264)	1.57	8.35	LC-PG55-FW	+55 / -65	61 1/2	(1562)	63 3/4	(1619)

Egress Formulas

Egress Calculations for Special Sizes			
Minimum Value for Net Clear Opening		Desired Dimension	Formula
20"	(508)	Egress Opening Width (inches)	= Frame OMW - 3.128" (79)
24"	(610)	***Egress Opening Height (inches)	Standard (Non-IZ3 Units) = (Frame OMH/2) - 4.904" (128)
			IZ3 and HP Units = (frame OMH/2)-5.362" (140)
			*Egress Sash Stop = (Frame OMH / 2) - 4.104 (108)
		**IZ3 Limited Sash Stop =(Frame OMH/2)-9.862" (254)	
5.7 sq. ft.	(0.53)	Egress Opening Area (sq. ft.)	= (Egress Width x Egress Height) / 144

* Egress sash stop calculation is used for non-IZ3 units in the following ranges:

ELDH 3660

-Special Size Rough Opening Width greater than 34 1/2" (876) and up to 38 1/2" (978) combined with a Special Size Rough Opening Height equal to 60 1/4" (1530) and up to, but not including, 62" (1575) (i.e. 37 1/4" x 61 3/4")

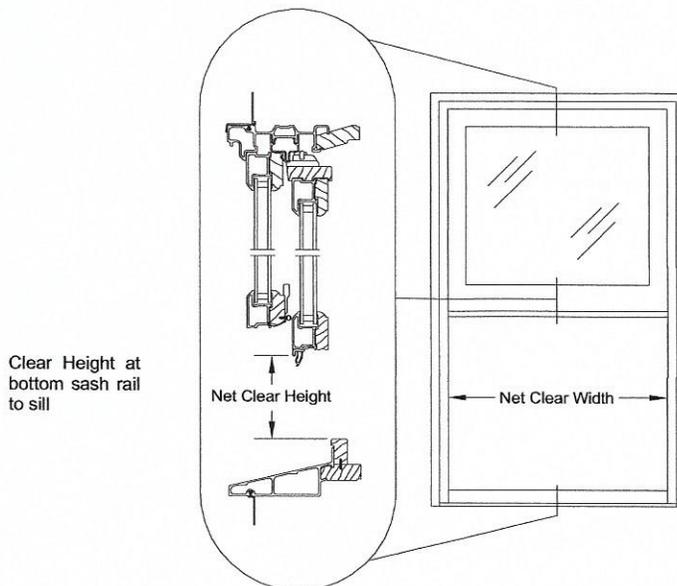
** IZ3 limited sash stop calculation is used for the following units:

-IZ3 units with a Rough Opening width equal to 36 1/2" (927) or greater combined with a Rough Opening Height equal to 76 1/7" (1937) or greater (i.e. 37 1/4" x 76 1/4")

*** All Cottage and Reverse Cottage units do not meet Egress requirements. For specific egress information, please contact your Marvin Dealer.

For all sizes not listed above, the standard sash stop calculation can be used.

EGRESS MEASUREMENTS



Code restrictions may vary depending on your local building codes. For additional information contact your local department for IBC or IRC requirements.

Unit Features

Elevate Inswing French Door: ELIFD

Elevate Inswing French Door Direct Glaze Transom: ELIFDDGTR

Elevate Inswing French Door IZ3: ELIFD IZ3

For applicable certification and code information, refer to the Introduction and Product Performance chapter.

Frame and Sash:

- The frame and sash exteriors are made of Ultrex®, an advanced fiberglass reinforced pultrusion material that is resistant to thermal conductance.
- Exterior colors: Stone White, Pebble Gray, Bronze, Evergreen, Cashmere, or Ebony. Frame and sash color may be selected independently.
- The interior is non finger-jointed pine, kiln-dried to a moisture content 6-12% at time of fabrication. Water repellent, preservative treated. Interior wood is available as Pine bare wood or factory-applied white, clear, and designer black interior finishes. Frame and sash color may be selected independently.

Frame:

- Frame thickness is 1 5/16" (33). Frame width of 4 9/16" (116). The sill is Ultrex with a cellular PVC interior sill liner. 4/4 non finger-jointed pine interior stop is applied to all units. Ultrex is .080" (2) thick.
- 6 9/16" (167) jamb depth available

Panel:

- Composite sash thickness is 1 3/4" (44), stiles and top rails 3 5/8" (92), bottom rail width 6" (152) Ultrex is .110" (3) thick.

Jamb Extension:

- Extension Thickness: 9/16" (14)
- 6 13/16" (173) jamb extension - factory-applied
- Material: Bare Pine
- Option: factory applied white, designer black and clear lacquer interior finish

Hardware:

- Multi-point lock, latch, and deadbolt assembly included with each door.
- Handle has a standard deadbolt and a top and bottom shoot bolts operated by handle set.
- Handle Sets
 - Handle Set: Interior and exterior selected separately.
 - Standard finish is Almond Frost. Optional White, Bright Brass PVD, Oil Rubbed Bronze PVD, Satin Nickel PVD, and Matte Black finishes.
- Standard locking system strike plate will be stainless steel, with an optional brass strike on "X" doors.
- Hinges contain both a horizontal, vertical adjustment feature, and non-removable pin.
 - Three hinges are used on all units.
 - Hinges will be White, Dark Brown, Evergreen, Pebble Gray, Ebony, or Cashmere to match the exterior of the frame.
 - Coastal brass, Oil Rubbed Bronze, or coastal satin nickel hinges with brass substrates.
 - Hinge kits are available in Gold, Grey, White, Dark Brown, and Ebony finishes.
- Keyed alike option is available.

Installation:

- Factory applied folding nailing fin and drip cap system.
- Optional installation brackets for masonry available.
- Factory-supplied field mulling kits are available for standard assemblies.
- IZ3 glazed units require installation clips.

Unit Features Continued**Glazing:**

- Dual-pane units are manufactured with 3/4" (19) Tempered IG with Low E1, E2, E3, or E3/ERS coatings including argon gas or air fill. Clear (uncoated) glass is available with air fill only. Obscure glass is available as an option.
- The glazing seal is a silicone bedding on both interior and exterior surfaces utilized in a sandwich style sash.
- STC/OITC values are available for 3.1mm glass thickness.
 - Optional 3.1/4/7 STC/OITC upgrade glass is available. See the Product Performance chapter for STC and OITC ratings.
- Decorative Glass options include glue chip, frost, and tinted (bronze, gray or green). Decorative glass is not available with Low E1, Low E3/ERS or STC/OITC Upgrade options.

IZ3 Glazing:

- Optional IZ3 available on selected sizes. IZ3 for winds up to 140 miles per hour.
- Glass is laminated, insulated Low E2 or E3 Argon, consisting of annealed or tempered glass exterior and laminated glass interior.
- The laminated glass is comprised of two pieces of glass with either an SGP or PVB laminate layer between.
- Interior and exterior glazing compound is silicone, in a sandwich style glazing system.

Weather Strip:

- All weather strip is black in color (not including the sill).
- All units are constructed with two weather strip at all jamb/panel perimeter joints.
- Jambs, head jamb, astragal, and mull post utilize a dual bulb type weather strip
- Sill weather strip to seal against the bottom rail, and will be black or beige depending on sill color.

Interior/Exterior Simulated Divided Lites (SDL):

- Interior bar: 7/8" (22) wide bars. Pine bare wood with optional white, clear, or designer black interior finishes.
- Exterior bar: Ultrex, 7/8" (22) wide bars, finish to match exterior.
 - Pattern: Standard rectangular pattern, 6 or 9 lite Prairie cut, 6-lite Prairie cut on transom or Cottage style cut.
- Simulated check rail option: 2 11/32" (60).
 - Patterns available: simulated rail in standard center or customer specified location with 7/8" pattern above, below, or both in pattern of rectangular equal lite or Prairie lite cut.
 - IZ3 glazing and tinted glass available without spacer bar only.

Grilles-Between-The-Glass (GBG):

- 23/32" (18) contoured aluminum bar placed between two panes of glass.
- Pattern: Standard rectangular pattern, 6 or 9 lite Prairie cut, or Cottage style cut, or 6-lite Prairie cut on transom.
- Exterior color options: Stone White, Pebble Gray, Bronze, Evergreen, Cashmere, or Ebony.
- Interior Colors: White, Bronze, or Black.
- GBGs are not available on IZ3 glazing or tinted glass.

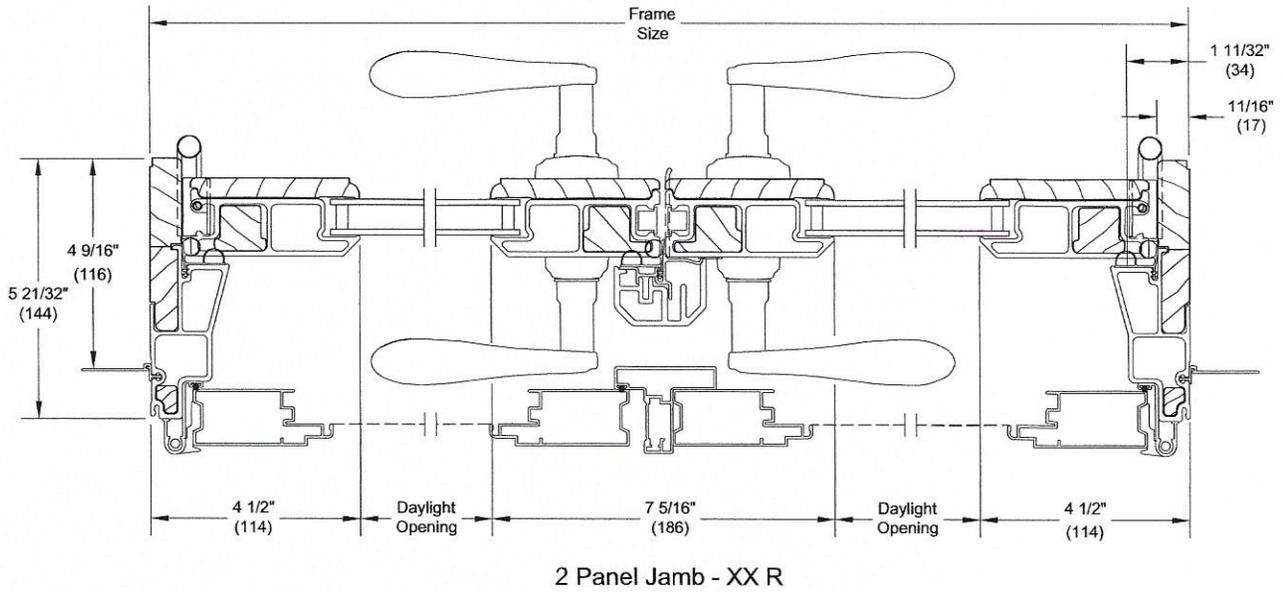
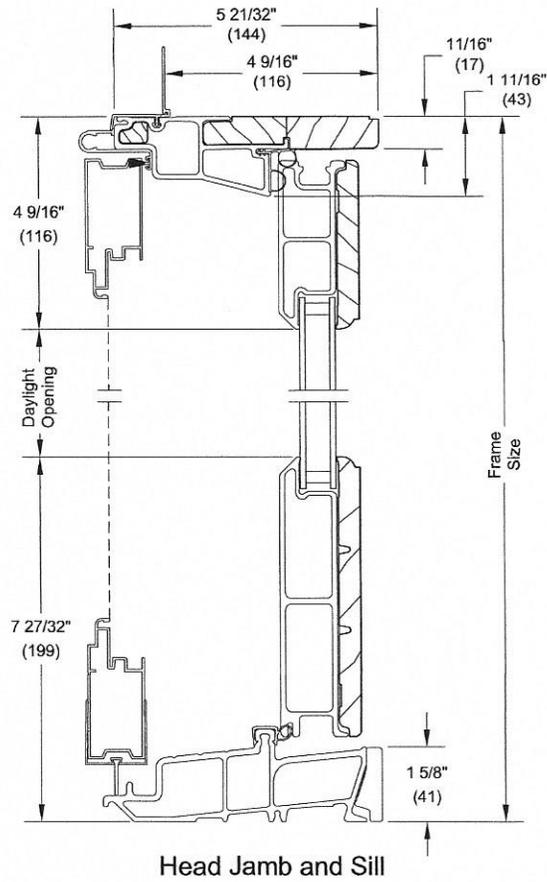
Exterior Casing:

- Non-integral to the unit.
- Fastened to the exterior wall with barb and kerf 2" (51) brick mould available as a head and jamb surround.
- 3 1/2" (89) flat casing available as a head and jamb surround.
- Also available with 1" (25) ranch style header overhang.

NOTE: NFRC Values are now located on www.marvin.com

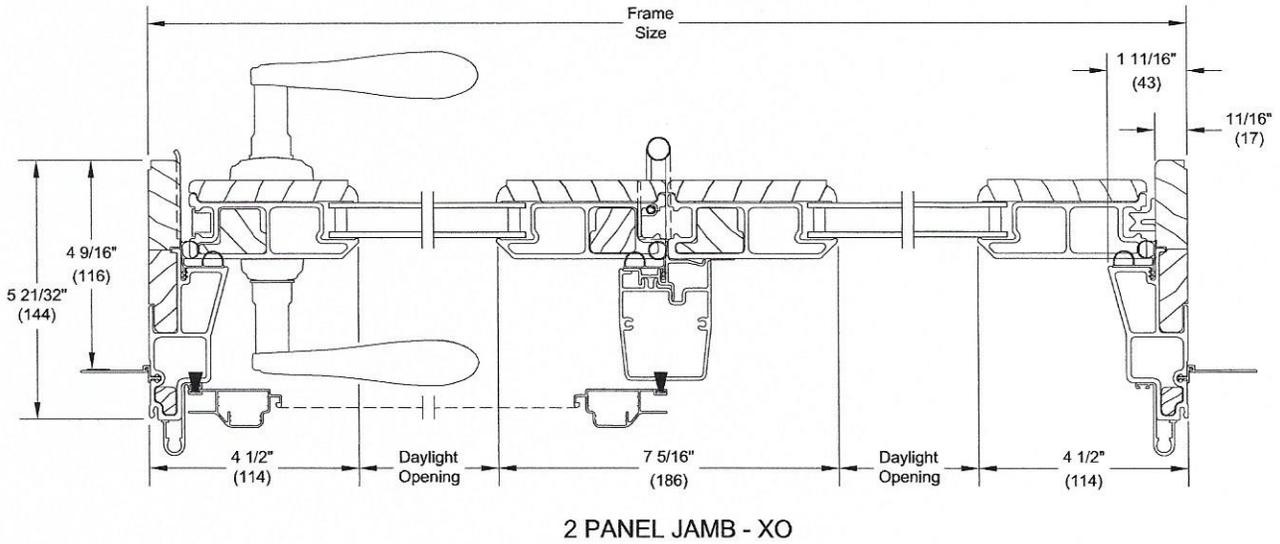
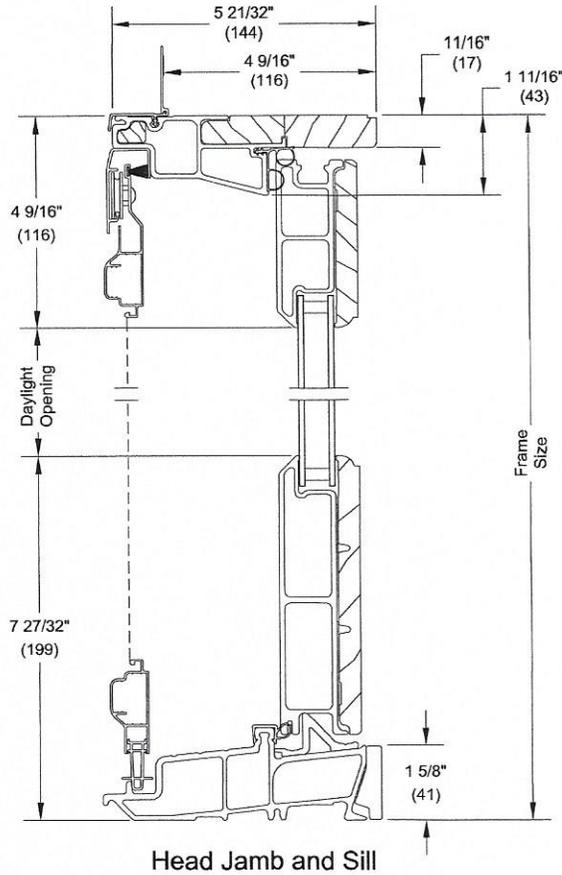
Section Details: Standard - 4 9/16" Jamb - XXR Operator

Scale: 3" = 1' 0"



Section Details: Standard - 4 9/16" Jamb - XO Operator

Scale: 3" = 1' 0"



Minimum/Maximum Guidelines and Certified Sizes

Operator/Stationary Units								
Unit Type	Frame Size							
	Min Width		Min Height		Max Width		Max Height	
	in	mm	in	mm	in	mm	in	mm
1 - Panel	30 5/16	(770)	79 1/2	(2019)	36 5/16	(922)	95 1/2	(2426)
2 - Panel	59	(1499)	79 1/2	(2019)	71	(1803)	95 1/2	(2426)
Door Transom	36 5/16	(922)	15 3/4	(400)	71	(1803)	15 3/4	(400)

NOTE: Special sizes are available in 1/64" increments, not to exceed the minimum or maximum listed above.

Product	Air Tested to psf	Water Tested to psf	Design Pressure (DP)	Certification Rating	Max Overall Width		Max Overall Height	
					in	mm	in	mm
Elevate Inswing French Door (OX / XO)	1.57	4.50	30	LC-PG30-SHD	71	(1803)	95.5	(2426)
Elevate Inswing French Door (XX)	1.57	4.50	30	LC-PG30-SHD	71	(1803)	95.5	(2426)
Elevate Inswing French Door (X)	1.57	4.50	30	LC-PG30-SHD	36.319	(923)	95.5	(2426)
Elevate Inswing French Door (O)	1.57	4.50	30	LC-PG30-SHD	36.319	(923)	95.5	(2426)

Product	Air Tested to psf	Water Tested to psf	Design Pressure (DP)	Certification Rating	Max Overall Width		Max Overall Height	
					in	mm	in	mm
Elevate Inswing French Door (OX / XO) HP	1.57	7.50	50	LC-PG50-SHD	71	(1803)	95.5	(2426)
Elevate Inswing French Door (XX) HP	1.57	7.50	50	LC-PG50-SHD	71	(1803)	95.5	(2426)
Elevate Inswing French Door (X) HP	1.57	7.50	50	LC-PG50-SHD	36.319	(923)	95.5	(2426)
Elevate Inswing French Door (O) HP	1.57	7.50	50	LC-PG50-SHD	36.319	(923)	95.5	(2426)

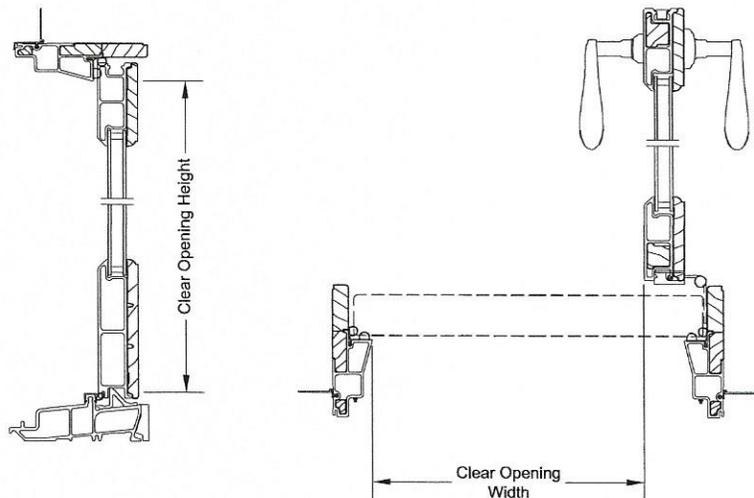
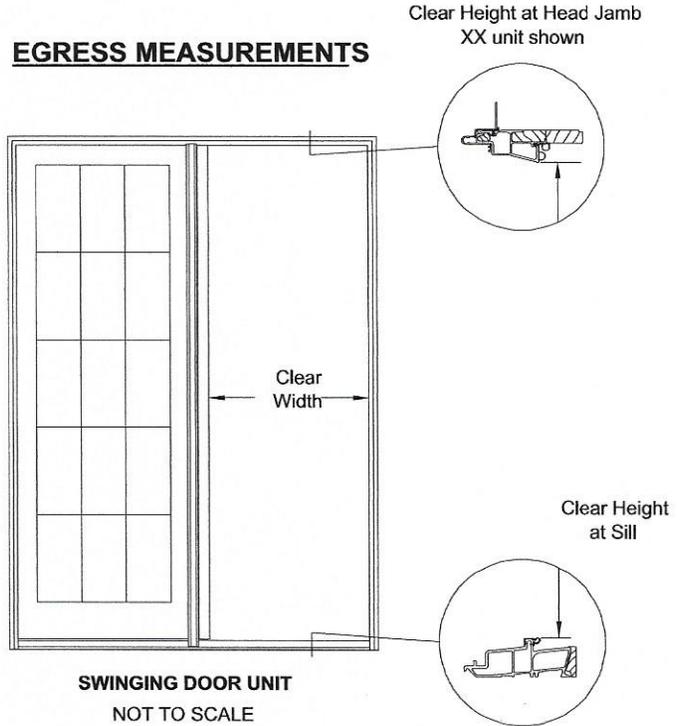
Product	Air Tested to psf	Water Tested to psf	Design Pressure (DP)	Certification Rating	Max Overall Width		Max Overall Height	
					in	mm	in	mm
Elevate Inswing French Door (OX / XO) IZ3	1.57	8.35	+55/-55	LC-PG55-SHD	71	(1803)	95.5	(2426)
Elevate Inswing French Door (XX) IZ3	1.57	8.35	+55/-55	LC-PG55-SHD	71	(1803)	95.5	(2426)
Elevate Inswing French Door (X) IZ3	1.57	8.35	+55/-65	LC-PG55-SHD	36.319	(923)	95.5	(2426)
Elevate Inswing French Door (O) IZ3	1.57	8.35	+55/-65	LC-PG55-SHD	36.319	(923)	95.5	(2426)

Egress Formula

Egress Conversion		
Standard Inswing French Door		
Minimum Value for Net Clear Opening	Desired Dimension	Formula
32"	Egress opening width, in	1 Panel Door
		= ELIFD Frame OM - 4.994
		2 Panel Door (XO, OX)
		= (ELIFD Frame Width / 2) - 4.254
78" (IRC 2012) 80" (IBC 2012)	Egress opening height, in	2 Panel Door (XX)
		= ELIFD Frame Width - 6.588
		X, XX, XO, OX Height
		= ELIFD Frame Height - 3.755
		X, XX, XO, OX Height (Impact/HP)
		=ELIFD Frame Height - 4.41

Egress Measurements

Net Clear Opening Elevate Inswing French Door			
Width			
Unit Type	Call Number	Net Clear Openings	
		ft-in	mm
1 Panel Operator Standard/HP/IZ3 (X)	2-6	2-1 21/64	(643)
	2-8	2-3 21/64	(694)
	3-0	2-7 21/64	(796)
2 Panel Operator Standard/HP/IZ3 (OX / XO)	5-0	2-1 1/4	(641)
	5-4	2-3 1/4	(692)
	6-0	2-7 1/4	(794)
2 Panel Operator Standard/HP/IZ3 (XX)	5-0	4-4 13/32	(1331)
	5-4	4-8 13/32	(1433)
	6-0	5-4 13/32	(1636)
Height			
Unit Type	Call Number	Net Clear Openings	
		ft - in	mm
1 and 2 Panel Standard X/XX/XO/OX	6-5	6-3 3/4	(1924)
	6-8	6-6 1/4	(1987)
	7-0	6-10 1/4	(2089)
	8-0	7-7 3/4	(2330)
1 and 2 Panel HP/IZ3 X/XX/XO/OX	6-5	6-3 3/32	(1924)
	6-8	6-5 19/32	(1987)
	7-0	6-9 19/32	(2089)
	8-0	7-7 3/32	(2330)



Code restrictions may vary depending on you local building codes. For additional information contact you local cod department for IBC and IRC requirements.



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PAVLOWNIA -

FOR SOFFIT / GUTTER
BOARD

EXTERIOR

FEWELL JOB

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GUTTER BOARD

FEWELL JOB



EXTERIOR LIGHTING

GARAGE—ELECTRIC

FRONT PORCH—GAS



Sweetwater

Open Flame:

Natural Gas or Propane Gas

Electric:

Candelabra Socket – Max 60 watt bulb

Edison Base Socket – Max 660 watt bulb

Automatic Ignition: (optional)

Either Natural Gas or Propane Gas, requires 110 line voltage and allows you to operate your gas lantern with a light switch or other device.

*Comes standard with a top curl

*Solid or Glass Top options available

FRONT DOOR

MARVIN ULTIMATE OR MAHOGONY CUSTOM DOOR SIMILAR TO BELOW



FEWELL - 451 East College Street, Murfreesboro, TN – FENCE STYLE



**City of Murfreesboro
Historic Zoning Commission
Staff Comments
Regular meeting: June 16, 2020**

New Business:

- c. **20-H-005: 324 East College Street, Bill Jakes** – Requesting review of new privacy fence along rear lot line of existing single-family residence.



This property is located on the south side of East College Street in between North Academy Street and North Maney Avenue. It contains approximately 0.2 acres and is developed with a single-family dwelling. The property is zoned RS-8 (Single-Family Residential District 8) and H-1 (Historic Zoning Overlay District). It is also located in the CCO (City Core Overlay) district.

The subject property borders Jr's Foodland to the south. Directly across the south property line is the more utilitarian rear of the Jr's Foodland grocery store. Currently there is 7'-tall chain-link fencing with plastic slats along the common property line. There are vines growing on the existing fence and some of the slats are missing or broken. The applicant wishes to erect an 8'-tall wooden privacy fence along the rear lot line of the subject property to help mitigate some of the negative impacts of the adjacent commercial use and to provide for some additional privacy.

A portion of the fence will be visible from the right-of-way of East College Street, specifically on the west side of the lot looking down the driveway. A photographic example of the type of fencing the applicant wishes to erect is included in the application materials. There is an existing wood privacy fence on the adjacent property to the southeast, and the applicant wishes to build a similar fence. The design guidelines for the historic district state that "fences may be added to a lot if they are similar material to other fences and structures in the vicinity, and if they are constructed so as to not disrupt the visual harmony of the front area of the lots." In addition, "the preferred type of fencing is formal wrought iron, wood, or brick."

The applicant will be in attendance at the meeting in order to answer any questions the Commission may have regarding the request.





324 East College Street (the subject property)



Looking down the driveway of 324 East College Street toward the proposed fence along the rear property line



Looking down the driveway of 324 East College Street toward the proposed fence along the rear property line



320 East College Street (directly to the west of the subject property)



330 East College Street (directly to the east of the subject property)



Creating a better quality of life

HZC Application Fees	
Certificate of Appropriateness	
HZC Application (Goes to Meeting)	\$150.00
HZC Application (Admin Approval)	\$ 75.00

Received
 Planning Department
 MAY 26 2020
 111 West Vine Street
 Murfreesboro, TN 37130

To initiate a Historic Zoning Commission Application, an applicant must submit the following:

1. A completed HZC Application Certificate of Appropriateness (below).
2. A non-refundable application fee (prices listed above).
3. Meet with HZC Planner about application.

To be completed by applicant:

Date: 5-26-2020

Owner: Bill Jakes

Owner's Address: 224 N. Maney Phone: (615) 975-0933

Address of Property (if different than above) 324 E. College St.

Current Use: Residential

Describe property / structure (e.g. architectural style, date of construction, condition of structure, history of structure, if known, etc.)

Home was built in 1913 by a local doctor who used the home as his office.

Is this a "contributing" structure? Yes No

Is the property or structure listed on the National Register of Historic Places? Yes No

Check proposed action(s):
 Alteration Addition Demolition New Construction
 Exterior Repairs / Maintenance (No Appearance Changes)

Description of the work to be performed on the property:

70 foot Privacy fence on back property line that adjoins JR's Foodland.

Provide: Photographs, scaled drawings of the plans, elevations and materials to assist the Commission in deciding

Architect: _____

Address: _____ Phone: _____

Contractor: Hooper Fence

Address: 1503 W. College St. Phone: (615) 394-9567

Is there an application relevant to this property and the subject of modifications or improvements pending or contemplated before the Board of Zoning Appeals, Planning Commission or City Council?
 Yes No

If yes, please specify: _____

Who will represent the owner at the Historic Zoning Commission meeting?

Note: The representative needs to be present at the meeting to answer questions and should have the authority to commit the owner to make changes suggested or required by the Historic Zoning Commission.

Name: Bill Jakes Phone: (615) 975-0933

Address: 224 N. Maney Ave

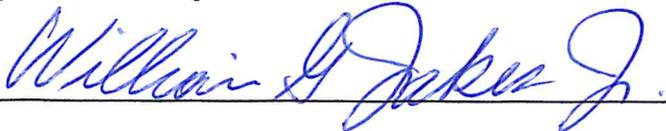
Title or Relationship to Owner: owner

Information:

There will be two inspections **prior** to completion of the Certificate of Appropriateness. One near midway of the project and one at the completion of the project. Call 615-893-6441 at least two working days prior to each the inspection. Upon completing the project, according to the application, the owner will receive a copy of the Certificate of Appropriateness in the mail.

Please complete these forms and submit them to the Planning Department by 3:00 p.m. on the submittal date indicated on the HZC yearly calendar.

Approvals for Certificates of Appropriateness allow six months to begin construction. If work has not commenced with that timeframe, the approval will be expired.

SIGNATURE OF OWNER: 

SIGNATURE OF AGENT (when applicable): _____

*****For Office Use Only*****

Date received: 5/26/20 Receipt #: 50070 Amt Paid: \$150.00 HZC #: _____

Matthew Blomeley

From: Bill Jakes <jakesbill@gmail.com>
Sent: Friday, June 12, 2020 11:54 AM
To: Matthew Blomeley
Subject: Re: [EXTERNAL]- Re: 6/16 HZC meeting
Attachments: IMG_6216.jpeg; IMG_6217.jpeg; IMG_6212.jpeg

Hi Matthew,

I am requesting permission to build an 8 foot wooden privacy fence along the back line of the property I own at 324 E College St. The current fencing on that property line belongs to JR's Foodland and it is a 7 foot tall chain link fence with plastic strips through the fencing. The current fence also has various vines grown on and above it. The plastic strips are damaged and broken and very unsightly. The fence has also been hit by towmoters many times so the fence is bent and leaning over into my property.

I'm proposing to build an 8 foot standard dog ear picket fence In front of the chain link that will hide the chain link fencing from my yard. A neighboring property has this exact same fence at 331 E Main and they've used it to screen the chain link between them and JR's as well.

I would like to adjoin that fence at the back corner of my property and build my matching fence along my back property line.

Ive attached pictures of the current fencing as well as the style I'd like to install and the neighbor's fence.

Ive contracted with Hooper Fencing to do the installation and they are waiting on me to get approval to start the job.

Thank you for your consideration.

Sincerely,

Bill Jakes



Example of type of fence proposed



Existing chain link fence along rear lot line

A photograph of a weathered wooden privacy fence. The fence is constructed from vertical wooden planks and has a decorative scalloped top edge. It is surrounded by lush green plants and vines, some of which are climbing over the fence. In the background, a brick building is visible. The text "Existing wooden privacy fence on adjacent property to the southeast" is overlaid in yellow on the fence.

Existing wooden privacy fence on adjacent property to the southeast

View of back yard and of adjacent grocery store property to the south

