

CITY OF MURFREESBORO PLANNING COMMISSION AGENDA

City Hall, 111 W. Vine Street, Council Chambers

THIS IS THE RESCHEDULED APRIL 8, 2020 6:00 PM MEETING

In accordance with Executive Order No. 16 issued by Governor Bill Lee, the Murfreesboro Planning Commission April 22, 2020 meeting will be conducted electronically and there will not be physical public access to the meeting as necessary to protect public health, safety and welfare in light of the coronavirus. The public may view the meetings electronically through Murfreesboro CityTV which is broadcast on Comcast Xfinity Channels 3 and 1094 and on AT&T U-verse Channel 99. The meeting can also be streamed on Roku, YouTube (www.youtube.com/cityofmurfreesboro), Facebook (www.facebook.com/cityofmurfreesborotn), and the City's website (and www.murfreesborotn.gov).

**APRIL 22, 2020
6:00 PM**

**Kathy Jones
Chair**

- 1. Call to order**
- 2. Determination of a quorum and determination that meeting electronically is necessary to protect the health, safety, and welfare of Tennesseans and Murfreesboro citizens in light of the COVID-19 outbreak.**
- 3. Approve minutes of the February 19, 2020 Planning Commission meeting:**
- 4. Public Hearings:**
 - a.** Zoning Request [2020-403] for PS (Planned Signage) Overlay District program book for New Vision Baptist Church for approximately 30 acres along North Thompson Lane, West College Street and West Northfield Boulevard, New Vision Baptist Church applicant. (Project Planner: Teresa Stevens)
 - b.** Zoning application [2019-435] for approximately 1.44 acres located at the northeast corner of Gold Valley Drive and North Rutherford Boulevard to be rezoned from PCD to PRD (Rutherford Corner PRD), Masterson Homes, Inc. applicant. (Project Planner: Amelia Kerr)
 - c.** Mandatory Referral and Right-of-way abandonment [2020-702] to consider abandonment of a portion of Titans Circle right-of-way and the abandonment of drainage, detention, and utility easements, Huddleston-Steele Engineering, Inc. applicant. (Project Planner: Marina Rush)

MURFREESBORO PLANNING COMMISSION AGENDA

PAGE 2

April 22, 2020

5. Staff Reports and Other Business:

- a. Hear report from Planning Director regarding Planning Department processes in response to CDC guidelines during COVID-19 (novel Coronavirus) pandemic and report from Assistant Planning Director regarding schedule changes.
- b. Zoning Ordinance amendment [2020-803] for *Section 26. Off-Street Parking, Queuing, and Loading* as regards joint use of required parking spaces, City of Murfreesboro Planning Department applicant.
- c. Doug Young Public Safety Training Center [2017-3079] architectural elevations for public safety training facility buildings on 8.79 acres zoned RM-16 located along New Salem Highway and Bridge Avenue, City of Murfreesboro developer. (Project Planner: Austin Cooper)

6. Adjourn.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 22, 2020**

4.a. Zoning Request [2020-403] for approximately 30.03 acres located along North Thompson Lane and West College Street to be rezoned from RS-15 to RS-15 and PSO (New Vision Baptist Church) PSO, New Vision Baptist Church, applicant.

The subject property is located at 1750 North Thompson Lane, the corner of North Thompson Lane and West Northfield Boulevard. The property consists of approximately 30.03 acres. The property is zoned RS-15.

The purpose of the Planned Sign Overlay zone is to allow the applicant an opportunity to present a cohesive plan for the entire project that addresses everything from permanent building signage to temporary signs. The property has three existing monument signs; one per entry.

The proposed PSO would allow additional freestanding signs on the property at building entrances, parking lot intersections, attached building signs and string lighting around outdoor assembly areas. There is also a proposed mural on 3 elevations at the rear of the building, as well as temporary signs. The following table provides information as pertains to the current Sign Ordinance as well as the signage proposed in the Planned Sign Overlay.

Sign Ordinance	Proposed PSO with Sheet Number
<p>Mural</p> <ul style="list-style-type: none"> • Sign Ordinance defines mural as ‘painting or graphics applied directly to a wall or permanent surface other than a window which contains no advertising material’ • Murals on a side or rear wall are not subject to the regulation of Chapter 25.2 • Murals placed on the front or on more than two elevations of a building are prohibited 	<p>Mural (3.3)</p> <ul style="list-style-type: none"> • Mural displayed on 3 elevations, all on the rear or side of the building
<p>Complex-Freestanding Wall Sign</p> <ul style="list-style-type: none"> • Two per lot maximum • Letters shall not exceed 24 inches in height • Display surface 40 square feet • Eight feet overall maximum height • Push thru or indirect illumination 	<p>Complex-Freestanding Wall Sign (Monument Sign 4.0)</p> <ul style="list-style-type: none"> • One per entrance-5 sign proposed • Letter height of less than 14 inches • Display surface 40 square feet or less • Eight feet overall height or less • Indirect illumination

<p>Routing Sign- Ground/Freestanding</p> <ul style="list-style-type: none"> • One per intersection • Ten (10) square feet display surface area • Five feet from ROW, eight feet from power lines • Maximum eight feet overall height • Indirect or push thru illumination 	<p>Routing Sign- Freestanding (Vehicle Routing Sign 5.0)</p> <ul style="list-style-type: none"> • One per intersection • Sixteen (16) square feet display surface area • Seven feet overall height • No illumination
<p>Canopy Sign</p> <ul style="list-style-type: none"> • Not permitted within Institutional Group Assemblies 	<p>Canopy Sign (6.0)</p> <ul style="list-style-type: none"> • Sign face area 39 square feet (sqft not to exceed 2 sqft per linear ft of canopy elevation to which it is attached) • Extends above canopy elevation • Individual channel letters (white in color), raceway mounted with no exposed raceway • Internal illumination with ambient light control • Up to 5 building entrances
<p>Freestanding Wall Sign</p> <ul style="list-style-type: none"> • Two per lot maximum • Letters shall not exceed 24 inches in height • Display surface 40 square feet • Eight feet overall maximum height • Push thru or indirect illumination 	<p>Freestanding Wall Sign (Pillar Signs 7.0)</p> <ul style="list-style-type: none"> • Four per building entrance, up to four entrances • Display surface area 16 square feet each • Nine feet overall height • Individual channel letters (white in color), with no exposed raceway or junction boxes. • Internal illumination with ambient light control • Brick base to match building
<p>Convenience Sign</p> <ul style="list-style-type: none"> • Defined as a sign 3sqft or less in surface area • Exempt from permitting (must following ordinance regulations) • Illumination allowed with electric permit 	<p>Convenience Sign (Pole Sign8.0)</p> <ul style="list-style-type: none"> • Display surface area ranging from 1 sqft to 7.5 sqft depending on use • No illumination

<p>Temporary Signs</p> <ul style="list-style-type: none"> • ‘Other Temporary Sign’, allowed to have 3 per parcel, 32 sqft maximum sign face area, 12 feet overall height, one foot from ROW, illumination is not allowed, timing is 10 days after conclusion of temporary purpose, multiple signs shall not be placed to appear to be one sign that exceeds the 32 sqft., all zones, on-site only • ‘Feather Signs’, allowed to have 3 per parcel maximum, each feather sign counts as one temporary sign, 32 sqft maximum, must be placed 14 feet from curb & cannot be in ROW, 14 feet maximum height, no illumination allowed, timing is not applicable, all zones 	<p>Temporary Signs (9.0)</p> <ul style="list-style-type: none"> • ‘Other Temporary Sign’ 36”x96” or 24 square feet, ‘banner’ with hard back, one per entrance to property, no illumination, not to be placed in ROW, used for a 3-month time period • ‘Feather Sign’, 14 feet from curb, two per entrance, no illumination, 3’x12’ or 36 sqft
<p>Attached Signs</p> <ul style="list-style-type: none"> • Three signs per building • 3 square feet per linear foot, not to exceed 75 square foot maximum • Ground level floor maximum height • Push thru or indirect illumination 	<p>Attached Sign (Future Attached Wall Signs 10.0)</p> <ul style="list-style-type: none"> • Sign face area to be no larger than 2.5 square feet per linear foot of building elevation to which it is attached. • Push thru or indirect illumination • No exposed raceway, individual channel letters where applicable
<p>String Lighting</p> <ul style="list-style-type: none"> • Prohibited in a non-residential zone or the non-residential use area of a mixed-use zone except between November 15 thru January 15 	<p>String Lighting (Future String Lights 11.0)</p> <ul style="list-style-type: none"> • White light only • Shall not blink, chase, etc. • Commercial grade and be listed for exterior use • String lighting shall hang a minimum of 8’ above finish grade or sidewalk

A New Vision Baptist Church representative and City Staff will make a brief presentation regarding the proposed PSO request at the Planning Commission meeting. The Planning Commission will need to conduct a public hearing on the matter of the PSO zone request, after which it will need to discuss this matter and then formulate a recommendation for City Council.

Submitted for Public Hearing Planning Commission Meeting
April 22, 2020

PLANNED SIGNAGE OVERLAY



NEW VISION

1750 North Thompson Lane
Murfreesboro, TN 37129



VISIONEER STUDIOS
Architecture
www.VisioneerStudios.com
1530 Riverside Dr., Nashville, TN 37206

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1750 N. THOMPSON LN., MURFREESBORO, TN 37129

DATE
03/11/2020

PROJECT
CODE
19617

NEW VISION BAPTIST CHURCH

COVER SHEET

Sheet No.
1.0

C:\Users\rthompson\Documents\Murfreesboro - New Vision - Renovation_rthompson.rvt

NEW VISION BAPTIST CHURCH PLANNED SIGNAGE OVERLAY DOCUMENT CONTAINED HEREIN SHALL BE USED FOR LOCATION SIGNAGE IN ACCORDANCE WITH THE CITY OF MURFREESBORO SIGNAGE CRITERIA.

CITY DOCUMENTS MAY BE OBTAINED BY CONTACTING:

City of Murfreesboro
Building Codes Department
111 W. Vine Street, 2nd Floor
615-893-3750

OWNER'S CONTACT

Greg Freeman
New Vision Baptist Church
1750 N. Thompson Lane
Murfreesboro, TN 37129
(615) 691-0451 cell

ARCHITECT

Regina Thompson
Vioneering Studios Architecture, Inc.
1530 Riverside Drive
Nashville, TN 37206
615-974-5097 cell

CONSULTANT

Kevin Chastine
Griggs & Maloney, Inc.
745 South Church Street
Suite 205
Murfreesboro, TN 37130

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DATE
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19617

TABLE OF CONTENTS
CONTACT INFO

Sheet No.
2.0

NEW VISION BAPTIST CHURCH

PLANNED SIGNAGE OVERLAY – NEW VISION BAPTIST CHURCH

PURPOSE STATEMENT: This Planned Sign Overlay (PSO) is to establish sign standards and guidelines for the New Vision Baptist Church campus.

STATEMENT OF DIFFERENCE: This PSO Master Signage Plan differs from currently permitted signs within the RS-15 zone district due to the Quantity of Signage, Size of Signage, Materials and Lighting. This PSO Master Signage Plan is being requested due to the location of a Institutional Group Assembly Use (Church) being located within a residential zone district, which contains limited signage requirements in comparison to the size and function of the church.

PROPERTY OWNER: New Vision Baptist Church of Murfreesboro

CONTACT: **Greg Freeman**
Executive Pastor
1750 North Thompson Lane
Murfreesboro, TN 37129
(615) 895-7167

TAX MAP ID#: Tax Map 79 Parcel 71.01 and Tax Map 80 Parcel 2.00

ZONING: RS-15 – Single Family Residential District

LAND USE: Institutional Group Assembly Use (Church) – Special Use Permit

ACREAGE: Tax Map 79 Parcel 71.01 – 24.15 (+/-) acres
Tax Map 80 Parcel 2.00 – 3.55 (+/-) acres
Accessory Lot to Lot 3 – 2.33 (+/-) acres
Total Acreage – 30.03 (+/-) acres

GENERAL PROVISIONS:

All signage must comply with this Plan Sign Overlay (PSO) as reflected in this master signage plan.

No sign may be installed which is not provided for in this PSO Master Signage Plan.

All signs shall be a minimum of five (5) feet from the right-of-way and eight (8) feet from any property line.

All existing signs shall be considered in compliance with these guidelines as long as no changes are made to the sign other than routine maintenance.

Approval of this PSO Master Signage Plan does not provide authorization to install any sign. A sign permit application must be filed with the Building & Codes Department and a sign permit issued prior to the installation of any sign.

All construction shall comply with all applicable provisions of the currently adopted version of the International Building Code (IBC). All electrical components of all signage must comply with the currently adopted version of the National Electric Code (NEC).

"Minor deviations." when filing subsequent applications for required permits or approvals, the applicant must identify any deviations from this approved PSO Master Signage Plan as same may be amended from time to time. The Chief Building Official and Planning Director shall evaluate the deviations to determine whether they are substantial or minor. The deviation will be deemed minor and may be approved administratively if:

- 1) It provides for fewer or smaller signs than the approved PSO Master Signage Plan; or
- 2) It modifies the orientation of signs or their locations, as long as such changes do not significantly alter or adversely affect the relationship of such signs to the total development or any of its elements.

All other deviations. Changes or additions require an amendment to the PSO Master Signage Plan. Which includes submissions to and review and approval by the Design Review Committee (DRC) of the Gateway Property Owners Association (only as required), the City Planning Department and Building & Codes Department, the Planning Commission and City Council

All provisions of this PSO Master Signage Plan, as some may be amended, are binding on all successors and assigns of any portion of the property to which this PSO Master Signage Plan applies.

All permitting and fees, codified in Section 25.2-20 of the Murfreesboro Sign Ordinance shall apply to all signs in this PSO Master Signage Plan, regardless if the signs are visible from the public right-of-way.

SIGNAGE CONSTRUCTION:

A. Materials

- 1. The City encourages innovation of design and sophistication of materials (i.e. polished brass, etc.).
- 2. Sign Foam (Sintra) will not be permitted for signage.

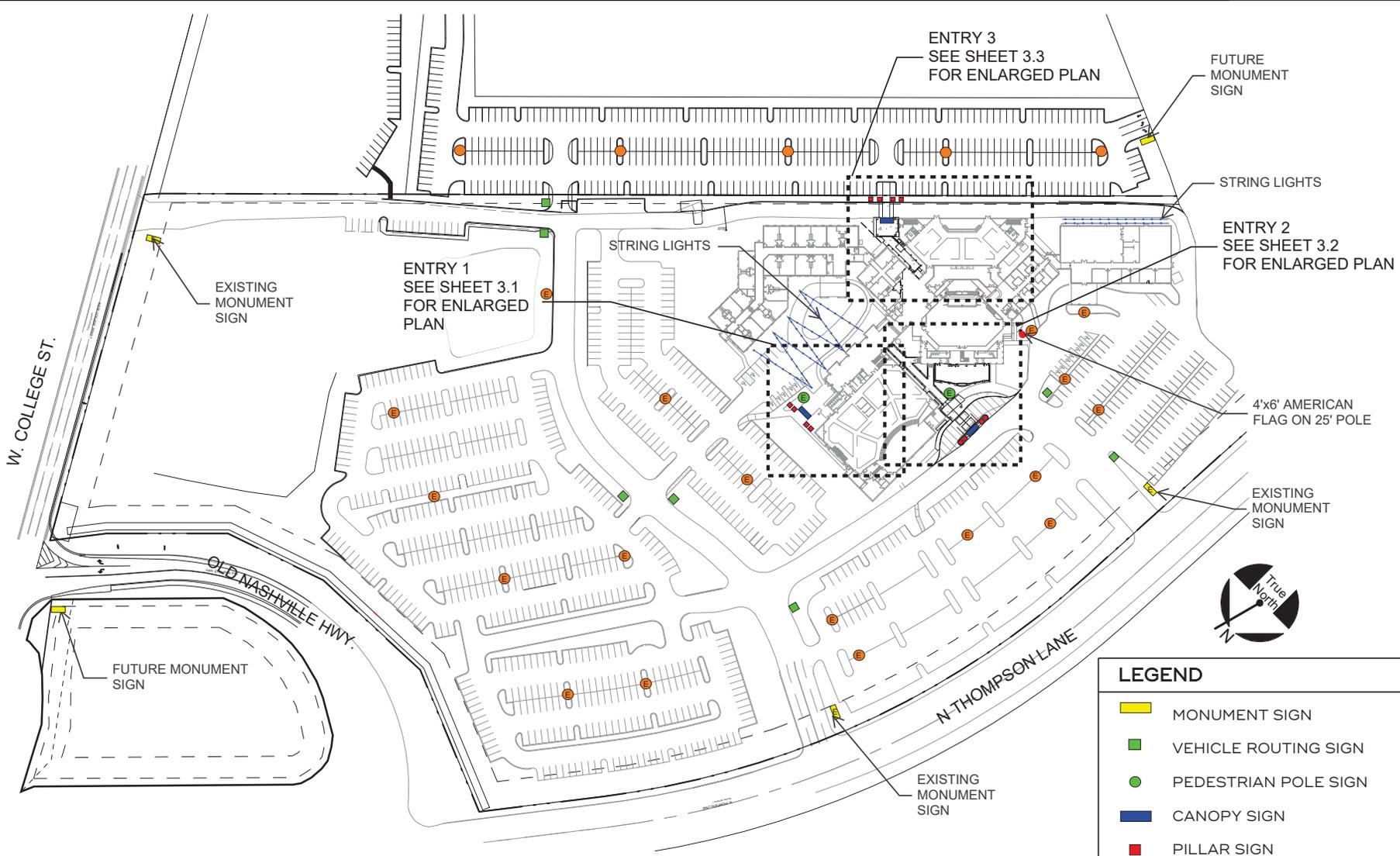
B. Sign Illumination: All Identity signs shall be illuminated, except as specifically described on the following pages. The following types are allowed:

- 1. Individual dimensional metal back-lit (halo-effect) letter or light by external light fixtures.
NOTE: No exposed neon tube light sources will be allowed.
- 2. Channel Letters.
- 3. Solid Cast Letters, minimum three (3) inches thick, with external lighting of face shall also be allowed.
- 4. Interesting and innovative, but non-conforming signage design shall be submitted to the City for pre-approval on a case-by-case basis.

C. Size: Refer to specific requirements on the following pages.

INTERNAL SIGNAGE REVIEW PROCESS:

- 1) Need for new or updated signage originates at Staff level.
- 2) Staff coordinates with Church Business Administrator for internal review and recommendation of signage request.
- 3) Church Business Administrator forwards signage request to Executive Pastor, who provides review and recommendation of signage request.
- 4) Executive Pastor Staff presents signage request to Senior Leadership Team who reviews and provides recommendation.
- 5) Senior Leadership Team presents signage request and recommendation to Vision Team for final review and approval.
- 6) Executive Pastor or designee submits formal signage application to City of Murfreesboro for review and approval.



1750 N. THOMPSON LN., MURFREESBORO, TN 37129

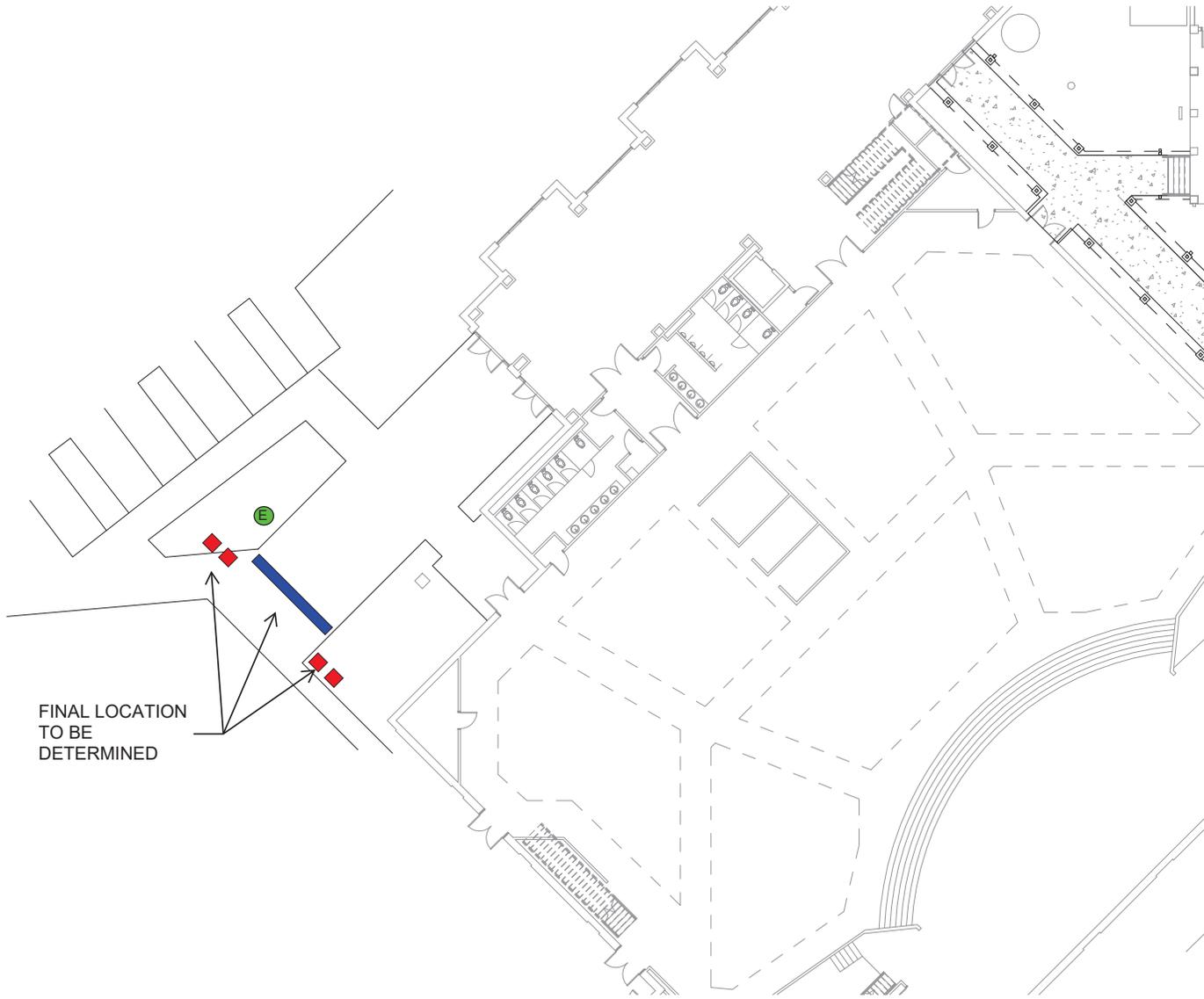
NEW VISION BAPTIST CHURCH

DATE
03/11/2020

PROJECT
CODE
19617

OVERALL SITE PLAN

Sheet No.
3.0



FINAL LOCATION
TO BE
DETERMINED

ENTRY 1 - ENLARGED PLAN

ENTRANCE FACING OLD NASHVILLE HWY.



LEGEND

- CANOPY SIGN
- PILLAR SIGN
- PEDESTRIAN POLE SIGN
- E EXISTING SIGN

1750 N. THOMPSON LN., MURFREESBORO, TN 37129

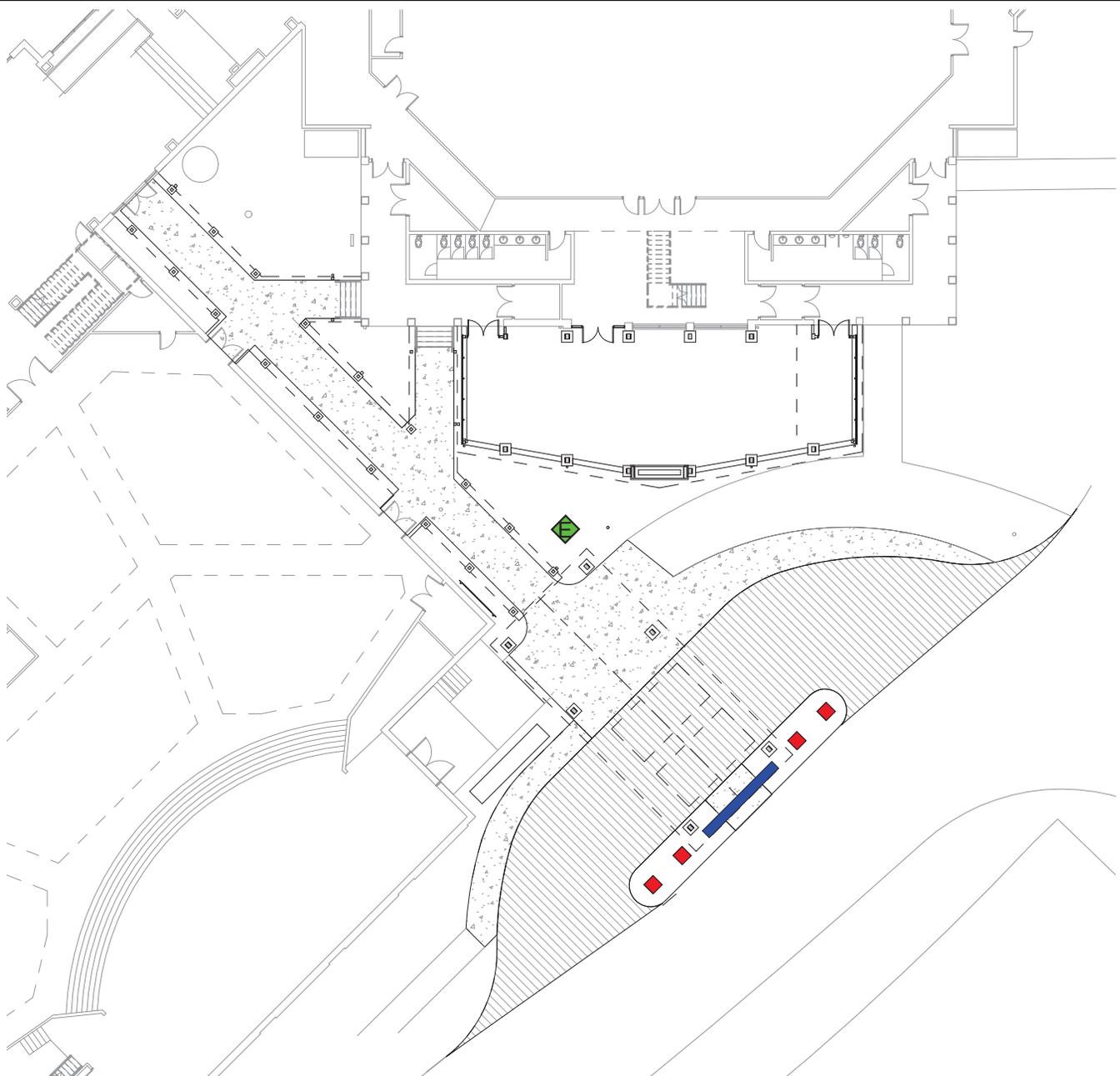
NEW VISION BAPTIST CHURCH

DATE
03/11/2020

PROJECT
CODE
19617

ENTRY 1 ENLARGED PLAN

Sheet No.
3.1



ENTRY 2 - ENLARGED PLAN

ENTRANCE FACING THOMPSON LANE



LEGEND

- CANOPY SIGN
- PILLAR SIGN
- PEDESTRIAN POLE SIGN
- E EXISTING SIGN

1750 N. THOMPSON LN., MURFREESBORO, TN 37129

NEW VISION BAPTIST CHURCH

ENTRY 2 ENLARGED PLAN

Sheet No. **3.2**

DATE
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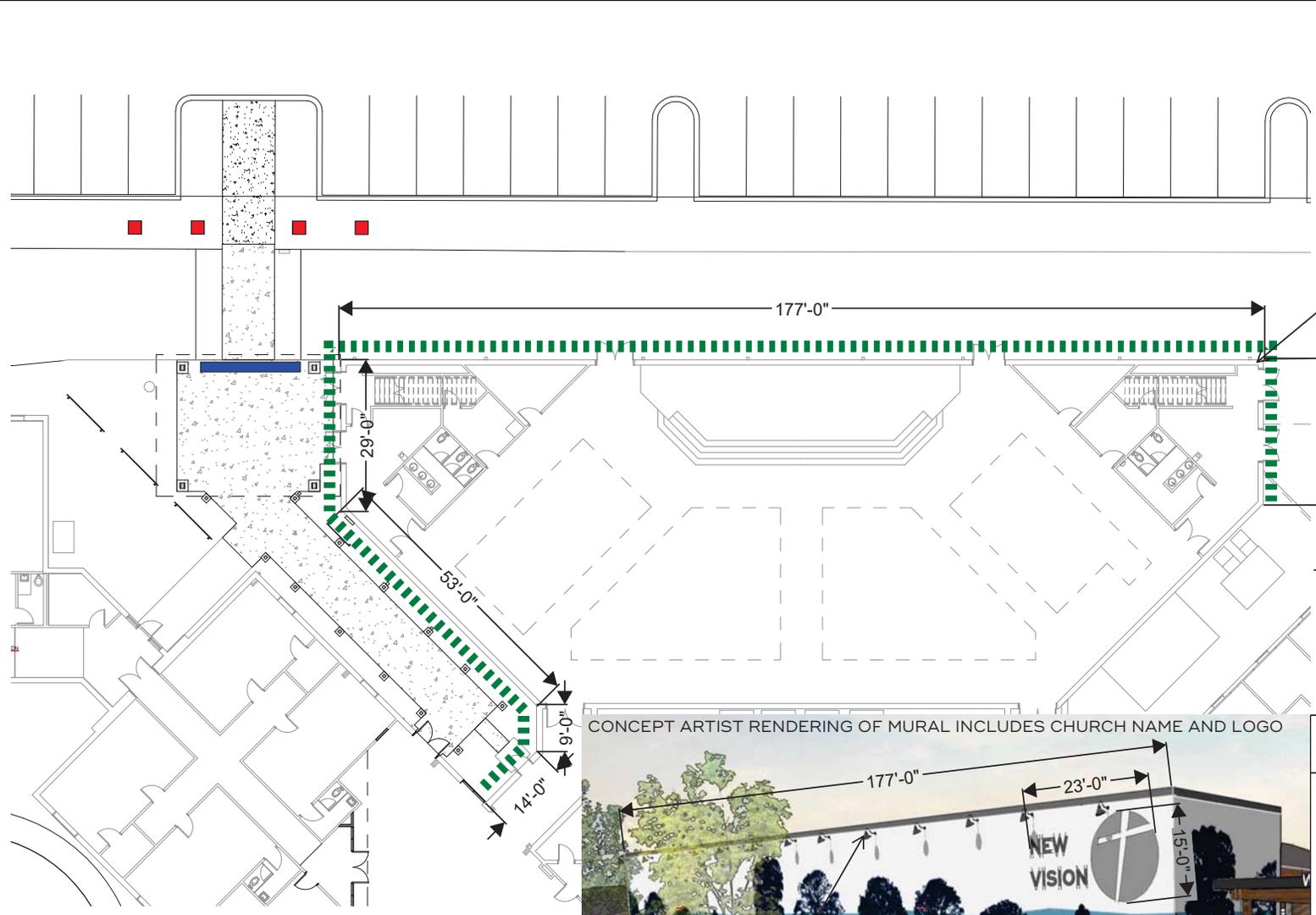
NEW VISION BAPTIST CHURCH

DATE
03/11/2020

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**ENTRY 3 ENLG. PLAN
MURAL EXAMPLE**

Sheet No.
3.3



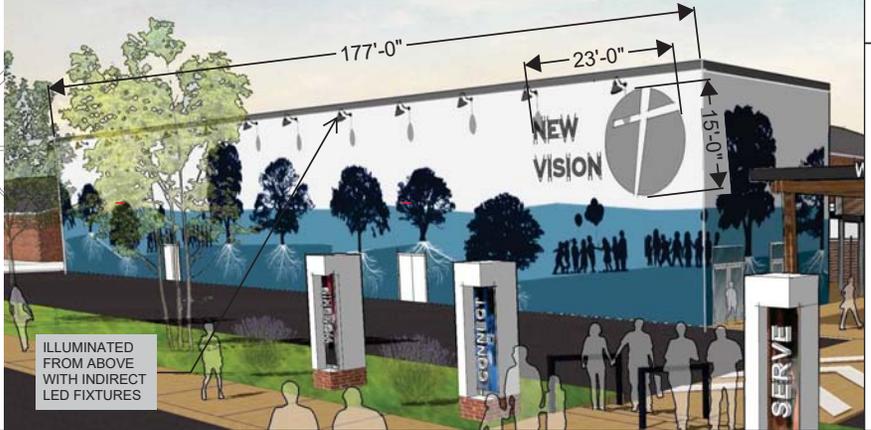
MURAL WALLS ARE 28'-0" TALL

ENTRY 3 - ENLARGED PLAN

ENTRANCE FACING SOUTH
PARKING LOT



CONCEPT ARTIST RENDERING OF MURAL INCLUDES CHURCH NAME AND LOGO

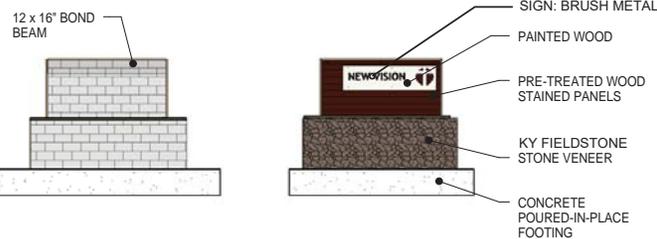
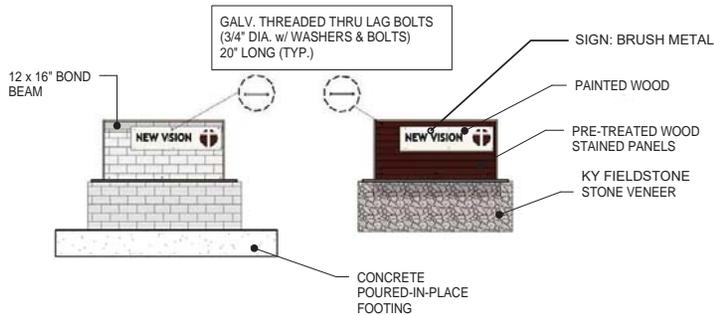


ILLUMINATED FROM ABOVE WITH INDIRECT LED FIXTURES

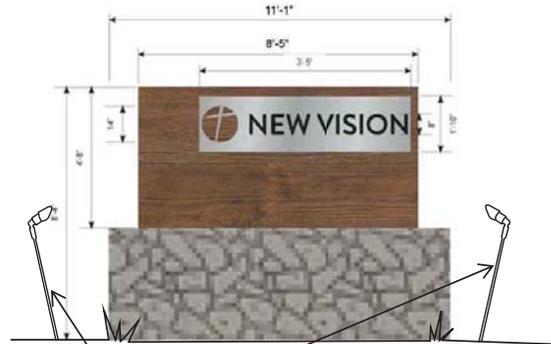
LEGEND

- EXTENT OF MURAL
- CANOPY SIGN
- PILLAR SIGN

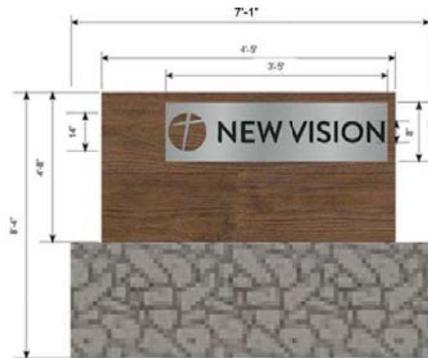
C:\Users\rthompson\Documents\Murfreesboro - New Vision - Renovation_rthompson.rvt



EXTERNAL ILLUMINATION AT 4 CORNERS OF SIGN MATCH EXISTING SIGNS



SIGN # 1 - Thompson Lane
SIGN # 2 - Thompson Lane
Not to Scale



SIGN # 3 - West College Street
Not to Scale

ONE SIGN PER ENTRANCE TO PROPERTY

MATERIAL LEGEND	COLOR (DETERMINED BY OWNER)	MANUFACTURER
	SANDLEWOOD CHOCOLATE	PER OWNER
	SANDLEWOOD CHOCOLATE	PER OWNER
	LIGHT BEIGE	PER OWNER
	LIGHT BEIGE	

Structural Civil Buildings
 615.890.8713
 214 W. Vine Street
 Murfreesboro, TN 37130
 615.890.8713

THE ENGINEER DENIES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR PROBLEMS WHICH ARISE FROM OTHERS' FAILURES TO OBTAIN AND/OR FOLLOW THE DESIGN ENGINEER'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

THIS DRAWING HAS BEEN ISSUED:

- FOR REVIEW ONLY
- FOR PERMITTING
- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- CONSTRUCTION DOCUMENTS

PROPOSED GROUND SIGNS FOR:
New Vision Baptist Church Sign
 1750 N. Thompson Lane
 Murfreesboro, TN 37129

Date: 3-17-2017 Project No. 17-0317

No.	Description	Date
	Issued Preliminary Plans to Owner	7-17-2017
1	** Revised sign face area	9-15-2017

Elevation View



9-15-2017

A-1

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New Vision Baptist Church Sign

1750 N. Thompson Lane
Murfreesboro, TN 37129

Date: 3-26-2017 Project No. 17-0317

No.	Description	Date
1	** Revised sign face area	9-15-2017

Sign Details- Thompson Lane



S-1

1750 N. THOMPSON LN., MURFREESBORO, TN 37129

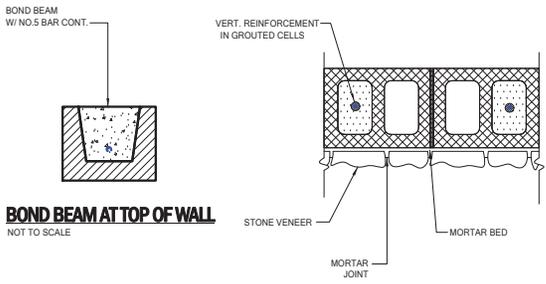
NEW VISION BAPTIST CHURCH

DATE
03/11/2020

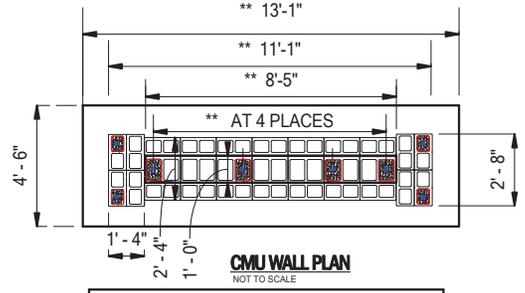
PROJECT
CODE
19617

**MONUMENT
SIGNS**

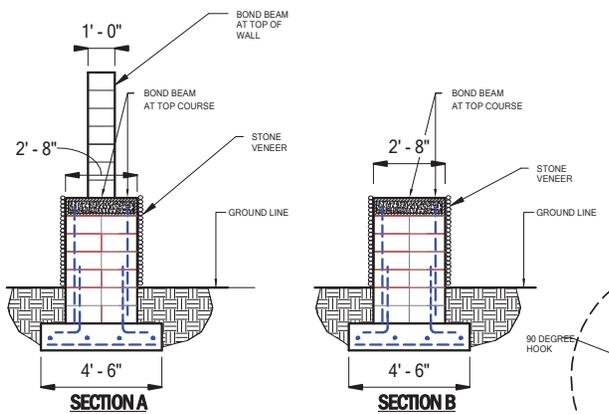
Sheet No.
4.1



TYP. CMU W/VERT. REINF.
NOT TO SCALE



**** NOTE: The sign dimensions has been revised to be under 40 square feet for this overlay district. (SIGN AREA =39.27 SQUARE FEET)**

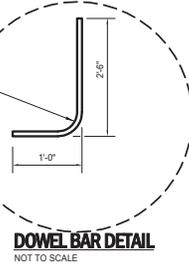


FOOTING SPECIFICATION:

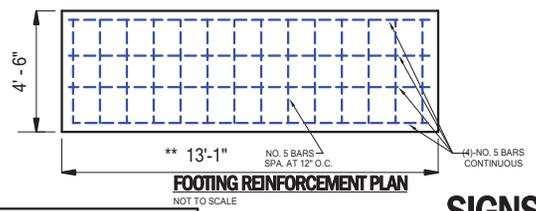
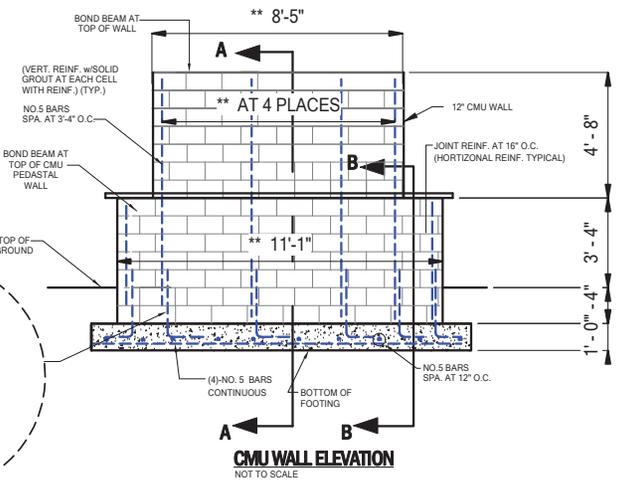
A. MATERIALS

	ASTM SPECIFICATION (MINIMUM)
1.0 STEEL	
1.01 CONCRETE REINFORCING	A615, GRADE 60
1.02 CONCRETE REINFORCING TIES	A615, GRADE 40
2.0 CONCRETE	
2.01 PORTLAND CEMENT	C-150
2.02 AGGREGATE	C-33
2.03 GROUT HIGH STRENGTH, NON-SHRINK, NON-FERROUS	A615, GRADE 60 A615, GRADE 40
3.0 STONE- FACE OF WALLS	
3.01 STONE VENEER (PER OWNER)	SEE MANUFACTURER SPECS
4.0 ELECTRICAL	
4.01 NO ELECTRICAL IN SIGN	

NOTE: ALL CONCRETE SHALL BE MINIMUM COMPRESSIVE STRENGTH @ 28 DAYS OF 3000 PSI, CONCRETE SHALL BE PLACED USING LATEST AMERICAN CONCRETE INSTITUTE (ACI) SPECIFICATIONS.



DO NOT SCALE THESE DRAWINGS. ASK DESIGNER FOR ANY CLARIFICATION OR DIMENSION VERIFICATION.



SIGNS # 1 & 2

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Structural Civil Buildings

Mark D. Ours, P.E.
www.mdoe.com
615.890.8713

214 W. VINE STREET
Murfreesboro, TN 37130
615.890.8713

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New Vision Baptist Church Sign
1750 N. Thompson Lane
Murfreesboro, TN 37129

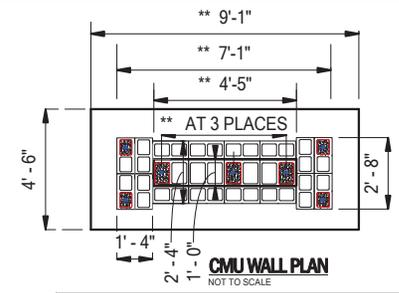
Date: **3-26-2017** Project No. **17-0317**

No.	Description	Date
1	** Revised sign face area	9-15-2017

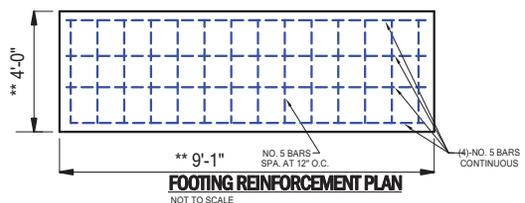
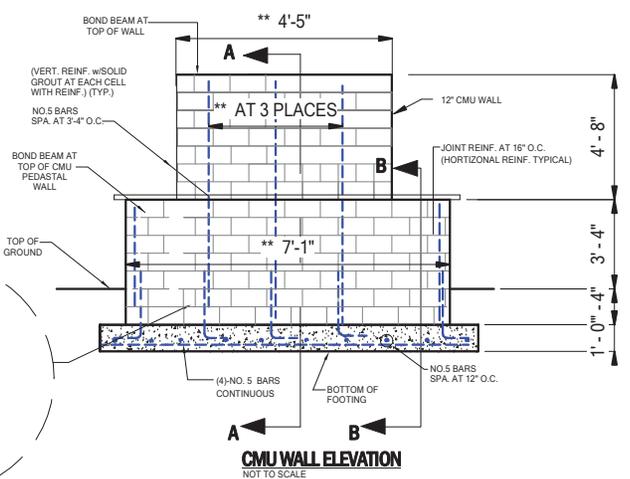
Sign Detail - West College Street



S-2

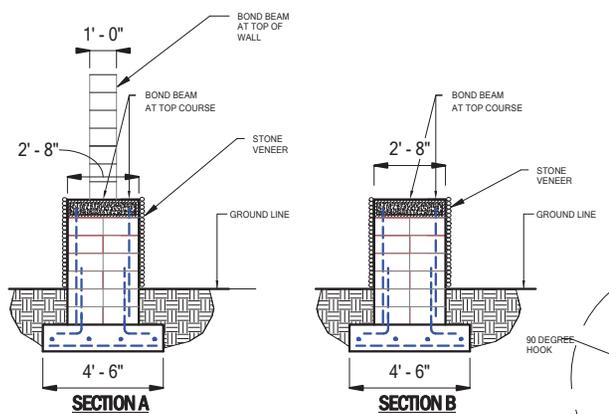
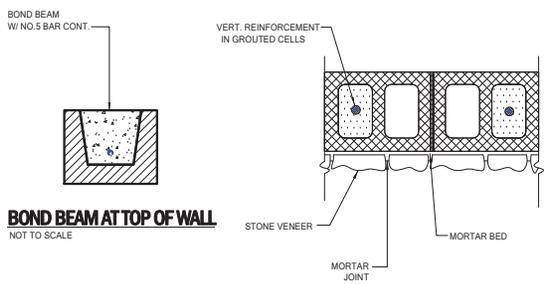


**** NOTE: The sign dimensions has been revised to be under 40 square feet for this overlay district. (SIGN AREA =21.00 SQUARE FEET)**



DO NOT SCALE THESE DRAWINGS. ASK DESIGNER FOR ANY CLARIFICATION OR DIMENSION VERIFICATION.

SIGN # 3



FOOTING SPECIFICATION:

- A. MATERIALS**
- | | |
|---|------------------------------|
| 1.0 STEEL | ASTM SPECIFICATION (MINIMUM) |
| 1.01 CONCRETE REINFORCING | A615, GRADE 60 |
| 1.02 CONCRETE REINFORCING TIES | A615, GRADE 40 |
| 2.0 CONCRETE | |
| 2.01 PORTLAND CEMENT | C150 |
| 2.02 AGGREGATE | C-33 |
| 2.03 GROUT HIGH STRENGTH, NON-SHRINK, NON-FERROUS | A615, GRADE 60 |
| | A615, GRADE 40 |
| 3.0 STONE- FACE OF WALLS | |
| 3.01 STONE VENEER (PER OWNER) | SEE MANUFACTURER SPECS |
| 4.0 ELECTRICAL | |
| 4.01 NO ELECTRICAL IN SIGN | |

NOTE: ALL CONCRETE SHALL BE MINIMUM COMPRESSIVE STRENGTH @ 28 DAYS OF 3000 PSI. CONCRETE SHALL BE PLACED USING LATEST AMERICAN CONCRETE INSTITUTE (ACI) SPECIFICATIONS.

SEMI-GLOSS
FINISH ON WHITE
METAL PANELS
OR ACRYLIC
PANELS

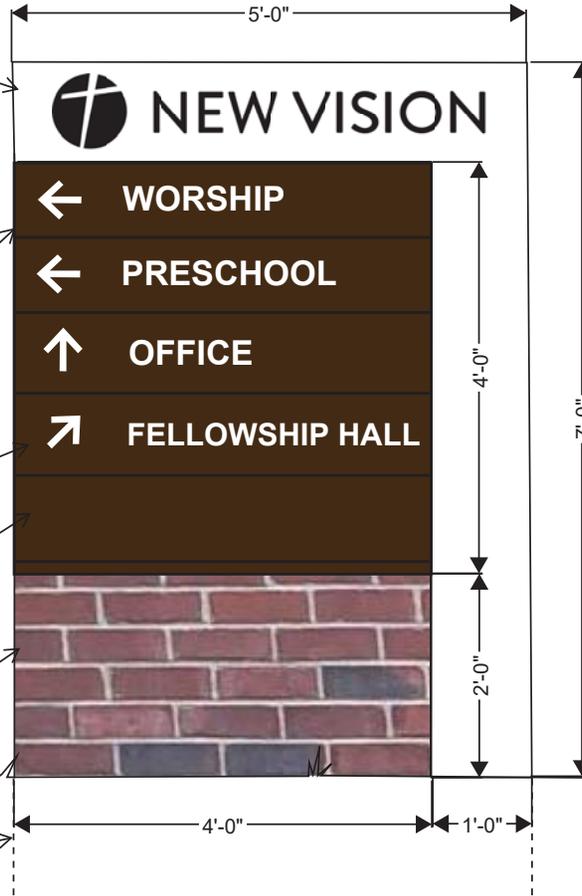
REMOVABLE
ACRYLIC PANELS
WITH
SEMI-GLOSS
FINISH

NO ILLUMINATION

BACKSIDE OF
SIGN SHALL BE
SIMILAR
EXCLUDING
THE LETTERS.

BRICK BASE TO
MATCH
EXISTING BRICK

PROVIDE
FOOTING AS
REQUIRED



VEHICULAR ROUTING SIGN ELEVATION

ONE SIGN PER INTERSECTION WITHIN THE PROPERTY
NOT THE FINAL DESIGN



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1530 Riverside Dr., Nashville, TN 37206

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1750 N. THOMPSON LN., MURFREESBORO, TN 37129

DATE
03/11/2020

PROJECT
CODE
19617

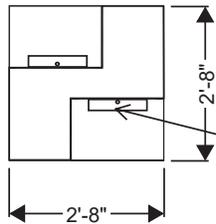
NEW VISION BAPTIST CHURCH

**VEHICULAR
ROUTING SIGNS**

Sheet No.
5.0

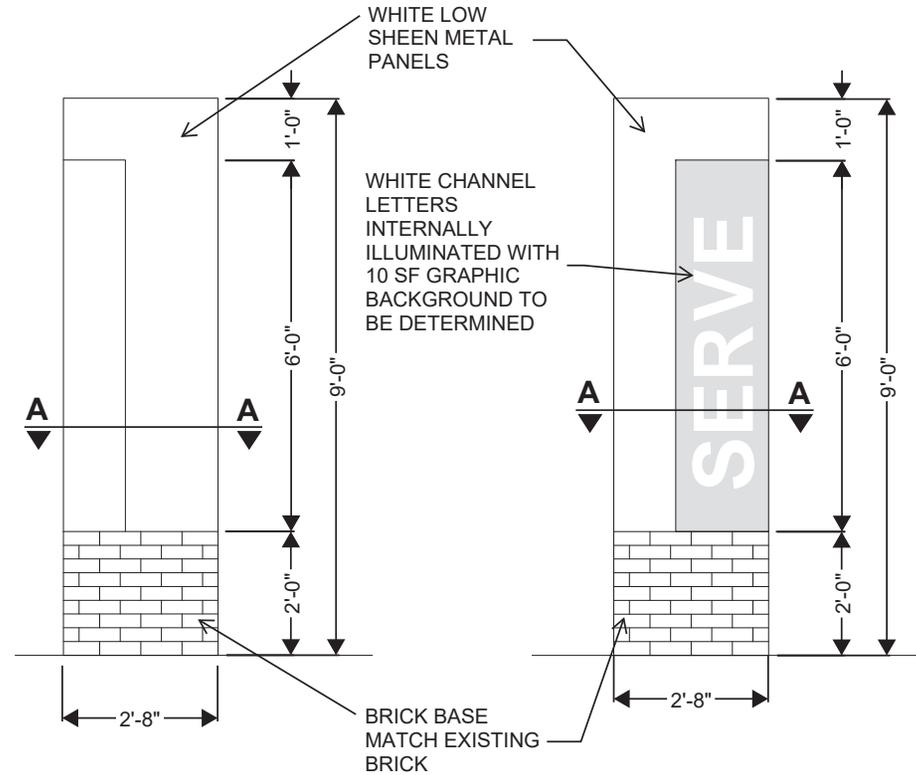


ARTIST RENDERING



WHITE CHANNEL LETTERS INTERNALLY ILLUMINATED

PLAN VIEW A - A



SIDE ELEVATION

SIMILAR ON OPPOSITE SIDE OF PILLAR

FRONT ELEVATION

SIMILAR ON OPPOSITE SIDE OF PILLAR

PILLAR SIGNS GENERAL NOTES:

1. MATERIALS SHALL BE EITHER POWDER COATED METAL OR ACRYLIC WITH LOW SHEEN.
2. LETTER SHALL BE INTERNALLY ILLUMINATED WITH NO EXPOSED RACEWAYS OR JUNCTION BOXES.
3. 4 PILLARS AT EACH BUILDING ENTRANCE WITH A TOTAL OF UP TO 4 ENTRANCES.
4. PROVIDE AMBIENT LIGHT CONTROLS.



BUILDING IDENTIFICATION SIGN ELEVATION

SIMILAR AT EACH BUILDING ENTRANCE



MATCH EXISTING
18" X 18"

PARKING POLE SIGN

ONE SIGN FOR EVERY 100 PARKING SPACES.



MATCH EXISTING
18" X 60"

PARKING POLE SIGN

ONE SIGN FOR EVERY 50 PARKING SPACES.



MATCH EXISTING
6" X 24" SIGN
ON 9'-0" TALL POLE

PEDESTRIAN POLE SIGN

ONE SIGN PER BUILDING ENTRANCE

NOTE: ALL SIGNS ON THIS PAGE ARE NOT ILLUMINATED.

BANNER SIGN GENERAL NOTES:

- 1. BANNERS SHALL NOT BE IN THE RIGHT OF WAY.
- 2. NOT ILLUMINATED.
- 3. BANNER SHALL BE SECURED TO HARD SURFACE SIMILAR TO PLASTIC CORRUGATED BOARD PRIOR TO PLACEMENT ON SITE.
- 4. ONE PER ENTRANCE TO PROPERTY. USED FOR 3 MONTH TIME PERIOD.



BANNER SIGN

IMAGE WILL VARY BASED ON EVENT AND TIME OF YEAR.

FLAG SIGN GENERAL NOTES:

- 1. PLACEMENT SHALL BE 14'-0" MIN. FROM THE STREET CURB.
- 2. NOT ILLUMINATED
- 3. TWO PER ENTRANCE TO PROPERTY. USED FOR 2 WEEKS TIME PERIOD



FLAG SIGN

IMAGE WILL VARY BASED ON EVENT AND TIME OF YEAR.



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1750 N. THOMPSON LN., MURFREESBORO, TN 37129

DATE
03/11/2020

PROJECT CODE
19617

NEW VISION BAPTIST CHURCH

TEMPORARY SIGNAGE

Sheet No.
9.0



CONCEPT ARTIST RENDERING

COMMERCIAL GRADE
WEATHERPROOF
OUTDOOR STRING LIGHTS
RIGID OR FLEXIBLE



STRING LIGHTS GENERAL NOTES:

1. SEE 3.0 OVERALL SITE PLAN FOR LOCATIONS.
2. STRING LIGHTS SHALL BE WHITE LIGHT ONLY.
3. STRING LIGHTS SHALL NOT BLINK, CHASE, ETC.
4. STRING LIGHTS SHALL BE COMMERCIAL GRADE AND BE LISTING FOR EXTERIOR USE.
5. STRING LIGHTS SHALL BE SECURELY ATTACHED TO A POLE OR THE BUILDING.
6. STRING LIGHTS SHALL HANG 8'-0" MIN. ABOVE FINISH GRADE OR SIDEWALK.
7. STRING LIGHTS MUST COMPLY WITH NEC.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 22, 2020
PROJECT PLANNER: AMELIA KERR**

- 4.b. Zoning application [2019-435] for approximately 1.44 acres located at the northeast corner of Gold Valley Drive and North Rutherford Boulevard to be rezoned from PCD to PRD (Rutherford Corner PRD), Masterson Homes, Inc. applicant.**

The subject property is located at the northeast corner of Gold Valley Drive and North Rutherford Boulevard. Garrison Creek runs through the west side of the subject property. The property consists of 1.44 acres and is identified as Tax Map 81N, Group B, Parcel 1.00 and a portion of Tax Map 81, Parcel 81.01. The property is currently undeveloped and zoned PCD (Planned Commercial District). In 2008, the applicant applied for and was approved for PCD zoning to include a two-story office building with surface parking, but since that time the property has remained vacant. The applicant now wishes to rezone the property to PRD (Planned Residential District). The proposed PRD would consist of an 8-unit townhouse development tentatively named Rutherford Corner. The proposed gross density would be 5.56 dwelling units per acre.

The development would have direct access to Gold Valley Drive via a single access point. No connections to neighboring properties are proposed. The proposed development would include three buildings; one building having two two-story townhouse units and two buildings each having three two-story townhouse units. Each unit will have a one 1-car garage and a one 1-car driveway. The development would include an additional nine surface parking spaces for residents and their guests for the eight two-bedroom townhomes. In order to meet the Zoning Ordinance parking requirement of 18 parking stalls, these garages must be dedicated for the parking of motor vehicles only. Primary exterior materials include brick, stone veneer, and cementitious siding. Setbacks for the development would be 35 feet on the front facing North Rutherford Boulevard, 15 feet on the front facing Gold Valley Drive, and 20 feet on the side and rear. Amenities would include 0.90 acre of the 1.44 acres as open space and detention areas and a formal open space consisting of a paver plaza with a grilling station and bench seating.

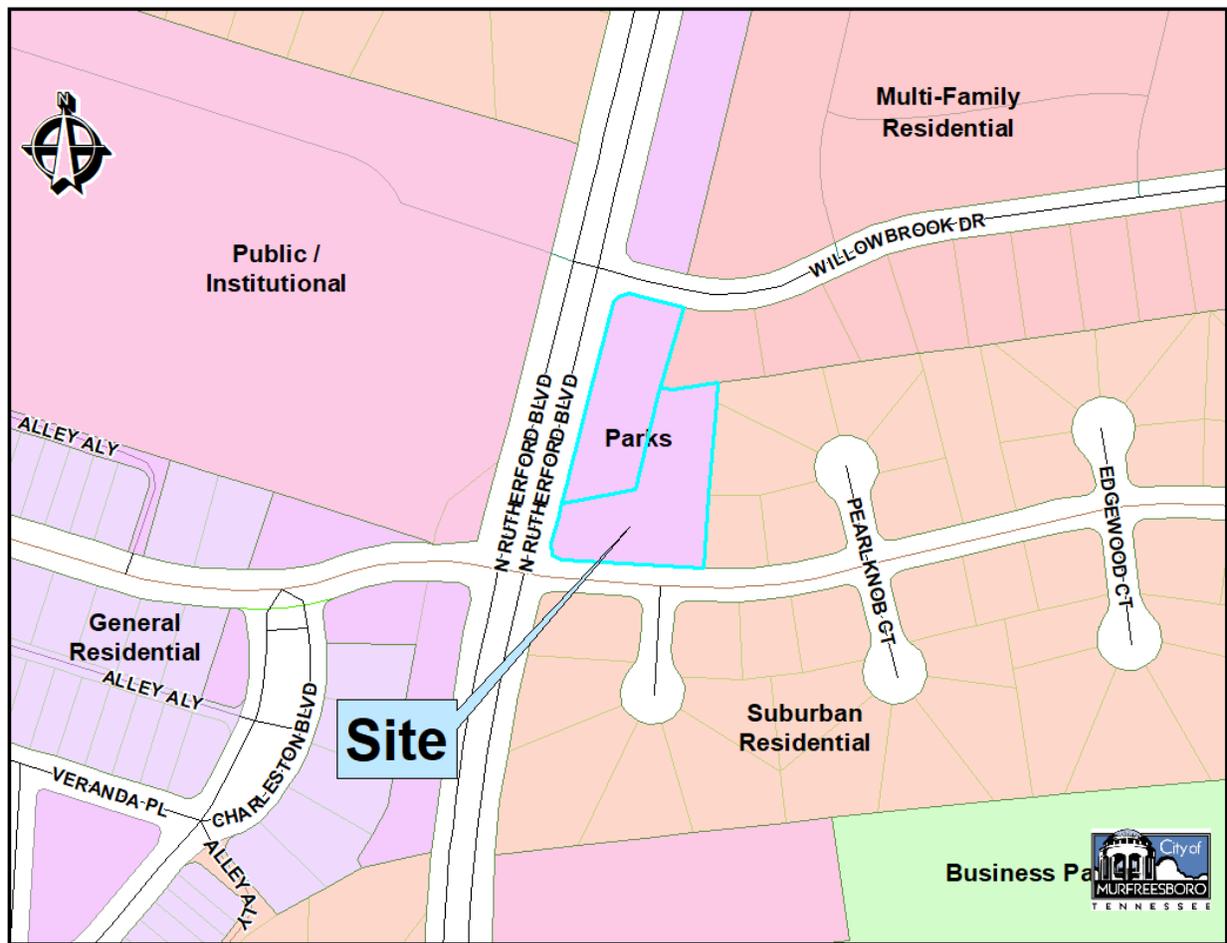
Adjacent Zoning and Land Uses

Surrounding zoning includes RS-10 (Single-Family Residential District) to the east and south, RM-12 (Multi-Family Residential District, 12 units per acre) to the northeast, and RS-15 (Single-Family Residential District) to the west across North Rutherford Boulevard. Adjacent land uses include the Wood Chase single-family

residential subdivision to the east and south and the Cottages of Willowbrook multi-family residential development to the north. The proposed development would include a twelve-foot Type C buffer along the northern and eastern boundaries shared with the Wood Chase subdivision and along the western property line.

Future Land Use Map

The future land use map of the *Murfreesboro 2035 Comprehensive Plan*, which was adopted in July 2017, recommends that “Parks” is the most appropriate land use character for the subject property, as shown on the map below. Staff is not sure why this recommendation was made in the future land use map. However, it would appear likely that the recommendation was building upon the existence of Garrison Creek on the property.

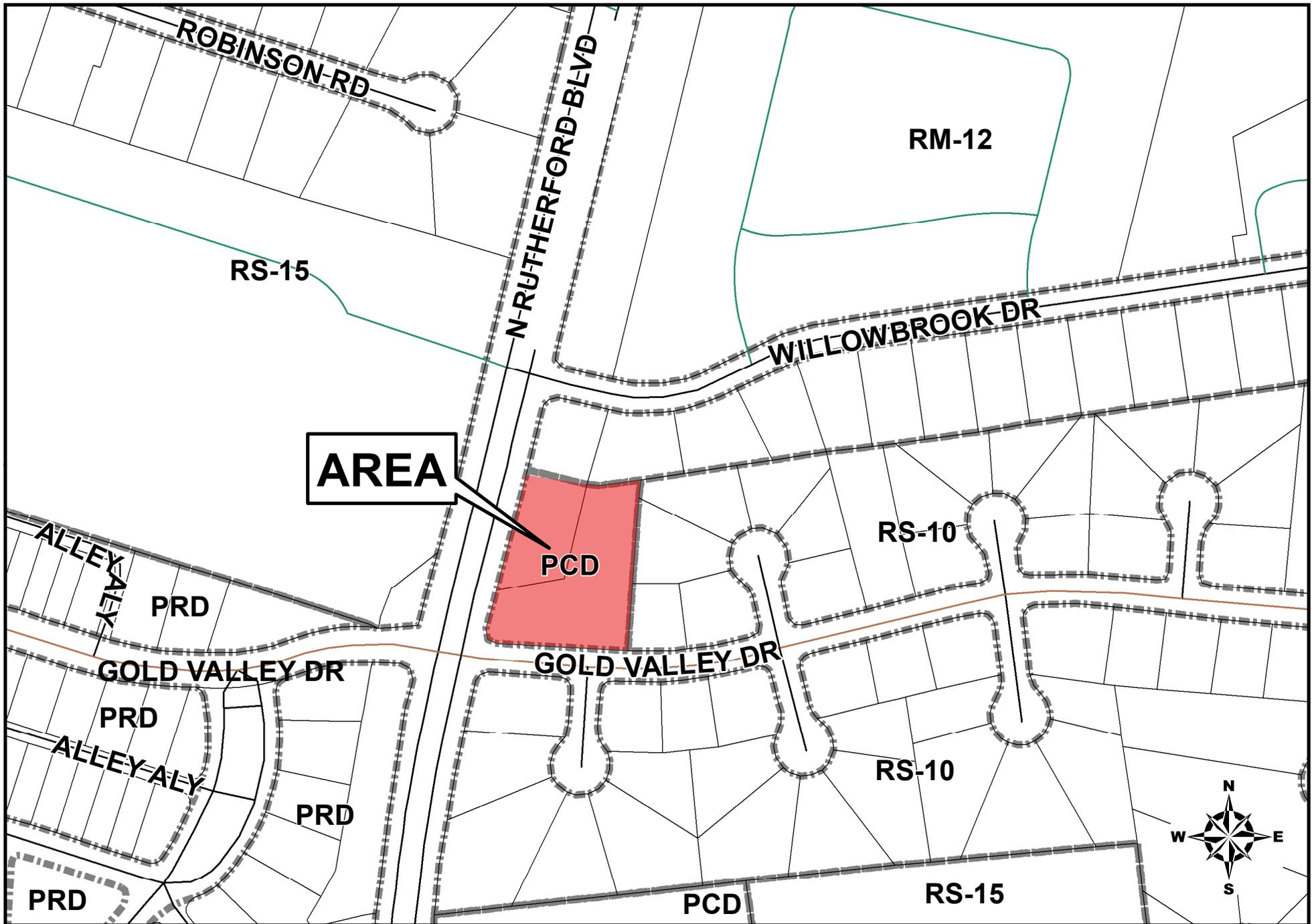


The development is more consistent with the “Auto Urban (General) Residential” land use character. The characteristics of “Auto Urban (General) Residential” include detached residential dwelling units or attached residential dwellings with compatibility and open space requirements, less openness and separation

between dwellings, front yard consumed by driveway and off-street parking and at a density of 3.54 to 8.64 dwelling units per acre. The proposed single-family residential attached use in this PRD request is not consistent with the "Parks" land use character. The Planning Commission will need to determine whether this is an appropriate instance to deviate from the recommendations of the future land use map.

Action Needed

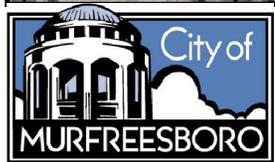
A copy of the pattern book has been included in the agenda materials. The applicant will be available at the Planning Commission meeting to make a presentation regarding the proposed rezoning and to answer questions. The Planning Commission needs discuss this matter, conduct a public hearing and formulate a recommendation to City Council.



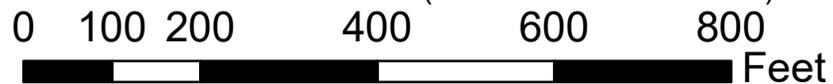
Zoning Request for Property Along North Rutherford Boulevard and Gold Valley Drive
 PCD to PRD (Rutherford Corner PRD)



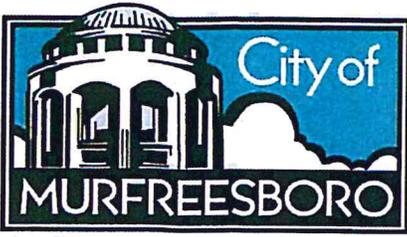
Planning Department
 City of Murfreesboro
 111 W. Vine St.
 Murfreesboro, TN 37130
www.murfreesborotn.gov



Zoning Request for Property Along North Rutherford Boulevard and Gold Valley Drive
 PCD to PRD (Rutherford Corner PRD)



Planning Department
 City of Murfreesboro
 111 W. Vine St.
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City of Murfreesboro
Planning and Engineering Department
 111 W. Vine Street, P.O. Box 1139
 Murfreesboro, TN 37133-1139
 (615) 893-6441 Fax (615) 849-2606
 www.murfreesborotn.gov

T E N N E S S E E

Creating a better quality of life

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

Procedure for applicant:

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

To be completed by applicant:

APPLICANT: Masterson Homes, Inc. c/o David Masterson

Address: 3125 Old Salem Road City/State/Zip: Murfreesboro, TN 37128

Phone: 615-394-8976 E-mail address: mastersonhomes@gmail.com

PROPERTY OWNER: David Masterson

Street Address or property description: 3125 Old Salem Road

and/or Tax map #: 81N Group: B Parcel (s): 1.00

Existing zoning classification: PCD

Proposed zoning classification: PRD Acreage: 1.44 Acres

Contact name & phone number for publication and notifications to the public (if different from the applicant): Rob Molchan 615-890-7901

E-mail: rmolchan@sec-civil.com

APPLICANT'S SIGNATURE (required): 

DATE: 9-12-19

*****For Office Use Only*****

Date received: _____ MPC YR.: _____ MPC #: 2019-435

Amount paid: 950.00 Receipt #: 293627

MWRD 16" WATER LINE

N RUTHERFORD BLVD

N RUTHERFORD BLVD

6" DUCTILE IRON

CUD 20" WATER LINE

20" DIP

GOLD VALLEY DR

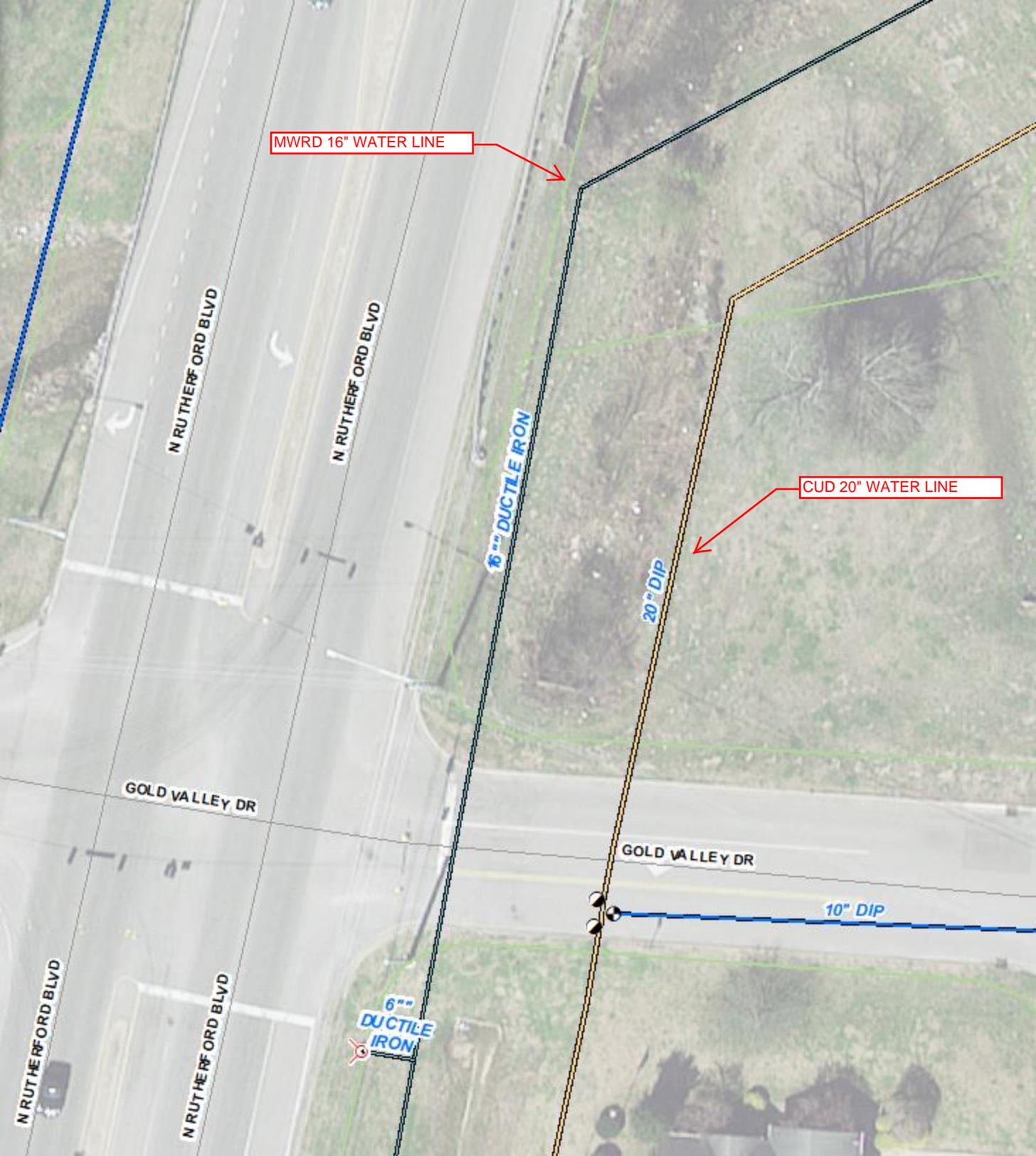
GOLD VALLEY DR

10" DIP

6" DUCTILE IRON

N RUTHERFORD BLVD

N RUTHERFORD BLVD





RUTHERFORD CORNER

REQUEST FOR REZONING FROM A PCD TO A PRD
Murfreesboro, Tennessee

Initial Submittal
February 13, 2020

Resubmittal
March 4, 2020 for the March 18, 2020
Planning Commission Workshop

Resubmittal
March 30, 2020 for the April 22, 2020
Planning Commission Public Hearing

SEC, Inc.

SEC Project #07124

SEC, Inc.

Company Name: SEC, Inc.
Profession: Planning.Engineering.Landscape Architecture
Attn: Rob Molchan / Matt Taylor
Phone: (615) 890-7901
Email: rmolchan@sec-civil.com/ mtaylor@sec-civil.com
Web: www.sec-civil.com

*850 Middle Tennessee Blvd.
Murfreesboro, Tennessee 37129*

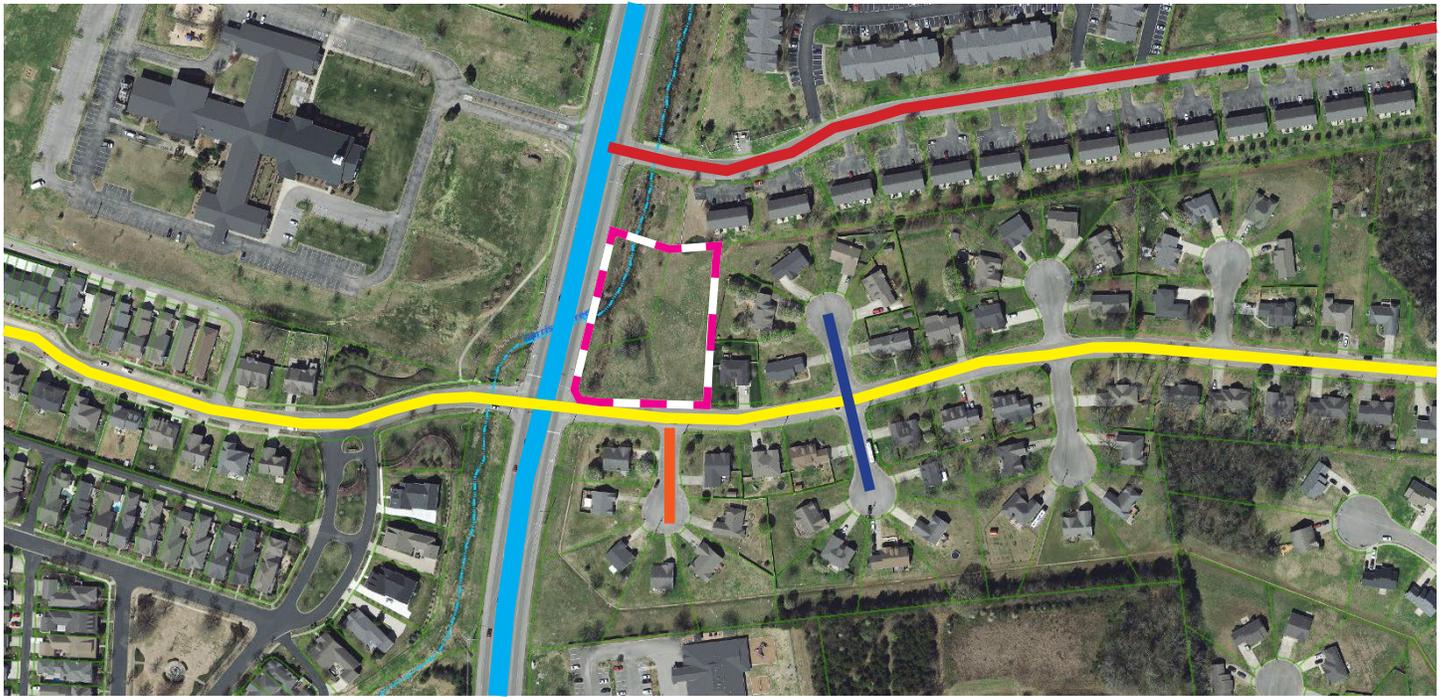
Company Name: Masterson Homes, Inc.
Profession: Developer & Builder
Attn: David Masterson
Phone: (615) 394-8976
Email: mastersonhomes@gmail.com

*3125 Old Salem Road
Murfreesboro, Tennessee 37128*

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ZONING ORDINANCE SECTION 13 (D) (2) (A)	20-21

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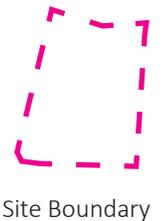
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AERIAL PHOTOGRAPH

Not To Scale 

-  North Rutherford Blvd
-  Gold Valley Drive
-  Willowbrook Drive
-  Pearlknob Court
-  Red Oak Court



Masterson Homes, Inc. respectfully requests rezoning of the David Masterson property located northeast of the intersection of Gold Valley Drive and North Rutherford Boulevard from a Planned Commercial District (PCD) to Planned Residential District (PRD) City of Murfreesboro to create Rutherford Corner. The property is identified as Parcel 1.00 of Tax Map 81N Group B, and is approximately 1.44 acres.

The original PCD was approved in 2008, which proposed the development as a two-story office building with surface parking. With the onset of The Great Recession, the PCD never gained any attraction from the business community. The property has sat vacant since 2008, and Masterson Homes feels that the proposed PRD will breathe new life into this property after all these years. Masterson Homes is a local home builder, that builds high quality single-family homes in Rutherford County. The proposed townhomes will continue the company's tradition of building well crafted homes for residents of Rutherford County.

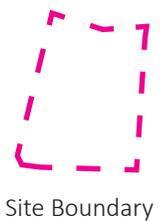
Rutherford Corner will consist of three townhome buildings with a total of eight single-family attached townhome units on 1.44 acres, for a density of 5.56 dwelling units per acre. The townhome units will be sold under a horizontal property regime. The proposed townhomes will range in size from 1,500 sf. to 2,000 sf. All townhomes will have a maximum of 2 bedrooms. Each townhome unit will have a one-car garage and driveway parking space, with additional surface parking spaces provided for residents and guests. The townhome elevations will be constructed of a mixture of masonry materials to add quality and character to the community. Foundation plantings will be placed along the front of each townhome building, with sod in the common open space areas. The vehicular parking area will be private, and will have sidewalks to provide pedestrian connectivity to the common open spaces. Common areas include; building exteriors, driveways, sidewalks, private parking areas, landscaping, signage, open spaces elements, mail kiosk, stormwater facilities, will be owned and maintained by the H.O.A.



2040 MAJOR THOROUGHFARE PLAN

Not To Scale

-  Community Collector
-  Residential Collector
-  Major Arterial



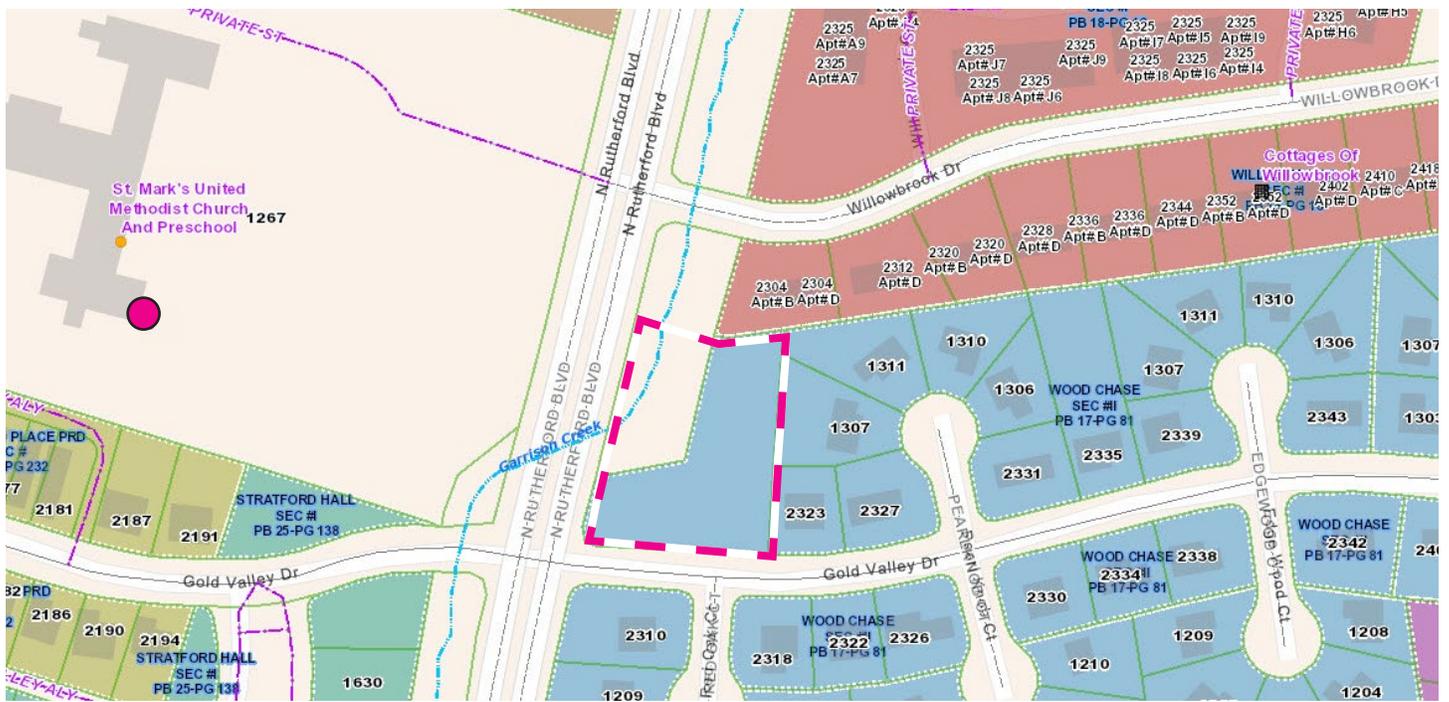
The property has/will have direct access to the existing public rights-of-way of Gold Valley Drive via an access drive. Gold Valley Drive connects the development directly to North Rutherford Boulevard. No roadways around the property are slated for improvements as per the 2040 Murfreesboro Major Thoroughfare Plan.



Murfreesboro 2035 Land Use Plan

The Murfreesboro 2035 Land Use Plan has this area to be developed as Auto-Urban (General) Residential Character (AUR). The land use plan recommends this site to have a maximum density of 8.64 units per acres. This land use recommends detached and attached housing types that are significantly influenced by automobiles. The proposed development is well under the recommended density at 5.56 units per acre, provided multiple 2-story multi-family buildings that are oriented internally around a centralized parking court. The fronts of the structures are facing away from parking and drives. Overall this proposed PRD closely follows the recommend use as per the Murfreesboro 2035 Land Use Plan.

 Approximate Site Location



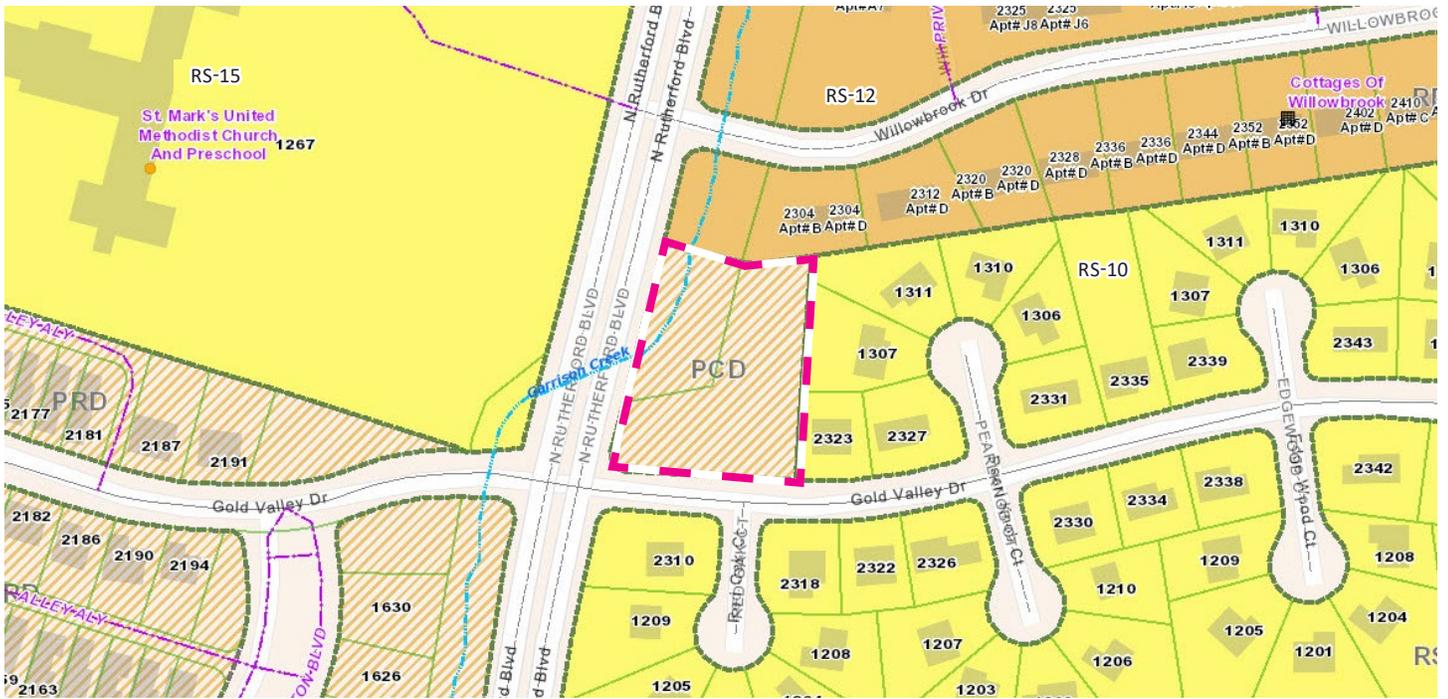
SUBDIVISION MAP

Not To Scale 

-  Wood Chase
-  Stratford Hall
-  Willowbrook
-  St. Mark's United Methodist Church
-  Stratford Place PRD



Rutherford Corner is surrounded by a mixture of residential subdivisions. Wood Chase is directly east and south of this development, and consists of one and two story single-family detached homes. The exterior elevations consist of primarily vinyl siding with brick accents. Some units have all brick fronts as well. North of the development are townhomes in the Cottages of Willowbrook subdivision. These townhomes are two-story with all vinyl elevations. St. Marks United Methodist Church is located to the west across North Rutherford Boulevard. Stratford Hall Subdivision and Stratford Place PRD are located to the southwest across North Rutherford Boulevard. These developments consist of a mixture of cottage style homes with alley loaded garages. The homes range from one to two stories and vary in architectural articulation, with a mixture of exterior materials.



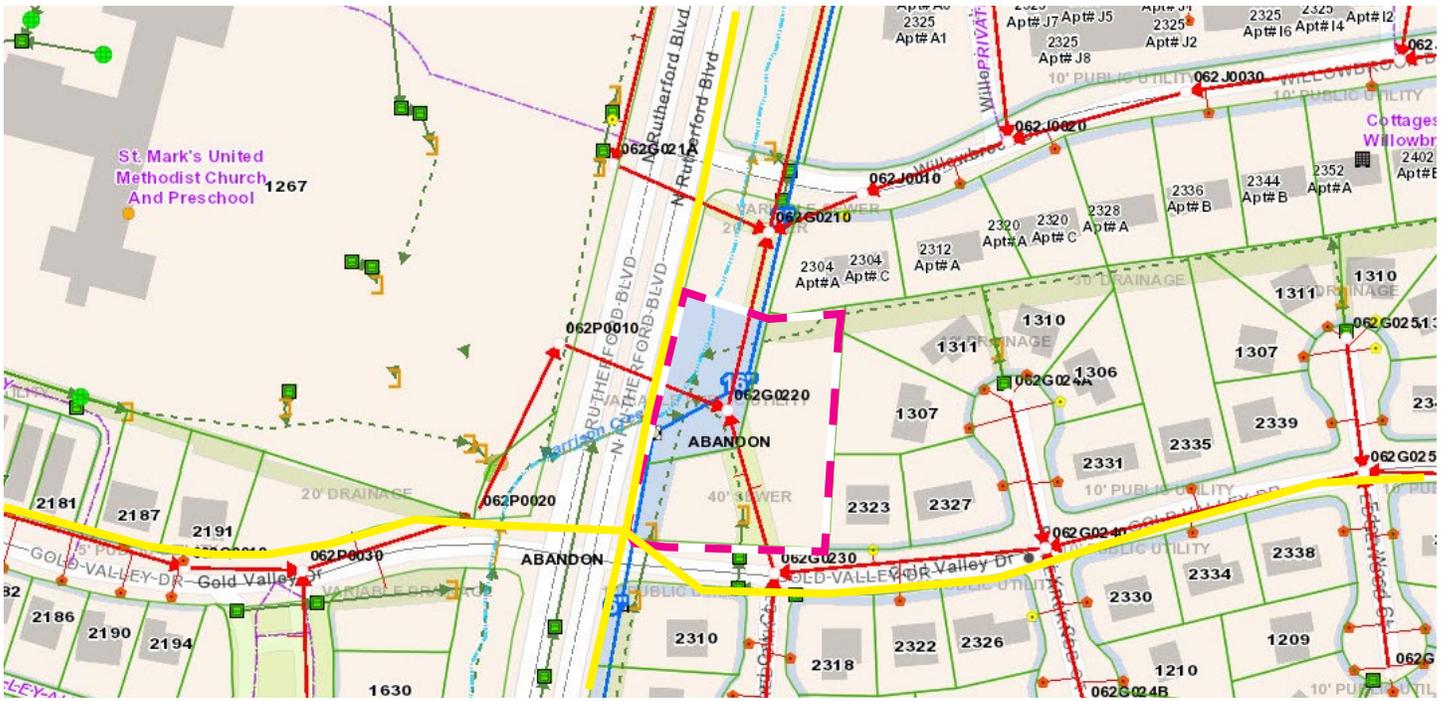
ZONING MAP

Not To Scale 

- RS-10 Residential Single-Family (RS-10)
- RM-12 Residential Multi-Family (RM-12)
- RS-15 Residential Single-Family (RS-15)
- PCD Planned Commercial Development (PCD)
- PRD Planned Residential Development (PRD)



The surrounding area consists of a mixture of zoning types and uses. The Wood Chase subdivision to the east and south of the proposed development is zoned RS-10. Cottages of Willowbrook located to the North of the property is zoned RM-12. St. Marks United Methodist Church to the west of the site is zoned RS-15. The Stratford Hall and Stratford Place subdivision are zoned Planned Residential District (PRD).



UTILITY MAP

Not To Scale 



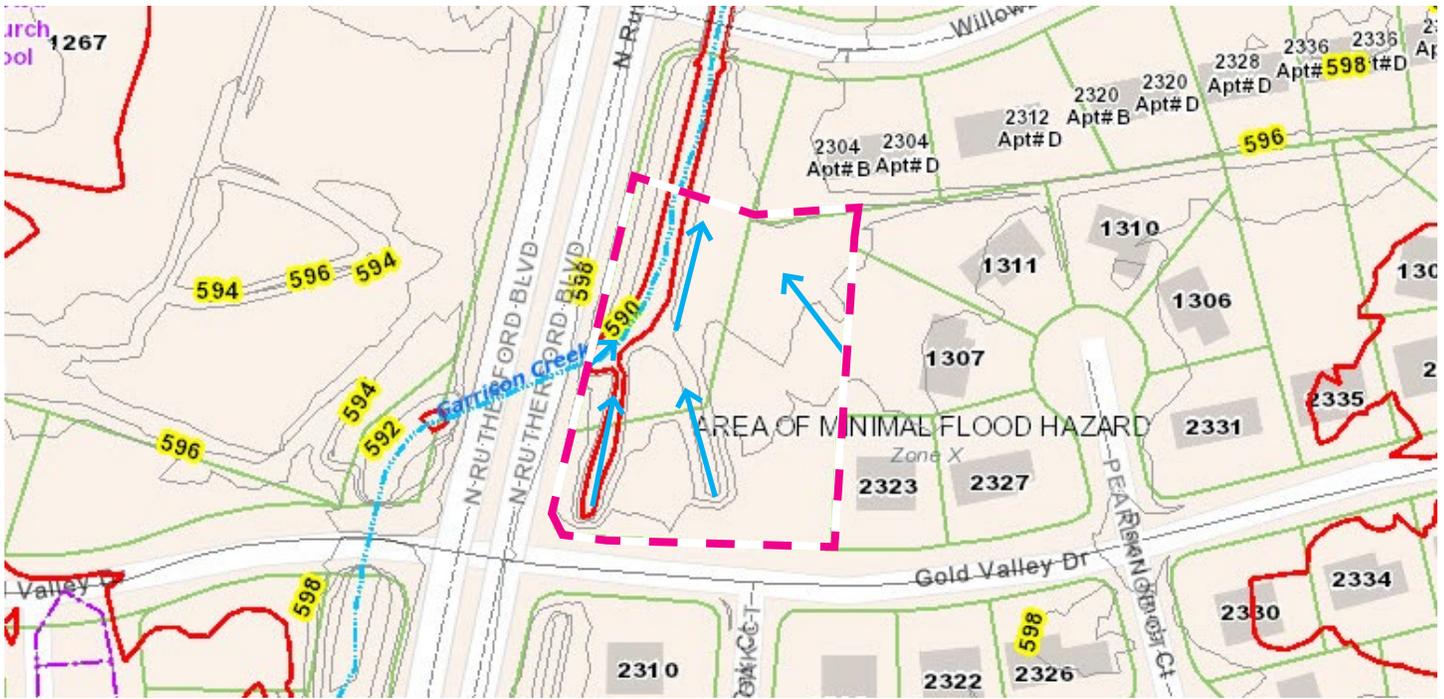
Sanitary sewer service will be provided by the Murfreesboro Water Resources Department. Sanitary sewer service can connect to an existing 15" gravity sewer line running through site. The developer will be responsible for connecting to the sewer into this property.



Water Services will be provided by the Consolidated Utility District of Rutherford County. Water services can connect to the existing 20" water line on the west side of the property. The developer will be responsible for connecting to the waterline into the site for domestic and fire services.



Electric service will be provided by the Murfreesboro Electric Company. Service will be extended from Gold Valley Road. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



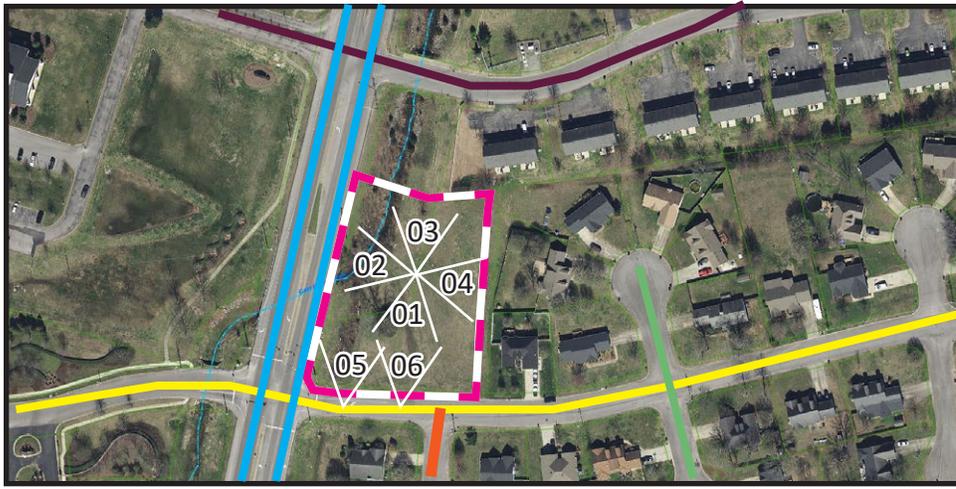
HYDROLOGY AND TOPOGRAPHY

Not To Scale 

-  WATER FLOW DIRECTION
-  INTERMEDIATE CONTOURS
-  INDEX CONTOURS



The topographic map above shows the site’s topographic high point generally at the south eastern corner of the property. From this high point, the property drains towards the northwest to Garrison Creek, which runs alongside North Rutherford Boulevard as it flows to the north. This property lies within Zone ‘X’ and is not within FEMA Floodways or Floodplains as per FEMA Panel 47149C0280H.



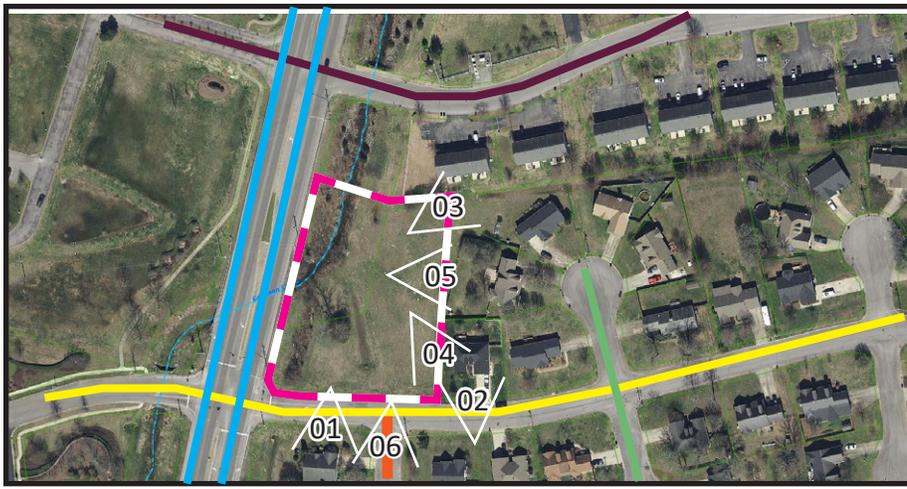
-  North Rutherford Blvd
-  Gold Valley Drive
-  Willowbrook Drive
-  Pearl Knob Court
-  Red Oak Court



PHOTO DIRECTION MAP

Not To Scale 





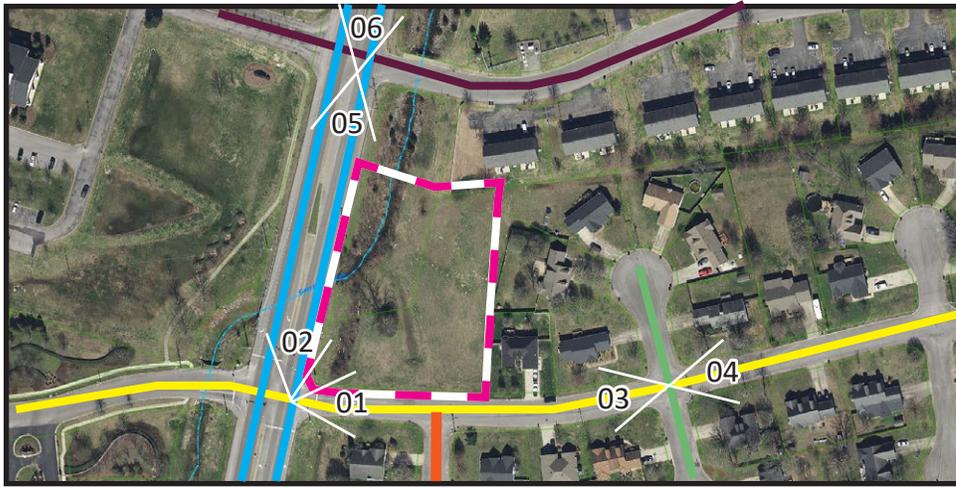
- North Rutherford Blvd
- Gold Valley Drive
- Willowbrook Drive
- Pearl Knob Court
- Red Oak Court



PHOTO DIRECTION MAP

Not To Scale





-  North Rutherford Blvd
-  Gold Valley Drive
-  Willowbrook Drive
-  Pearl Knob Court
-  Red Oak Court



PHOTO DIRECTION MAP

Not To Scale 





Project Data:

Total Land Area:	±1.44 Acres
Total Number of Units:	8 Units
Yield: 8 Units/1.44 Acres =	±5.56 Units/Acre
Total Open Space Required:	±0.29 Ac. (20%)
Total Open Space Provided:	±0.94 Ac. (65%)
Usable Open Space:	±0.90 Ac. (62%)
Detention Areas:	±0.04 Ac. (3%)

Formal Open Space Required:	±0.07 Acres (5.0%)
Formal Open Space Provided:	±0.07 Acres (5.0%)

Parking Required:
 Required: 8 (2 BR Units) x 2.2 = 18 Spaces

Garage/Driveway Parking Provided: 16 Spaces
 Additional Parking Provided: 9 Spaces
 Total Parking: 25 Spaces (+7)

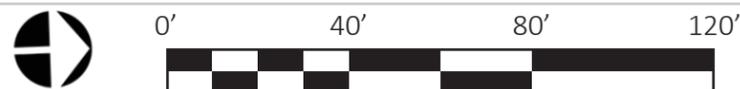
- Detention Ponds
- Open Space
- Garrison Creek
- Sidewalks
- Roadway
- Pavers
- Stream Buffer

Exceptions:

- Garages to be used for vehicular parking only, and may not be used for household storage.

SEC, Inc.

SEC Project #07124 Murfreesboro, Tennessee



Architectural Characteristics:

- Building heights shall not exceed 35 feet in height
- All buildings will be 2-stories
- All units will have at least 2 bedrooms
- All the units will have eaves
- All units will have a patio area at the rear of the unit
- Patios will be screened with a 6-foot tall white vinyl privacy fence between units
- Townhome buildings will have architectural articulation to add character to the buildings.

Minimum Building Setbacks:

Front:

North Rutherford Boulevard: 35-feet from the R.O.W.
 Gold Valley Drive: 15-feet from the R.O.W.

Side: 20-feet, 10-feet between buildings

Rear: 20-feet



Building Materials:

- Front Elevations: All Masonry Materials (Brick, Stone, Cement Board Siding)
 Side Elevations: Cement Board Siding in the Dormers/Gables
 Rear Elevations: Cement Board Siding
 All Elevations: Vinyl Only Permitted in Trim & Soffit Areas



Example of Brick
 (different colors, cuts, patterns will be allowed)



Example of Stone Veneer
 (different colors, cuts, patterns will be allowed)



Example of Fiber Cement Board Siding
 (different colors will be allowed)



Example of Fiber Cement Board and Batten
 (different colors will be allowed)



FRONT ELEVATION "A"



RIGHT SIDE ELEVATION



FRONT ELEVATION "C 1"



REAR ELEVATION



LEFT SIDE ELEVATION



REAR ELEVATION



FRONT ELEVATION "C 2"

Development Standards:

- 8 townhome units with a maximum of 2 bedrooms per unit.
- The units will be a minimum of 1,250 feet of living area.
- All units will be sold under a horizontal property regime
- The Entrance off of Gold Valley Drive will have a masonry monument sign on one side of the entrance.
- A 10 foot Landscape Buffer will be constructed along the eastern boundary of the site adjacent to Wood Chase subdivision.
- Builders shall install sod and landscaping along foundations.
- There shall be a minimum 3-foot wide landscape bed located along the side elevations of each townhome building that face the internal parking court and along the front elevations of each townhome building.
- All mechanical equipment (i.e. hvac and transformers) to be screened by either landscaping or a fence, and will be located along the side and rear elevations of the townhome buildings.
- All on-site utilities will be underground.
- Solid waste will be provided by a private hauler, and trash carts will be stored in a screened-in storage area.
- Any solid waste enclosures will be constructed of masonry materials consistent with building architecture, and be at least 6 feet tall with opaque gates and enhanced with landscaping
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed.
- All home owners will be required to be a member of the H.O.A.
- As a member of the H.O.A., the residents will be subject to restrictive covenants, and be required to pay membership dues as determined by a 3rd party management company
- HOA will be managed by independent 3rd party management company
- The exteriors of the buildings and common spaces will be maintained by an H.O.A.
- Vehicular parking areas will be private and maintained by the H.O.A.
- Parking for the residential units will comply with the City of Murfreesboro Parking Requirements. Garages to be used for vehicular parking only, and may not be used for household storage.
- Mail service will be provided via Centralized Mail Kiosk for all postal deliveries.
- On-site lighting will comply with the minimum and maximum city standards to prevent light pollution, and will be provided by MED.



Example of Mail Kiosk



Example of Trash Cart Enclosure



Pursuant to the City of Murfreesboro's 2040 Major Thoroughfare Plan (MTP), none of the roadways in this development are slated for improvements. Gold Valley Drive is the thoroughfare providing access to the development. It is currently built as a 2 lane cross-section with curb and gutter with no sidewalks.

As stated above, the primary means of ingress/egress from this site will be onto Gold Valley Drive. The entrance is proposed to incorporate two travel lanes for proper circulation into and out of the development onto Gold Valley Drive at the existing intersection with Red Oak Court. Gold Valley Drive will allow residents direct access to North Rutherford Boulevard, Old Lascassas Road, and Lascassas Pike.

The vehicular access drive and parking area within the development will be privately owned and maintained by the H.O.A.



- A Formal Plaza Space
- B Grilling Station
- C Mail Kiosk
- D Entry Sign

LOCATION MAP - OPEN SPACE AND AMENITIES Not To Scale

Rutherford Corner will be dedicating over 0.90 acre (over 60% of the site) to open space. The open space areas will be comprised of usable open space and detention areas. The usable open space will include a paver plaza, an outdoor grilling station, and metal bench seating areas around the plaza. The entrance at Golden Valley Drive shall incorporate a masonry sign that will be anchored with landscaping.



Example of Shaded Seating Area



Example of Entrance Signage



Example of Outdoor Patio and Grilling Area



Example of Seating Areas



LANDSCAPE MATERIALS SAMPLES: DECIDUOUS TREES



(A)



(B)

- (A)** *Ulmus parvifolia* 'Emer II' / 'Emer II' Alle Elm
- (B)** *Zelkova serrata* 'Green Vase' / Sawleaf Zelkova
- (C)** *Buxus x* 'Green Mountain' / Boxwood
- (D)** *Prunus laurocerasus* 'Otto Luyken' / Luykens Laurel
- (E)** *Lagerstroemia indica* 'GAMAD VI' / Berry Dazzle Crape Myrtle
- (F)** *Miscanthus sinensis* 'Adagio' / Adagio Eulalia Grass
- (G)** *Liriope spicata* 'Silver Dragon' / Creeping Lily Turf
- (H)** *Setcreasea pallida* 'Purple Heart' / Purple Heart Setcreasea
- (I)** *Iberis sempervirens* 'Little Gem' / Little Gem Candytuft
- (J)** *Liriope muscari* 'Variegata' / Variegated Lily Turf
- (K)** *Magnolia grandiflora* 'D.D. Blanchard' TM / Southern Magnolia
- (L)** *Thuja standishii x plicata* 'Green Giant' / Green Giant Arborvitae
- (M)** *Cryptomeria Japonica* 'Radi-cans' / Japanese Cedar
- (N)** *Viburnum x pragense* / Prague Viburnum
- (O)** *Prunus laurocerasus* 'Schipkaensis' / Schipka Laurel

LANDSCAPE MATERIAL SAMPLES: EVERGREEN/DECIDUOUS SHRUBS AND GRASSES



(C)



(D)



(E)



(F)

LANDSCAPE MATERIAL SAMPLES: GROUND COVER



(G)



(H)



(I)



(J)

LANDSCAPE BUFFER: EVERGREEN TREES



(K)



(L)



(M)

LANDSCAPE BUFFER: EVERGREEN SHRUBS



(N)



(O)

The grounds of Rutherford Corner have been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided on Pages 18 and 19.

Landscaping Characteristics:

- A minimum 10 feet of landscape area between parking and all property lines.
- Public rights-of-way screened from parking by use of landscaping and/or berming.
- The eastern perimeter of the property will have a 10-foot wide landscape buffer consisting of a single stagger row of evergreen trees that shall be 6' tall at time of planting.
- All above ground utilities and mechanical equipment screened with landscaping and/or fences.
- Any solid waste enclosures will be constructed of masonry materials consistent with building architecture, and be at least 6 feet tall with opaque gates and enhanced with landscaping
- The sides that face the internal parking court and the fronts at the base of buildings will have at least 3-foot wide landscape strip.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: See maps on Pages 4 through 9 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits are shown on Page 9 that shows the existing contours and drainage patterns along with an aerial photograph of the area.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits and photographs on Page 4 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 7 gives the zoning of those same properties.

4.) A drawing defining the general location and maximum number of lots, parcels or sites proposed to be developed or occupied by buildings in the planned development; the general location and maximum amount of area to be developed for parking; the general location and maximum amount of area to be devoted to open space and to be conveyed, dedicated, or reserved for parks, playgrounds, recreation uses, school sites, public buildings and other common use areas; the approximate location of points of ingress and egress and access streets; the approximate location of pedestrian, bicycle and vehicular ways or the restrictions pertaining thereto and the extent of proposed landscaping, planting, screening, or fencing.

Response: See Pages 13 and 15 for lists of standards and exhibits showing the concept plan which shows each of these items.

5.) A tabulation of the maximum number of dwelling units proposed including the number of units with two (2) or less bedrooms and the number of units with more than two (2) bedrooms.

Response: See Pages 13 and 15 lists standards and exhibits showing the concept plan which shows each of these items.

6.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio). These tabulations are for the PRD.

TOTAL SITE AREA	62,514 s.f.
TOTAL MAXIMUM FLOOR AREA	15,400 s.f.
TOTAL LOT AREA	62,514 s.f.
TOTAL BUILDING COVERAGE	8,500 s.f.
TOTAL DRIVE/ PARKING AREA	11,058 s.f.
TOTAL RIGHT-OF-WAY	0 s.f.
TOTAL LIVABLE SPACE	51,456 s.f.
TOTAL OPEN SPACE	41,016 s.f.
FLOOR AREA RATIO (F.A.R.)	0.25
LIVABILITY SPACE RATIO (L.S.R.)	0.69
OPEN SPACE RATIO (O.S.R.)	0.86

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned PCD. The surrounding area has a mixture of residential properties. The concept plan and development standards combined with the architectural requirements of the homes shown within this booklet align and closely mimic the type of developments in the surrounding neighborhoods and are envisioned to complete the development in this area.

8.) If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating:

(aa) the approximate date when construction of the project can be expected to begin;

Response: The project is anticipated to be developed in one phase. Construction to begin within 90-120 after rezoning.

9.) Proposed means of assuring the continued maintenance of common space or other common elements and governing the use and continued protection of the planned development. For this purpose, the substance of any proposed restrictions or covenants shall be submitted.

Response: This requirement has been addressed on Page 15.

10.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

Response: The applicant is requesting the following exceptions with this PRD.

SETBACKS	RS-A Type 2	PRD	DIFFERENCE
North Rutherford Boulevard	45.0' (*)	35.0'	-10.0'
Gold Valley Drive	35.0'	15.0'	-20.0'
Side Setback	5.0'	20.0'	+15.0'
Rear Setback	20.0'	20.0'	0.0'
Minimum Lot Size	2,000 Sf.	NA	NA
Minimum Lot Width	20.0'	NA	NA

(*) Ordinance - Chart 2 Endnotes

1. The minimum yard set forth on Chart 2 shall be required unless the property abuts a major arterial road identified as such by the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time, in which case the minimum front yard for a residential structure shall be that set forth on Chart 2 plus an additional ten feet.

11.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District, Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). A portion of this property lies in Zone AE, within the 100-year floodplain, according to the current FEMA Map Panel 47149C0280H Eff. Date 01/05/2007.

12.) The location and proposed improvements of any street depicted on the Murfreesboro Major Thoroughfare Plan as adopted and as it may be amended from time to time.

Response: Pages 5 & 16 discusses the Major Thoroughfare Plan.

13.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/ applicant is Masterson Homes, Inc. contact info for both is provided on the inside of the front cover.

14.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. The location and orientation of exterior light fixtures and of garages shall be shown if such are to be included in the structures.

Response: Page 14 show the architectural character of the proposed buildings and building materials listed. However, exact configuration for these items is unknown and will be determined as each building is built.

15.) If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: Examples of entrance signage are located on Page 15 and a description is on Page 17.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 22, 2020
PROJECT PLANNER: MARINA RUSH**

4.c. Mandatory Referral and Right-of-Way Abandonment [2020-702] to consider abandonment of a portion of Titans Circle Right-of-Way and the abandonment of drainage, detention, and utility easements, Huddleston-Steele Engineering, Inc. applicant.

In this mandatory referral, the Planning Commission is being asked to consider abandoning a portion of Titans Circle right-of-way (ROW) as well as drainage, detention, and utility easements located west of Titans Circle and west of Wycheck Lane. The abandonment of these easements is to accommodate the development of the Marketplace at Savannah Ridge Planned Unit Development (PUD) shopping center and townhomes. The Planning Commission approved the preliminary plat for the Marketplace at Savannah Ridge Subdivision (File 2019-1042) as well as the final plat (File 2019-2094) at its February 19th regular meeting. Approval of both was conditioned upon this mandatory referral being approved by Planning Commission and City Council and the quitclaim deeds executed and recorded quitclaiming the City's interest prior to the recording of the final plat. Because the requested abandonment includes public right-of-way, a public hearing is required.

The report attachments include a map depicting the location of the ROW and easements for consideration of abandonment and a map depicting the location of the new easement (shaded green area is future 10-foot wide utility easement for utilities to relocate their lines).

Staff obtained comments from other City departments and utility providers regarding the impact of the proposed abandonments. Their responses are included in the attached memorandum from Planning staff. Based on the responses received, staff recommends the following conditions of approval:

Recommended Conditions of Approval

1. The right-of-way and drainage easement abandonments shall be subject to the final approval of the legal instruments by the City Legal Department. The applicant shall prepare and submit legal descriptions and exhibits necessary for the City Legal Department to draft the necessary legal instruments.
2. The quitclaim deed transferring the subject ROW and easements shall be executed and recorded prior to the recording of the final plat.
3. Easements necessary for relocated utilities and drainage facilities or for any remaining easements in the abandoned ROW must be recorded simultaneously with the abandonment of the subject easements.

4. The new ROW configuration for Titans Circle must be recorded simultaneously with the abandonment of the subject ROW.
5. All recording fees shall be paid by the applicant.

Action Needed

The Planning Commission will need to conduct a public hearing on this request and then formulate a recommendation to the City Council.

Memorandum

To: Greg McKnight, Planning Director
From: Marina Rush, Principal Planner
Date: April 2, 2020
Re: Titans Circle Right-of-Way (ROW) abandonment (portion) and the abandonment of drainage, detention and utility easements

Following is a summary of the City department staff and utility provider comments regarding the requested ROW and easement abandonment along Titans Circle:

Engineering Department

The drainage and detention easements currently have facilities located within these easements. The request to abandon these easements should be subject to the submission of a plan to relocate the easements for review by the City. If the plan is approved, the request to abandon the drainage and detention easements should be subject to the dedication of relocated easements as shown on the approved plans. The drainage easement abandonment and dedication of replacement easements should be done simultaneously.

The request to abandon right-of-way should be subject to submission of a plan to dedicate additional right-of-way for review by the City. If the plan is approved, the request to abandon right-of-way should be subject to dedication of replacement right-of-way as shown on approved plans and recording of a deed transferring the abandoned right-of-way. The deed should reserve easements for public utilities. The right-of-way abandonment and dedication of the replacement right-of-way should be done simultaneously.

Fire and Rescue Department

The ROW abandonment will not affect the Murfreesboro Fire and Rescue Department.

Police Department

The ROW abandonment will not affect the Murfreesboro Police Department.

Solid Waste Department

The ROW abandonment will not affect the Solid Waste Department.

Murfreesboro Water Resources Department (MWRD)

The Department has no existing water mains within the ROW abandonment area. This area is within Consolidated Utility District's water service area.

The Department has an existing 8" sewer main within the ROW abandonment area; however, MWRD does not need to retain easements because the sewer located within the ROW is not going to be utilized and will be abandoned with the development of the Marketplace at Savannah Ridge commercial center.

Consolidated Utility District (CUD)

CUD has a water line in the portion of the Titans Circle ROW that is proposed to be abandoned. If the ROW is abandoned, then CUD will require that an easement be retained for its existing water line. There is a separate CUD water line easement that is proposed to be abandoned and relocated independent of this mandatory referral request. Because that existing easement is not a City easement, its abandonment and relocation will be handled by CUD separately.

Murfreesboro Electric Department (MED)

MED has underground electric facilities in the utility easement along Titans Circle that is proposed to be abandoned. This will require a new utility easement to be recorded to replace it. In addition, the developer will be responsible for 100% of the cost of the new infrastructure (conduits, excavation, etc.) that replaces the existing infrastructure.

Middle Tennessee Electric Members Cooperative (MTEMC)

This request is not in MTEMC's service area and thus has no impact on MTEMC.

AT&T

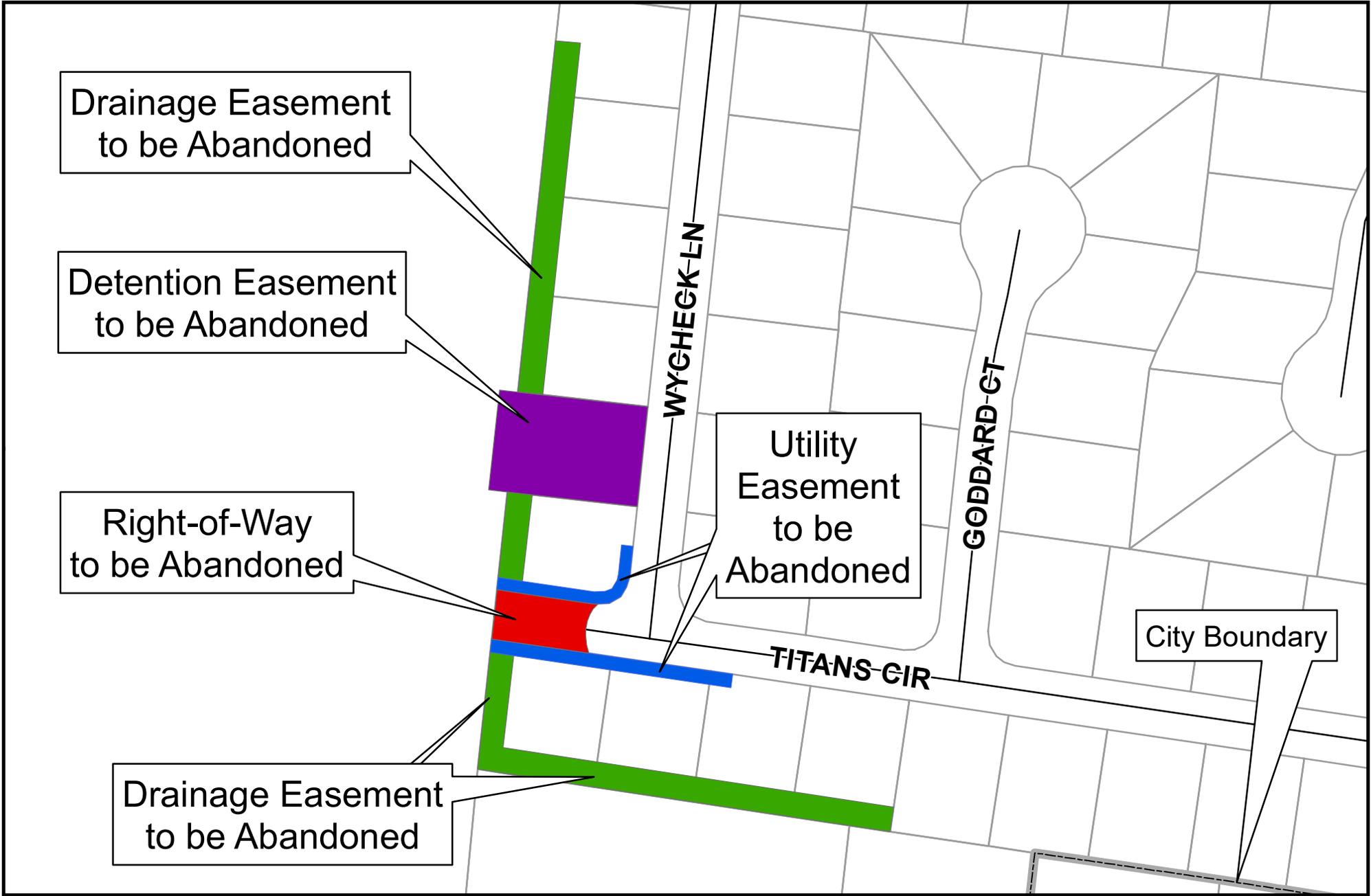
AT&T has existing lines in the utility easement that is proposed to be abandoned. AT&T can relocate the lines to the new proposed utility easement. However, the developer will be responsible for the cost for AT&T to perform the relocation to the new utility easement.

Atmos Energy

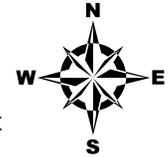
Atmos Energy does not have any facilities in this study area.

Comcast

Comcast utilizes all or part of the Titans Circle ROW to serve Titans Circle and Goddard Court. The ROW abandonment will require relocation of the Comcast facilities. The costs associated with the relocation will be required to be borne by the developer. In addition, new easements may be required for the relocated Comcast lines.



Proposed Abandonment of Right-of-Way and Easements
Along Titans Circle and Wycheck Lane



Planning Department
City of Murfreesboro
11 W Vine St
Murfreesboro, TN 37130
www.murfreesborotn.gov



Drainage Easement to be Abandoned

Detention Easement to be Abandoned

Right-of-Way to be Abandoned

Utility Easement to be Abandoned

Drainage Easement to be Abandoned

City Boundary

Proposed Abandonment of Right-of-Way and Easements Along Titans Circle and Wycheck Lane



Planning Department
 City of Murfreesboro
 11 W Vine St
 Murfreesboro, TN 37130
www.murfreesborotn.gov



HUDDLESTON-STEEL
ENGINEERING, INC.

2115 N.W. Broad Street • Murfreesboro, TN 37129 • Engineering 615-893-4084 • Surveying 615-890-0372 • FAX: 615-893-0080

February 13, 2020

Mr. Matthew Blomeley, Assistant Planning Director
City of Murfreesboro
111 West Vine Street
Murfreesboro, Tennessee 37130

Re: Abandonment of Right-of-Way, Drainage Easements, and Detention Easement
Villages at Savannah Ridge, Section III

Dear Mr. Blomeley:

At the request of our client, David Baker, we hereby make a request to abandon a portion of Titans Circle, drainage easements, and a detention easement that was recorded in Plat Book 29, Page 275 (Villages at Savannah Ridge, Section III), with a mandatory referral by Planning Commission. Property descriptions and exhibits are attached.

Sincerely,

HUDDLESTON-STEEL ENGINEERING, INC.

William H. Huddleston IV, P.E., R.L.S.



City of Murfreesboro Mandatory Referral Application

111 W Vine Street • Murfreesboro, TN 37130 • 615-893-6441

Mandatory Referral Fees:

Mandatory Referral, INCLUDING abandonment of right-of-way.....	\$350.00
Mandatory Referral, NOT INCLUDING abandonment of right-of-way.....	\$150.00

Property Information:

125/26 & 40

Tax Map/Group/Parcel: 125N/E/116 & 59-62 | Address (if applicable):

Street Name (if abandonment of ROW): TITAN'S CIRCLE

Type of Mandatory Referral: ABANDONMENT OF RIGHT-OF-WAY & EASEMENTS

Applicant Information:

Name of Applicant: DAVID BAKER

Company Name (if applicable): BSM COUNTY FARM ROAD, LLC

Street Address or PO Box: 3011 ARMORY DRIVE, SUITE 120

City: NASHVILLE

State: TENNESSEE

Zip Code: 37204

Email Address: dbaker@bsmproperties.com

Phone Number: 615-373-9511

Required Attachments:

- Letter from applicant detailing the request
- Exhibit of requested area, drawn to scale
- Legal description (if applicable)

David H. Waddell
for David Baker

2/13/20

Applicant Signature

Date

Property Description
Villages at Savannah Ridge, Section III
Plat Book 29, Page 275

Right-of-Way Abandonment

Located in the 11th Civil District of Rutherford County, Tennessee. Bound on the north by Lot 81, Villages at Savannah Ridge, Section III (Plat Book 29, Page 275); on the east by Titans Circle; on the south by Lot 80, Savannah Ridge, Section III (Plat Book 29, Page 275); and on the west by Murfreesboro North, LLC (Record Book 723, Page 3886).

Beginning at an iron pin, said pin being the southwest corner of Lot 81, Villages at Savannah Ridge, Section III and the northwest corner of this tract; thence with the south line of Lot 81, S82°10'30"E, 79.09 feet to an iron pin in the west right-of-way of Titans Circle, being the northeast corner of this tract; thence with a curve to the left, having a radius of 25.00 feet, with a chord bearing and distance of S83°16'13"E, 0.96 feet and an arc length of 0.96 feet; thence continuing with the west right-of-way of Titans Circle with a curve to the left, having a radius of 50.00 feet, with a chord bearing and distance of S07°50'11"W, 40.02 feet and an arc length of 41.17 feet to an iron pin, being the southeast corner of this tract; thence leaving the west right-of-way of Titans Circle with the north line of Lot 80, Villages at Savannah Ridge, Section III, N82°10'30"W, 78.49 feet to an iron pin, being the southwest corner of this tract; thence with the east line of Murfreesboro North, LLC, N05°36'40"E, 40.03 feet to the pin at the beginning, containing 0.07 acres, more or less.

This tract is subject to all easements and/or restrictions either recorded of by prescription that a complete title search may reveal.

Prepared by:
Huddleston-Steele Engineering, Inc.
2115 Northwest Broad Street
Murfreesboro, Tennessee 37129



MURFREESBORO NORTH, LLC
 R.B. 723/3886 **P.O.B.**

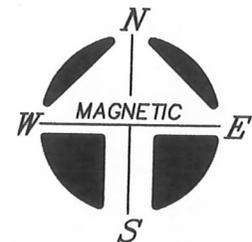
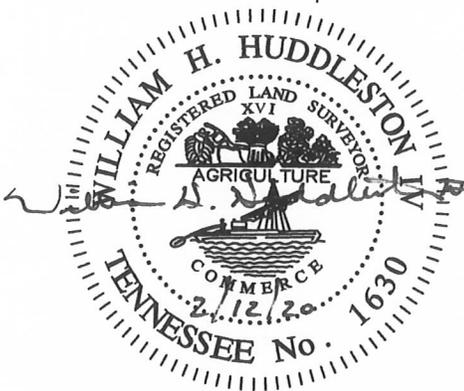
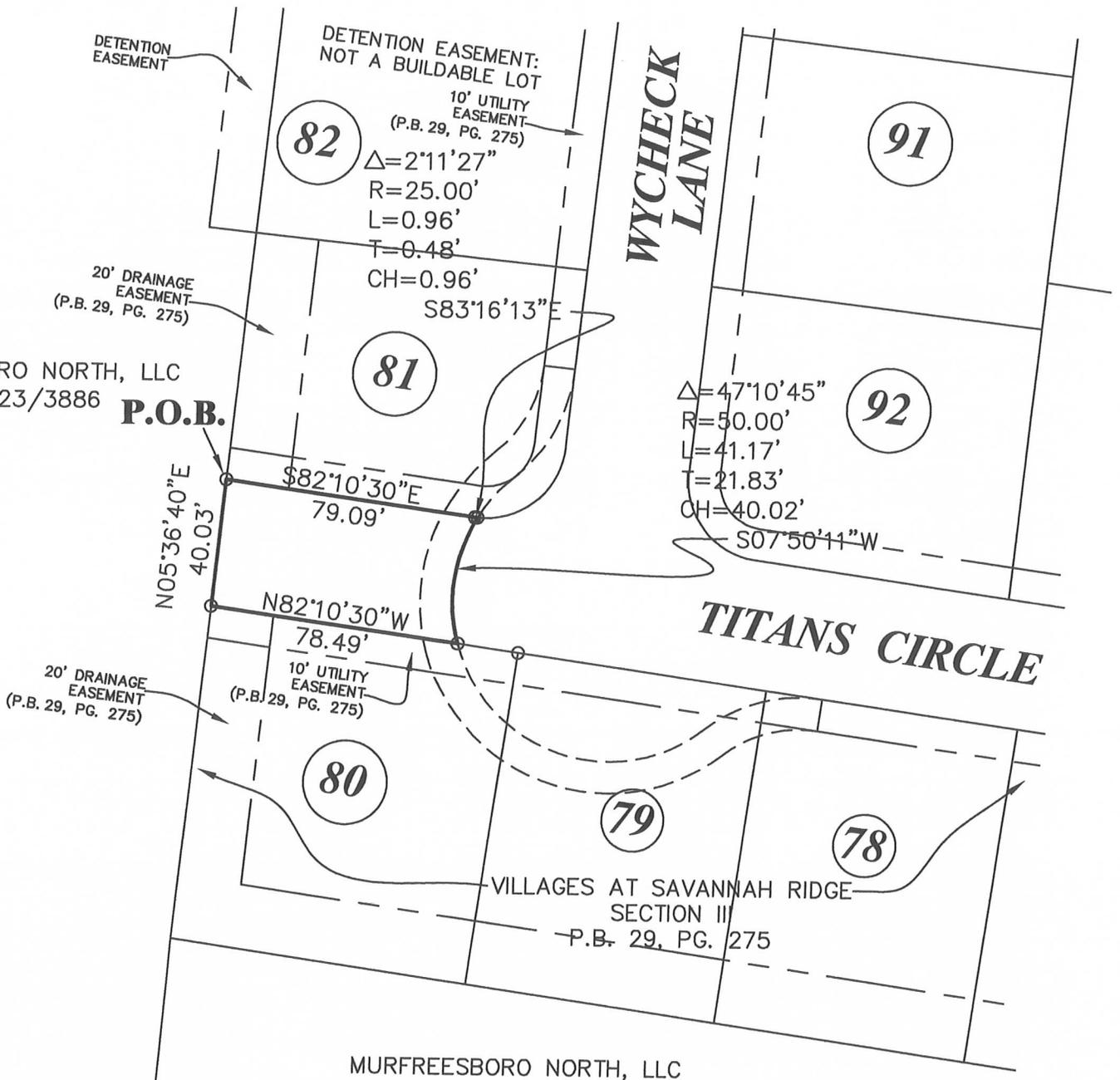


EXHIBIT
RIGHT-OF-WAY
ABANDONMENT
VILLAGES AT
SAVANNAH RIDGE
SECTION III
PLAT BOOK 29, PAGE 275
CITY OF MURFREESBORO
FEBRUARY 2020
SCALE: 1"=50'

THIS SKETCH IS NOT FOR TITLE BOUNDARY SURVEY OF THE SUBJECT PROPERTY. THIS SKETCH IS TO ILLUSTRATE GRAPHICALLY THE INTENT OF THE RIGHT-OF-WAY ABANDONMENT PREMISES.

Property Description
Villages at Savannah Ridge, Section III
Tax Map 125N, Group "E", Parcels 3.00, 4.00, 5.00, and 6.00
Record Book 755, Page 1653
Record Book 723, Page 3839

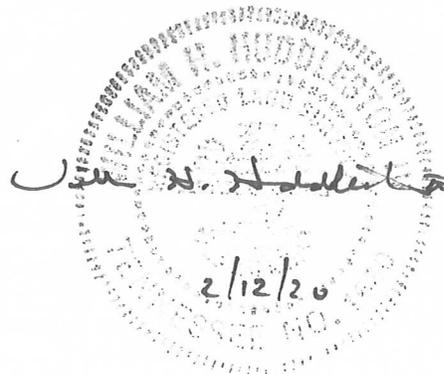
Drainage Easement Abandonment

Located in the 11th Civil District of Rutherford County, Tennessee. Bound on the north by Lot 86, Villages at Savannah Ridge, Section III (Record Book, 755, Page 1653 and Record Book 723, Page 3839); on the east by the remaining property of Lots 83 through 86, Villages at Savannah Ridge, Section III (Record Book 755, Page 1653 and Record Book 723, Page 3839); on the south by Lot 82, Villages at Savannah Ridge, Section III (Record Book 755, Page 1653 and Record Book 723, Page 3839); and on the west by Murfreesboro North, LLC (Record Book 723, Page 3886).

Beginning at an iron pin in the northwest corner of Lot 82, Villages at Savannah Ridge, Section III, said pin being the southwest corner of this easement; thence with the east line of Murfreesboro North, LLC, N05°36'40"E, 288.78 feet to a point, being the northwest corner of this easement; thence into the property of Lot 86, Villages at Savannah Ridge, Section III, S84°23'20"E, 20.00 feet to a point, being the northeast corner of this easement; thence continuing into said property and through the properties of Lots 85, 84, and 83, Villages at Savannah Ridge, Section III, respectively, S05°36'40"W, 288.78 feet to a point, being the southeast corner of this easement; thence with the north line of Lot 82, Villages at Savannah Ridge, Section III, N84°23'20"W, 20.00 feet to the pin at the beginning, containing 0.13 acres, more or less.

This easement is subject to all other easements and/or restrictions either recorded of by prescription that a complete title search may reveal.

Prepared by:
Huddleston-Steele Engineering, Inc.
2115 Northwest Broad Street
Murfreesboro, Tennessee 37129



MURFREESBORO NORTH, LLC
R.B. 723/3886

20' DRAINAGE
EASEMENT

10' UTILITY
EASEMENTS

20' DRAINAGE
EASEMENT

P.O.B.

N84°23'20"W
20.00'

DETENTION EASEMENT:
NOT A BUILDABLE LOT
10' UTILITY
EASEMENT
(P.B. 29, PG. 275)

16

S84°23'20"E
20.00'

86

85

84

83

N05°36'40"E

S05°36'40"W

288.78'

288.78'

VILLAGES AT SAVANNAH RIDGE
SECTION III
P.B. 29, PG. 275

WYCHECK
LANE

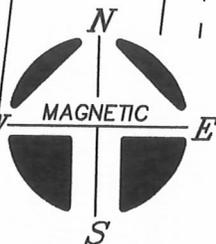


EXHIBIT
DRAINAGE EASEMENT
ABANDONMENT
VILLAGES AT
SAVANNAH RIDGE

SECTION III
PLAT BOOK 29, PAGE 275
TAX MAP 125N, "E", PARCELS 3.00,
4.00, 5.00, & 6.00
RECORD BOOK 755, PAGE 1653
RECORD BOOK 723, PAGE 3839
CITY OF MURFREESBORO
FEBRUARY 2020



THIS SKETCH IS NOT FOR TITLE BOUNDARY SURVEY OF THE SUBJECT PROPERTY. THIS SKETCH IS TO ILLUSTRATE GRAPHICALLY THE INTENT OF THE EASEMENT ABANDONMENT PREMISES.

Property Description
Villages at Savannah Ridge, Section III
Tax Map 125N, Group "E", Parcels 59.00, 60.00, 61.00, and 62.00
Record Book 755, Page 1653

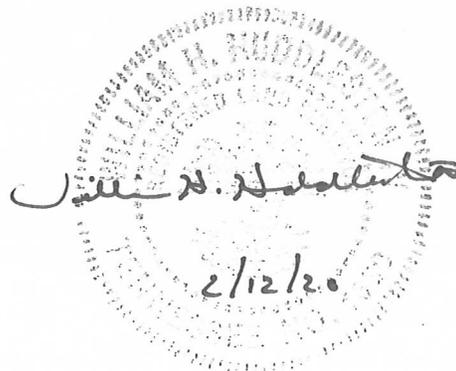
Drainage Easement Abandonment

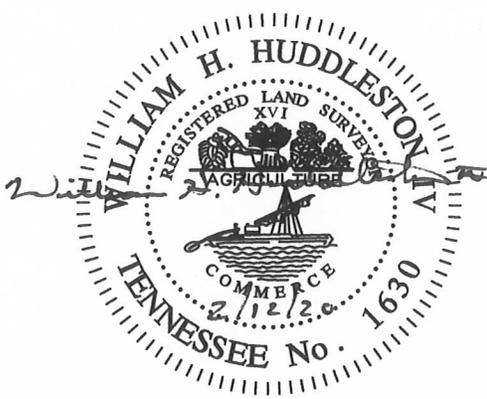
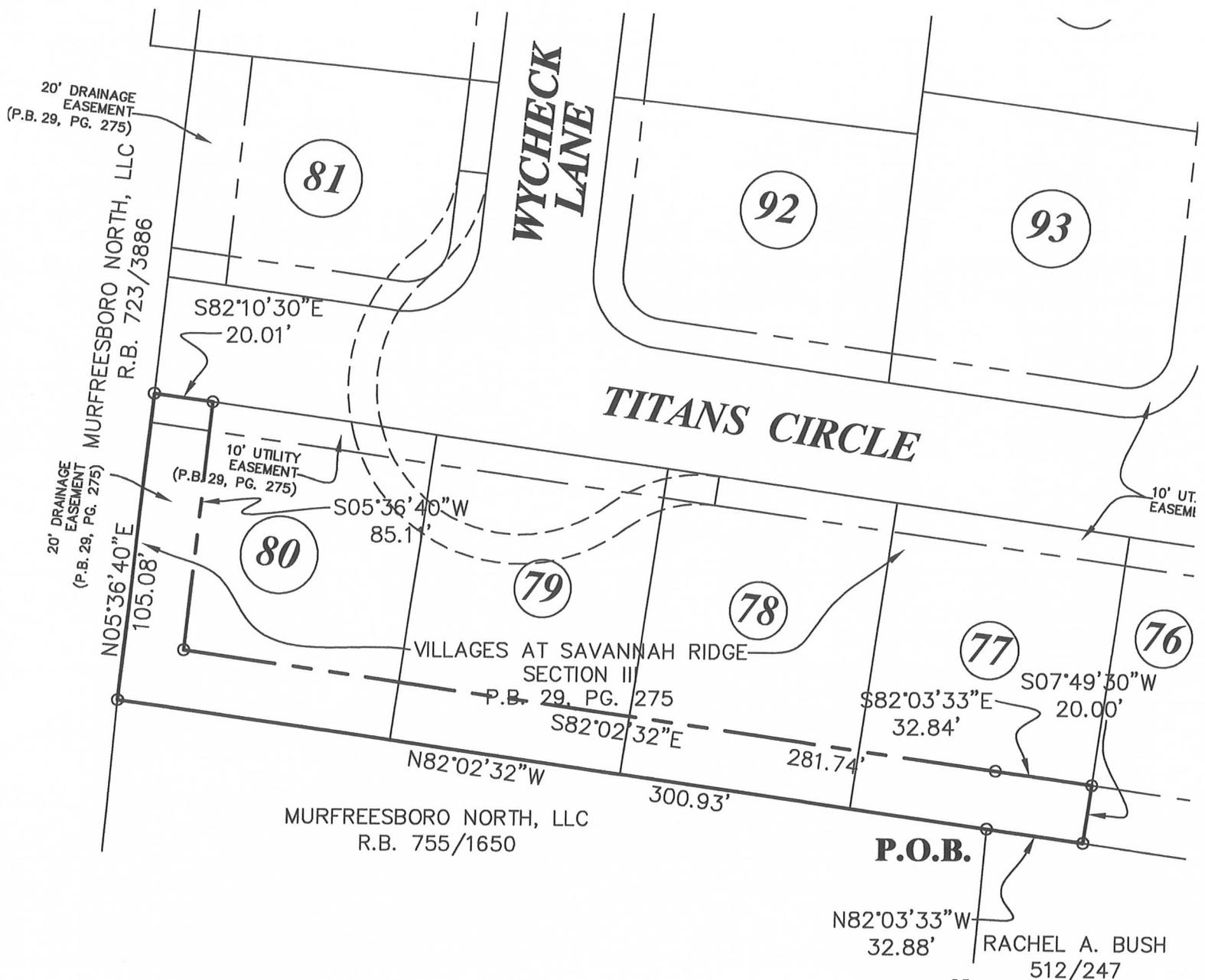
Located in the 11th Civil District of Rutherford County, Tennessee. Bound on the north by Titans Circle and Lots 77, 78, 79, and 80, Villages at Savannah Ridge, Section III (Plat Book 29, Page 275); on the east by Lot 76, Villages at Savannah Ridge, Section III (Plat Bok 29, Page 275); on the south by Murfreesboro North, LLC (Record Book 755, Page 1650) and Rachel A. Bush (Deed Book 512, Page 247); and on the west by Murfreesboro North, LLC (Record Book 723, Page 3886).

Beginning at an iron pin in the southwest terminus of Titans Circle, said pin being the northwest corner of Lot 80, Villages at Savannah Ridge, Section III and the northwest corner of this easement; thence with the south right-of-way of Titans Circle, S82°10'30"E, 20.01 feet to a point; thence leaving Titans Circle into the property of Lot 80, Villages at Savannah Ridge, Section III, S05°36'40"W, 85.11 feet to a point; thence into the property of Lots 80, 79, 78 and 77, Villages at Savannah Ridge, Section III, respectively, S82°02'32"E, 281.74 feet to a point; thence continuing into Lot 77, Villages at Savannah Ridge, Section III, S82°03'33"E, 32.84 feet to a point, being the northeast corner of this easement; thence with the west line of Lot 76, Villages at Savannah Ridge, Section III, S07°49'30"W, 20.00 feet to a point, being the southeast corner of this easement; thence with the north line of Rachel A. Bush, N82°03'33"W, 32.88 feet to a point; thence with the north line of Murfreesboro North, LLC, N82°02'32"W, 300.93 feet to an iron pin, being the southwest corner of this easement; thence with the east line of Murfreesboro North, LLC, N05°36'40"E, 105.08 feet to the pin at the beginning, containing 0.19 acres, more or less.

This easement is subject to all other easements and/or restrictions either recorded of by prescription that a complete title search may reveal.

Prepared by:
Huddleston-Steele Engineering, Inc.
2115 Northwest Broad Street
Murfreesboro, Tennessee 37129





P.O.B.
 N82°03'33"W
 32.88' RACHEL A. BUSH
 512/247

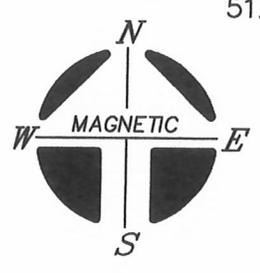


EXHIBIT
DRAINAGE EASEMENT
ABANDONMENT
VILLAGES AT
SAVANNAH RIDGE

SECTION III
 PLAT BOOK 29, PAGE 275
 TAX MAP 125N, "E", PARCELS 59.00,
 60.00, 61.00, & 62.00
 RECORD BOOK 755, PAGE 1653
 CITY OF MURFREESBORO
 FEBRUARY 2020

THIS SKETCH IS NOT FOR TITLE BOUNDARY SURVEY OF THE SUBJECT PROPERTY. THIS SKETCH IS TO ILLUSTRATE GRAPHICALLY THE INTENT OF THE EASEMENT ABANDONMENT PREMISES.

Property Description
Villages at Savannah Ridge, Section III
Tax Map 125N, Group "E", Parcel 001.00
Record Book 755, Page 1653

Drainage Easement Abandonment

Located in the 11th Civil District of Rutherford County, Tennessee. Bound on the north by Lot 82, Villages at Savannah Ridge, Section III (Plat Book 29, Page 275); on the east by the remaining property of Lot 81, Villages at Savannah Ridge, Section III (Plat Book 29, Page 275); on the south by Titans Circle; and on the west by Murfreesboro North, LLC (Record Book 723, Page 3886).

Beginning at an iron pin in the northwest terminus of Titans Circle, said pin being the southwest corner of Lot 81, Villages at Savannah Ridge, Section III and the southwest corner of this easement; thence with the east line of Murfreesboro North, LLC, N05°36'40"E, 77.95 feet to a point, being the northwest corner of this easement; thence leaving the east line of Murfreesboro North, LLC with the south line of Lot 82, Villages at Savannah Ridge, Section III, S84°23'20"E, 20.00 feet to a point, being the northeast corner of this easement; thence crossing the property of Lot 81, Villages at Savannah Ridge, Section III, S05°36'40"W, 78.73 feet to a point, being the southeast corner of this easement; thence with the north right-of-way line of Titans Circle, N82°10'30"E, 20.01 feet to the pin at the beginning, containing 0.03 acres, more or less.

This tract is subject to all easements and/or restrictions either recorded of by prescription that a complete title search may reveal.

Prepared by:
Huddleston-Steele Engineering, Inc.
2115 Northwest Broad Street
Murfreesboro, Tennessee 37129



MURFREESBORO NORTH, LLC
R.B. 723/3886

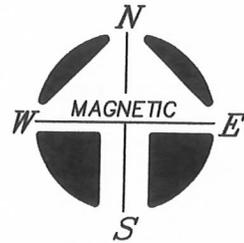
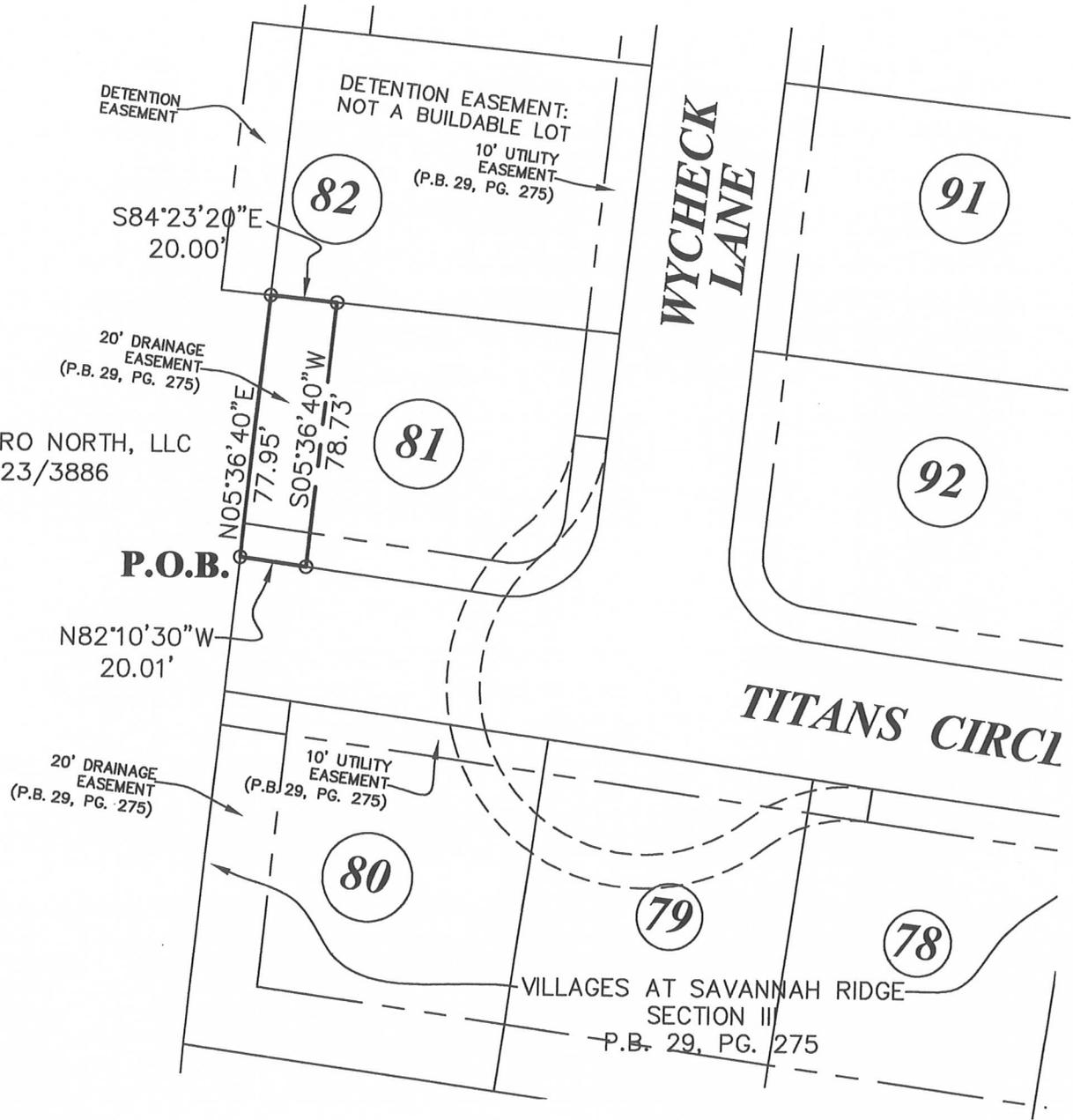


EXHIBIT
DRAINAGE EASEMENT
ABANDONMENT
VILLAGES AT
SAVANNAH RIDGE
SECTION III

PLAT BOOK 29, PAGE 275
TAX MAP 125N, "E", PARCEL 1.00,
RECORD BOOK 755, PAGE 1653
CITY OF MURFREESBORO
FEBRUARY 2020

THIS SKETCH IS NOT FOR TITLE BOUNDARY SURVEY OF THE SUBJECT PROPERTY. THIS SKETCH IS TO ILLUSTRATE GRAPHICALLY THE INTENT OF THE EASEMENT ABANDONMENT PREMISES.

Property Description
Villages at Savannah Ridge, Section III
Tax Map 125N, Group "E", Parcel 002.00 and
Tax Map 125, Parcel 026.00
Record Book 736, Page 3164 and
Record Book 723, Page 3886

Detention Easement Abandonment

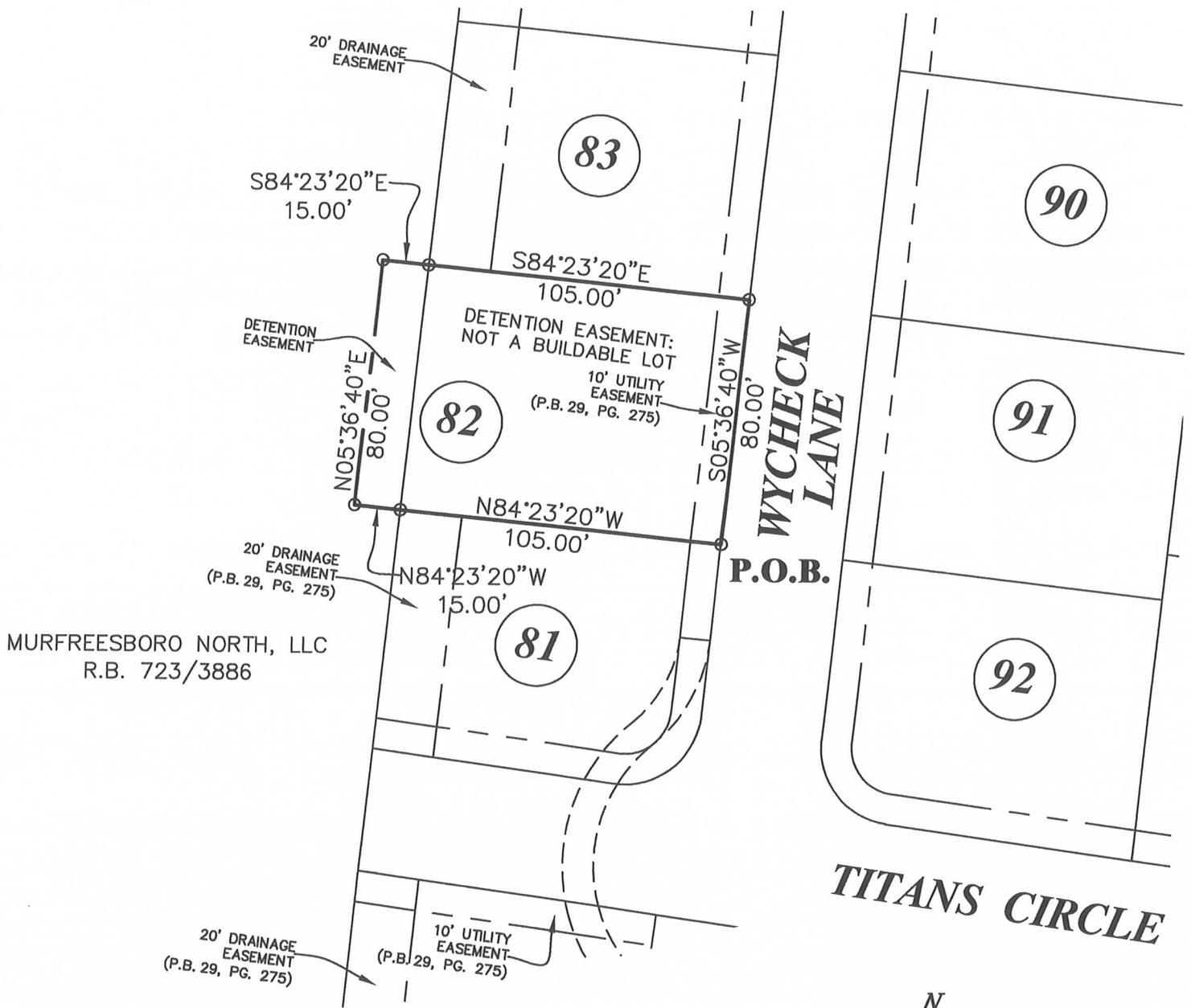
Located in the 11th Civil District of Rutherford County, Tennessee. Bound on the north by Lot 83, Villages at Savannah Ridge, Section III (Plat Book 29, Page 275) and Murfreesboro North, LLC (Record Book 723, Page 3886); on the east by Wycheck Lane; on the south by Lot 81, Villages at Savannah Ridge, Section III (Plat Book 29, Page 275) and Murfreesboro North, LLC (Record Book 723, Page 3886); and on the west by Murfreesboro North, LLC (Record Book 723, Page 3886).

Beginning at an iron pin in the west right-of-way of Wycheck Lane, said pin being the southeast corner of Lot 82, Villages at Savannah Ridge, Section III and the southeast corner of this easement; thence with the north line of Lot 81, Villages at Savannah Ridge, Section III, N84°23'20"W, 105.00 feet to a point, being the northwest corner of Lot 81, Villages at Savannah Ridge, Section III; thence into the property of Murfreesboro North, LLC, N84°23'20"W, 15.00 feet to a point; thence continuing into the property of Murfreesboro North, LLC, N05°36'40"E, 80.00 feet to a point, being the northwest corner of this easement; thence S84°23'20"E, 15.00 feet to a point, being the southwest corner of Lot 83, Villages at Savannah Ridge, Section III; thence with the south line of Lot 83, Villages at Savannah Ridge, Section III, S84°23'20"E, 105.00 feet to a point, being the northeast corner of this easement; thence with the west right-of-way of Wycheck Lane, S08°36'40"W, 80.00 feet to the pin at the beginning, containing 0.22 acres, more or less.

This tract is subject to all easements and/or restrictions either recorded of by prescription that a complete title search may reveal.

Prepared by:
Huddleston-Steele Engineering, Inc.
2115 Northwest Broad Street
Murfreesboro, Tennessee 37129





MURFREESBORO NORTH, LLC
R.B. 723/3886

TITANS CIRCLE

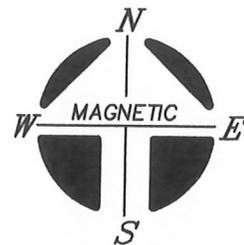
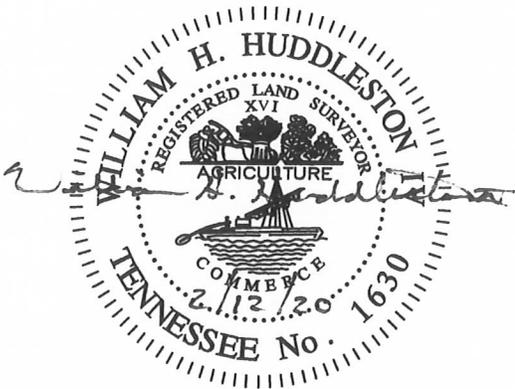


EXHIBIT
DETENTION EASEMENT
ABANDONMENT
VILLAGES AT
SAVANNAH RIDGE

SECTION III
PLAT BOOK 29, PAGE 275
TAX MAP 125N, "E", PARCEL 2.00,
RECORD BOOK 736, PAGE 3164
TAX MAP 125, PARCEL 26.00
RECORD BOOK 723, PAGE 3886

CITY OF MURFREESBORO

FEBRUARY 2020

THIS SKETCH IS NOT FOR TITLE BOUNDARY SURVEY OF THE SUBJECT PROPERTY. THIS SKETCH IS TO ILLUSTRATE GRAPHICALLY THE INTENT OF THE EASEMENT ABANDONMENT PREMISES.

Property Description
Villages at Savannah Ridge, Section III
Tax Map 125N, Group "E", Parcels 1.00, 60.00, 61.00, and 62.00
Record Book 755, Page 1653

Utility Easement Abandonment South

Located in the 11th Civil District of Rutherford County, Tennessee. Bound on the north by Titans Circle; on the east by Lot 78, Villages at Savannah Ridge, Section III (Plat Book 29, Page 275); on the south by Lots 78, 79, and 80, Villages at Savannah Ridge, Section III (Record Book 755, Page 1653); and on the west by Murfreesboro North, LLC (Record Book 723, Page 3886).

Beginning at an iron pin in the southwest terminus of Titans Circle, said pin being the northwest corner of Lot 80, Villages at Savannah Ridge, Section III and the northwest corner of this easement; thence with the south right-of-way of Titans Circle, S82°10'30"E, 195.73 feet to a point, being the northeast corner of this easement; thence leaving Titans Circle into the property of Lot 78, Villages at Savannah Ridge, Section III, S07°49'30"W, 10.00 feet to a point, being the southeast corner of this easement; thence crossing the property of Lots 78, 79, and 80, Villages at Savannah Ridge, Section III, respectively, N82°10'30"W, 195.35 feet to a point, being the southwest corner of this easement; thence with the east line of Murfreesboro North, LLC, N05°36'40"E, 10.01 feet to the pin at the beginning, containing 0.04 acres, more or less.

This easement is subject to all other easements and/or restrictions either recorded of by prescription that a complete title search may reveal.

Prepared by:
Huddleston-Steele Engineering, Inc.
2115 Northwest Broad Street
Murfreesboro, Tennessee 37129



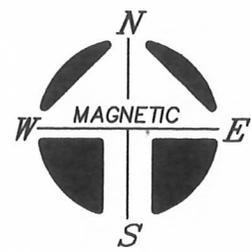
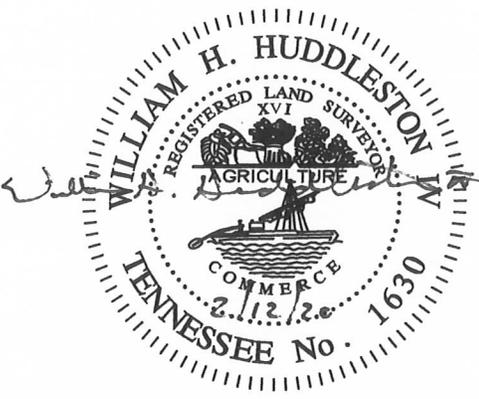
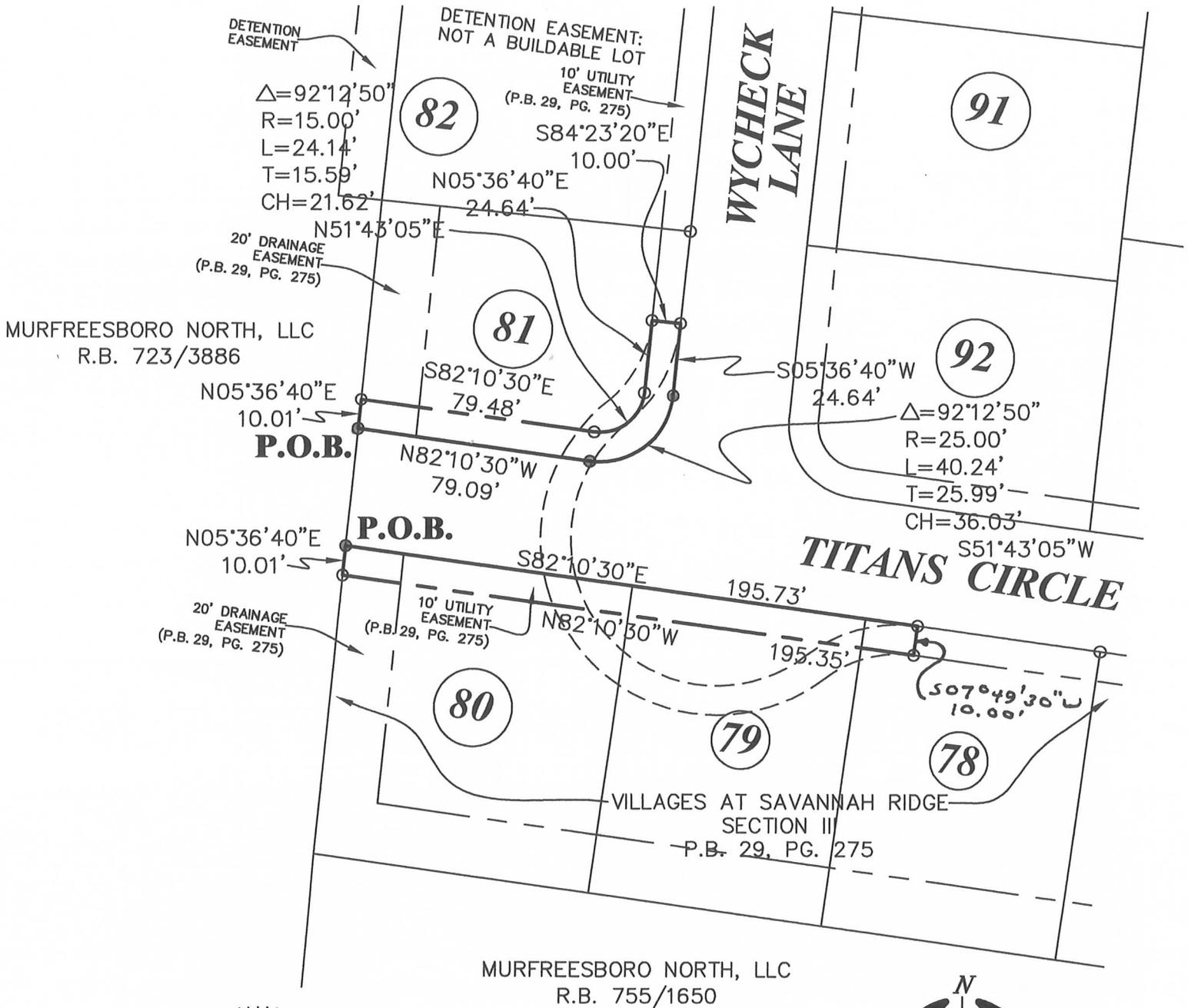


EXHIBIT
UTILITY EASEMENT
ABANDONMENT
VILLAGES AT
SAVANNAH RIDGE

SECTION III
 PLAT BOOK 29, PAGE 275
 TAX MAP 125N, "E", PARCELS 1.00,
 60.00, 61.00, & 62.00
 RECORD BOOK 755, PAGE 1653
 CITY OF MURFREESBORO
 FEBRUARY 2020

THIS SKETCH IS NOT FOR TITLE BOUNDARY SURVEY OF THE SUBJECT PROPERTY. THIS SKETCH IS TO ILLUSTRATE GRAPHICALLY THE INTENT OF THE EASEMENT ABANDONMENT PREMISES.

Property Description
Villages at Savannah Ridge, Section III
Tax Map 125N, Group "E", Parcels 1.00, 60.00, 61.00, and 62.00
Record Book 755, Page 1653

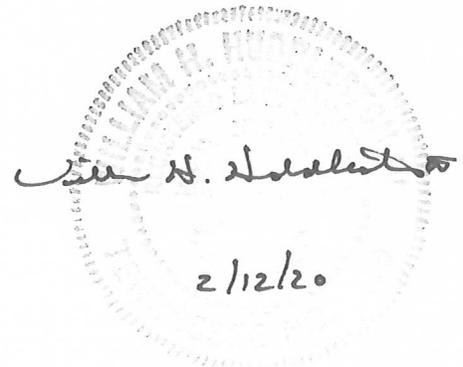
Utility Easement Abandonment North

Located in the 11th Civil District of Rutherford County, Tennessee. Bound on the north by Lot 81, Villages at Savannah Ridge, Section III (Plat Book 29, Page 275); on the east by Wycheck Lane; on the south by Titans Circle; and on the west by Murfreesboro North, LLC (Record Book 723, Page 3886).

Beginning at an iron pin in the northwest terminus of Titans Circle, said pin being the southwest corner of Lot 81, Villages at Savannah Ridge, Section III and the southwest corner of this easement; thence with the east line of Murfreesboro North, LLC, N05°36'40"E, 10.01 feet to a point, being the northwest corner of this easement; thence into the property of Lot 81, Villages at Savannah Ridge, Section III, S82°10'30"E, 79.48 feet to a point; thence continuing into said property, having a radius of 15.00 feet, with a chord bearing and distance of N51°43'05"E, 21.62 feet and an arc length of 24.14 feet to a point; thence N05°36'40"E, 24.64 feet to a point; thence S84°23'20"E, 10.00 feet to a point in the west right-of-way of Wycheck Lane, being the northeast corner of this easement; thence with said right-of-way, S05°36'40"W, 24.64 feet to an iron pin; thence continuing with said right-of-way with a curve to the right, having a radius of 25.00 feet, with a chord bearing and distance of S51°43'05"W, 36.03 feet and an arc length of 40.24 feet to an iron pin in the north right-of-way of Titans Circle; thence with said right-of-way, N82°10'30"W, 79.09 feet to the pin at the beginning, containing 0.03 acres, more or less.

This easement is subject to all other easements and/or restrictions either recorded of by prescription that a complete title search may reveal.

Prepared by:
Huddleston-Steele Engineering, Inc.
2115 Northwest Broad Street
Murfreesboro, Tennessee 37129

A circular professional seal for a Tennessee Professional Engineer. The seal contains the text "TENNESSEE PROFESSIONAL ENGINEER" around the perimeter. In the center, there is a signature in cursive that reads "Lee H. Huddleston" and the date "2/12/20" written below it.

**MURFREESBORO PLANNING COMMISSION
STAFF COMMENTS, PAGE 1
APRIL 22, 2020**

5.b. Proposed amendments to the Zoning Ordinance [2020-803] to Section 26: Off-Street Parking, Queuing, and Loading, regarding off-site parking agreements, joint parking agreements, and other miscellaneous items, City of Murfreesboro Planning Department applicant.

In this request, Staff brings to the Planning Commission for its consideration proposed amendments to the Zoning Ordinance pertaining to *Section 26: Off-Street Parking, Queuing, and Loading*. Over the course of the last several months, it has become clear to Staff that the subsections of Section 26 pertaining to off-site parking agreements are in need of improvements. At a time when an increased demand for downtown infill development appears to warrant more flexible parking solutions, the current standards make it difficult to implement such off-site parking arrangements. The Planning and Legal Departments have worked to improve these provisions so that they will be easier to administer and more effective in the long run.

In addition to the aforementioned revisions regarding off-site parking agreements, Staff also proposes some additional revisions to Section 26. Some are more housekeeping in nature, such as correcting certain outdated terminology. Other revisions, however, are more substantive, such as implementing a cap (outside of the City Core Overlay District) on the narrower parking stall options in the Zoning Ordinance, clarifying when and how garage parking spaces are eligible to count toward minimum parking requirements, and clarifying how parking is to be determined for outdoor dining areas at restaurants and other similar uses. Because there are numerous proposed amendments within Section 26, Staff proposes deleting Section 26 in its entirety and replacing it with version included in the agenda packet.

Action Needed:

The Planning Commission will need to discuss this matter and schedule it for a public hearing. Planning staff recommends a **May 6, 2020** public hearing date. Planning staff will be available at the Planning Commission meeting to discuss the request and answer any questions.

SECTION 26. OFF-STREET PARKING, QUEUING, AND LOADING.

(A) *Purpose.* The off-street parking, queuing, and loading requirements and the regulations of such parking, queuing, and loading set forth in this section are designed to alleviate and prevent congestion in the streets.

(B) *Application of regulations.*

(1) *Effective Date:* The effective date of this Section 26 shall be September 11, 2009.

(2) *Existing, new, changed, and expanded uses.*

(a) No building, structure, or use lawfully established prior to the effective date of this section shall be required to comply with the provisions of this section except as hereinafter provided.

(b) All buildings and structures erected and uses established after the effective date of this section shall comply with the provisions of this section, provided, however, that if a building permit was issued prior to the effective date of this section and construction is begun within one year of the date of such permit, the parking and loading regulations in effect on the date such permit was issued shall apply.

(c) If any building or structure is increased by the addition of dwelling units, gross floor area, seating capacity or any other measure of increased parking intensity as measured by Chart 4 after the effective date of this section, the provisions of this section shall only apply to the extent of such increase.

(d) If the existing use of a building or structure shall be changed to a new use, as measured by Chart 4, such new use shall comply with the provisions of this section; provided, however, that if the existing use is located in a building or structure existing on the effective date of this section, additional parking, queuing, or loading requirements shall be required only in the amount by which the requirements for the new use exceed the amount required for the existing use if such existing use were subject to the provisions of this section.

(e) Any conforming or legally nonconforming building, structure, or use which is in existence on the effective date of this section, which is subsequently damaged or destroyed and thereafter reconstructed, re-established or repaired may

maintain the same amount of parking and loading which existed on the date of the damage or destruction, provided, however, if such damage or destruction exceeds seventy-five percent (75%) of the value of such building, structure or use, then the parking, queuing, and loading requirements of this section shall apply.

(f) Upon the effective date of this section no existing parking space, parking lot, queuing space, or loading space shall be reduced in size or number below the requirements of this section.

(3) *CBD district exemption.* The provisions of this section shall not apply to any building, structure, or use located in the CBD zoning district.

(C) Regulations Applicable to Parking Spaces and Parking Lots

(1) *Location of required parking spaces.* Except as may otherwise be provided in this article, the off-street parking spaces required by this section shall be located as provided in this subsection (C). Where a distance is specified, such distance shall be measured from the nearest point of the parking lot to the nearest point of the building structure or uses served by such parking lot.

(a) *Single-family attached, single-family detached, and duplex residential uses.*

[1] Required parking spaces shall be located on the same lot as the structure to which they are accessory.

[2] Access to one parking space through another parking space is permitted provided that the lot does not front upon a street identified as a major arterial, minor arterial, or collector street in the Murfreesboro Major Transportation Plan as adopted and as may be amended from time to time.

[3] Four required parking spaces per dwelling unit may be located in the required front yard provided that the lot does not front upon a street identified as a major arterial, minor arterial, or collector street in the Murfreesboro Major Transportation Plan as adopted and as may be amended from time to time.

[4] Lots that front upon a street identified as a major arterial, minor arterial, or collector street in the Murfreesboro Major Transportation Plan as adopted and as may be amended from time to time shall have parking located to the

side or rear of the proposed structure, shall be permitted to have no more than one required parking space in the required front yard, and shall have the parking designed such that backing into the street is not required in order to exit the on-site parking. Provided further that backing from the street in order to gain access to required parking is prohibited.

- [5] Parking spaces within garages, whether attached to or detached from the principal structure, shall not be considered as required parking spaces for the purposes of this section. However, within the RM-12, RM-16, RS-A, Type 1, RS-A, Type 2, and RS-A, Type 3 zones parking spaces within garages for single-family detached and single-family attached structures may be considered as required parking for purposes of this section provided such spaces are restricted to use only for parking of automobiles (and not for the parking or storage of boats, recreational vehicles, trailers, equipment, or any other items), and that such restriction is reflected in a legal instrument or instrument(s) in form suitable for recording and approved by the Director and the City Attorney. Where parking spaces within garages have been approved to meet minimum parking requirements, the interior of two-car garages from wall to wall shall have minimum dimensions of ___' wide by _____' deep and the interior of one-car garages from wall to wall shall have minimum dimensions of ___' wide by _____' deep. Where parking spaces in garages have been approved to meet minimum parking requirements as a function of site plan approval or permit review, the use of such parking spaces for any other purpose shall be considered a violation of this article.

(b) *Multi-family residential, and nonresidential uses.*

- [1] Required parking spaces shall be located on the same lot or, if located off-site, on land within five hundred feet of the building, structure or use served; provided that such off-site parking complies with the following requirements:
- [i] Such off-site parking spaces are located within a zoning district which would permit the use to which such parking is accessory,

[ii] The person proposing the use of off-site parking to meet the required off-street parking spaces file a written application with the Director setting forth the following information:

(a) the names, addresses, telephone numbers and other contact information for the applicant and the owner of land proposed for off-site parking;

(b) the uses which will utilize and which will provide the proposed off-site parking spaces, the number of parking spaces required by Chart 4 for each use, the number of off-site parking spaces to be provided, and evidence the number of parking spaces to be provided are surplus and will not create a parking deficit for the use providing the off-site parking spaces; and

(c) any other information required by the Director as reasonably necessary in order to make a determination in the matter.

[iii] Within thirty (30) days after a complete application is filed, the Director shall determine whether utilization of the proposed off-site parking spaces will be allowed and shall so notify the applicant in writing.

[iv] The provisions of the approved off-site parking arrangement shall be incorporated into a written agreement signed by both parties that will remain in place until either [i] business circumstances justify modification or elimination of the arrangement or [ii] alternative parking arrangements are provided, which modification, elimination, or alternative arrangements must be approved by the Director. The agreement must be in form suitable for recording and approved by the Director and the City Attorney before it becomes effective. Premature termination or unauthorized modification to the terms of the approved agreement shall be considered a violation of this article.

[2] Parking spaces or access aisles for parking spaces of multi-family dwellings located in the RM-12 and RM-16 districts shall not be located within a required front yard.

[3] Vehicles used in connection with a non-residential use for deliveries or transportation of patrons or tenants, and referred to as business vehicles for purposes of this section, may be parked on-site, provided that space(s) for parking for such business vehicles shall not count towards required parking. The number of required spaces for business vehicles shall be as provided in Chart 4 REQUIRED OFF-STREET PARKING AND QUEUING SPACES BY USE.

(2) *Computation of required parking spaces.*

- (a) When computation of the number of required parking spaces results in a fractional space, any fraction up to and including one-half ($\frac{1}{2}$) shall be disregarded and fractions over one-half ($\frac{1}{2}$) shall require one parking space.
- (b) When parking spaces are computed on the basis of the number of employees or students, the maximum number present at any one time shall govern.
- (c) In determining the minimum number of parking spaces required under this article, accessible parking spaces required under state or federal law shall not be considered.
- (d) Parking spaces within garages for multi-family structures may be considered as required parking for purposes of this section provided such spaces are used only for parking of automobiles (and not for the parking or storage of boats, recreational vehicles, trailers, equipment, or any other items), and that such spaces shall be included in the leases for individual units and shall not be leased separately. In addition, a written commitment from the developer must be provided at the time of site plan approval stating that the garages will be managed to ensure that the garages will be used as required above. Where parking spaces in garages have been approved to meet minimum parking requirements, the interior of two-car garages from wall to wall shall have

minimum dimensions of ___' wide by _____' deep and the interior of one-car garages from wall to wall shall have minimum dimensions of ___' wide by _____' deep. Where parking spaces in garages have been approved to meet minimum parking requirements, the use of such parking spaces for any other purpose shall be considered a violation of this article. Parking spaces within garages for multi-family residential structures that are also classified as single-family attached residential structures (e.g., townhomes) shall be regulated by Section 26(C)(1)(a)[5] of this article.

- (e) For purposes of determining the number of required parking spaces for a Specialty Restaurant or a Limited-Specialty Restaurant located as a tenant in a retail center with multiple tenants such use shall be considered as a Retail Shop, provided however, that the number of queuing spaces for a drive-up window shall be 10 queuing spaces for each drive-up window associated with the use.
- (f) Parking spaces shall be provided in accordance with the ratios set forth in Chart 4, Required Off-Street Parking and Queuing Spaces by Use, for all outdoor dining areas for the following uses, irrespective of whether or not they are located in a multi-tenant building:
 - bar or tavern;
 - restaurant, night club, tavern or cocktail lounge;
 - restaurant, drive-in;
 - restaurant, specialty;
 - restaurant, specialty-limited;

Such parking spaces shall be in addition to the number of parking spaces required for the building itself.

- (c) *Non-residential uses; joint use of required parking spaces.* Joint use of up to one hundred percent (100%) of required off-street parking spaces shall be permitted for two or more uses located in the same or different buildings or structures, whether or not located on the same lot or parcel, and whether or not under the same ownership, subject to the following requirements:

- (a) the lots or parcels are adjacent or within five hundred feet of each other and the zoning of both allows the uses that will utilize the proposed joint parking arrangement; and,
- (b) the persons proposing the joint use of required off-street parking spaces file a joint written application with the Director setting forth the following information:
 - [1] the names, addresses, and telephone numbers of the applicants;
 - [2] the ownership and location of the off-street parking spaces proposed to be jointly used;
 - [3] the uses which will jointly use the required off-street parking spaces, the hours of operation of each such use, the number of parking spaces required for each use, and the number of required parking spaces proposed to be jointly used; and,
 - [4] any other information required by the Director reasonably necessary in order to make a determination in this matter.
- (c) Within thirty (30) days after such complete application is filed, the Director shall determine whether such joint use of required off-street parking spaces will be allowed, and shall in writing notify the applicants thereof.
- (d) The provisions of the approved joint use arrangement shall be incorporated into a written agreement that will remain in place until either [i] business circumstances justify modification or elimination of the arrangement or [ii] alternative parking arrangements are provided, which modification, elimination, or alternative arrangements must be approved by the Director. The agreement must be in form suitable for recording and approved by the Director and the City Attorney before it becomes effective. Premature termination or unauthorized modification to the terms of the approved agreement shall be considered a violation of this article.

(4) *Regulations applicable to parking voluntarily established.* Any parking spaces, parking areas, parking aisles, parking lots, or maneuvering areas established,

whether required by this section or not, shall comply with the provisions of this section as regards design and construction.

(5) *Prohibition of using parking spaces for another use.* Any land used for required off-street parking shall not be used for any other purpose, including but not limited to the display and/or storage of equipment, materials, or products for sale, until alternate or replacement off-street parking spaces are established for the building, structure, or use served by the parking spaces located on such land.

(6) Dimensions of parking spaces and aisles.

(a) *Dimensions of non-accessible off-street parking spaces.* Non-accessible off-street parking spaces shall be of the dimensions as shown on Chart 3 of this article, provided that, except in the City Core Overlay District, no more than twenty (20%) percent of the total number of on-site non-accessible parking spaces provided shall be 8.5 ft. in width.

(b) *Dimensions of accessible off-street parking.* Accessible parking spaces shall be designed in accordance with the accessibility code then in effect in the State of Tennessee.

(7) *Design standards.* Parking lots shall be designed, constructed, and maintained in accordance with the following minimum standards and requirements:

(a) The design requirements for non-accessible parking spaces and aisles located within a parking lot are set forth on Chart 3. Subject to compatibility with overall access and circulation configuration, the applicant for permits and approvals required by this section shall choose any one of the parking angles and stall widths for such spaces as are indicated on Chart 3, provided that, except in the City Core Overlay District, no more than twenty (20%) percent of the total number of on-site non-accessible parking spaces provided shall be 8.5 ft. in width. The regulations opposite such parking angle and stall widths shall apply to the development of the parking lot.

(b) Parking lots, loading spaces, and maneuvering areas shall be surfaced with asphalt, concrete, or other hard surface dustless material and be so constructed to provide for adequate drainage and prevent the release of dust into the atmosphere and sediment into the storm drainage system in

accordance with applicable codes and standards. Gravel and bituminous surface treatment may be permitted for wrecker service storage yards or areas used for materials or equipment storage, only after approval from the Development Services Division.

- (c) Parking lots and maneuvering areas shall be designed, landscaped, and screened in accordance with the requirements of Sections 24 and 27 of this article (Appendix A – Zoning).
- (d) Continuous curbing shall be provided around all parking lots in order to protect landscape areas and other site elements.
- (e) Lighting used to illuminate off-street parking lots shall be sufficient so as to provide for the safety and security of motorists and pedestrians and shall be so arranged to prevent direct glare onto any public or private property or streets in accordance with applicable codes and standards.
- (f) The design requirements for accessible parking spaces and aisles located within a parking lot shall be as required in the accessibility code then in effect in the State of Tennessee.
- (g) Parking lots shall be designed so that backing into any queuing lanes or queuing spaces for drive-thru windows or other drive-thru/drive-up elements of a site shall not be necessary in order to exit parking spaces.

(8) *Number of parking spaces.*

- (1) The number of non-accessible parking spaces required for specific uses is set forth on Chart 4; the number of accessible parking spaces shall be as set forth in the accessibility code then in effect in the State of Tennessee.
- (2) In single-family residential and duplex zoning districts, no more than six parking spaces per dwelling unit, excluding parking spaces within garages, shall be allowed.
- (3) For uses not expressly listed on Chart 4, parking spaces shall be provided on the same basis as required for the most similar listed use, as determined by the Planning Director pursuant to the Director's authority to interpret the provisions of this article (Appendix A – Zoning).

(2) For special permit uses requiring approval by the Board of Zoning Appeals, the BZA may require more parking than the minimum requirements of this section.

(D) Regulations applicable to off-street queuing and drive-up/drive-thru lanes.

(1) *Location of required queuing spaces and drive-up/drive-thru lanes.* Queuing spaces and drive-up/drive-thru lanes shall be located on the same lot as the use, building, or structure to which they are accessory and shall not extend onto any adjacent lot or into any public right-of-way. No queuing space or drive-up/drive-thru lanes shall be located in a required front yard.

(2) *Designation and use.* Required queuing spaces or the drive-up/drive-thru lanes to which they are accessory shall be designated as such and shall only be used for queuing or drive-up/drive-thru purposes.

(3) *Computation of the number of required queuing spaces.*

The number of required queuing spaces required for specific uses is set forth on Chart 4. For uses not expressly listed on Chart 4, queuing spaces shall be provided on the same basis as required for the most similar listed use, as determined by the Planning Director pursuant to the Director's authority to interpret the provisions of this article (Appendix A – Zoning). For special permit uses requiring approval by the Board of Zoning Appeals, the BZA may require more queuing than the minimum requirements of this section.

(4) *Regulations applicable to queuing spaces and drive-up/drive-thru lanes voluntarily established.* Any queuing space or drive-up/drive-thru lane, whether required by this section or not, shall comply with the provisions of this section as regards design and construction.

(5) *Design standards.*

(a) Drive-up/drive-thru lanes that are accessory to buildings with drive-up windows or drive-up tellers shall be designed to circulate one-way in a counterclockwise direction.

(b) Queuing spaces and drive-up/drive-thru lanes shall be designed so that their use does not conflict with the use of on-site parking spaces, other site elements, or on-site circulation.

- (c) Drive-up/drive-thru lanes that are accessory to buildings with drive-up windows shall be designed to include a one-way by-pass lane available to users should they seek to remove themselves from the drive-up/drive-thru lane.
- (d) Drive-up/drive-thru lanes that are accessory to a building with drive-up windows or other such facilities shall be designed with a landscape area between the drive-up/drive-thru lanes and the building to which it is accessory except on the side of the building that contains the drive-up window or other such facility. This area shall be planted with shrubs and trees in accordance with Section 27 of Appendix A – Zoning. The landscape area may be used for menu boards to the extent otherwise permitted by this article and other regulations of the City.
- (e) Queuing spaces shall be a minimum of ten (10) feet in width and a minimum of twenty (20) feet in length. Drive-up/drive thru lanes shall be a minimum of ten (10) feet wide. A one-way by-pass lane shall be a minimum width of eleven (11) feet wide.

(E) Regulations applicable to off-street loading.

- (1) *Location of required loading spaces.* Loading spaces shall be located on the same lot as the building or structure to which they are accessory. No loading space shall be located in a required front yard.
- (2) *Designation and use.* Each required loading space shall be designated as such. A loading space may be used for other purposes provided it is available as a loading space when needed for such use.
- (3) *Computation of the number of required loading spaces.*
 - (a) In the computation of the number of required loading spaces, floor area shall be deemed to include the gross area of the floor area devoted to a particular use and any use incidental thereto, which floor area shall be measured along the interior faces of the walls or partitions which surround the perimeter of the space the use occupies.
 - (b) If a building is devoted to more than one use, the number of loading spaces required shall be computed separately on the basis of the floor area occupied by each such use.
- (4) *Loading; design and maintenance.*

(a) *Dimensions.* Required off-street loading spaces shall not be less than ten feet in width and shall have an unobstructed vertical clearance of not less than fourteen feet. The minimum length of loading spaces shall be fifty feet.

(b) *Surfacing and drainage.* Loading spaces and maneuvering areas related thereto shall be surfaced with asphalt, concrete, or other hard surface dustless material and be so constructed to provide for adequate drainage and to prevent the release of dust.

(5) *Required number of loading spaces.* The number of loading spaces required for specified categories of uses is set forth on Chart 5.

[Ord. No. 92-3 §§1–4, 01-15-92; Ord. No. 96-O-82 §1, 11-12-96; Ord. No. 99-O-66 §§8–10, 08-24-00; Ord. No. 09-O-29 §3, 08-27-09; Ord. No. 12-O-30 §1, 11-15-12; Ord. No. 14-O-61 §4, 01-15-15; Ord. No. 15-O-25 §3, 05-14-15; Ord. No. 17-O-25 §9, 08-17-17; Ord. No. 17-O-39 §3, 08-31-17; Ord. No. 18-O-31 §2, 06-21-18; Ord. No. 18-O-53 § 5, 09-27-18]

Notes:

- 1) Engineering Department Point of Contact is Cey Chase, 615-893-6441; CChase@MurfreesboroTN.gov
- 2) Planning Department Point of Contact is Matthew Blomeley, 615-893-6441; MBlomeley@MurfreesboroTN.gov
- 3) Architectural Elevations for all buildings beyond Phase 1 shall be subject to the review and approval of the Planning Director prior to the issuance of a building permit.

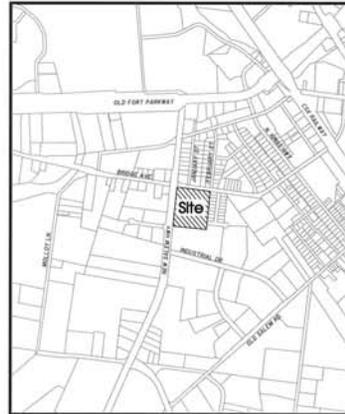
Doug Young Public Safety Training Center, Phase 2

Murfreesboro, Tennessee

Site Plan & Construction Drawings

Drawing Index

Sheet No.	Title
1	Cover Sheet
2	General Notes
3	Master Plan
4	Site Plan
5	Utility Plan
6	Grading, Drainage & Final EPSC Plan



Site Location Map
Not To Scale

Owner/Developer:
City Of Murfreesboro
111 W. Vine Street
Murfreesboro, TN 37130
Contact: Chief Foulks

Deed Reference:
Tax Map 102B Group C, Parcel 1.00

Yard Requirements:
Front: 30'
Side: 5'
Rear: 25'
In the RS-8, RD, RM-12, RM-16, RM-22 CM-R and CL districts where the minimum side yard shall be five feet on one side of the structure, the sum of the two side yards shall be no less than fifteen feet.

Intended Use:
Government Building

Land Use Data:
Zoned: RM-16
1, 2, & 5 Story Buildings
Total Floor Area: 53,559 Sq.Ft.
Existing: 15,405 Sq.Ft. (Used For Scenarios)
Proposed: 38,154 Sq.Ft.
1 Lot on: 8.79± Acres

Parking Requirement:
250 Sq.Ft. x 16,700 Sq.Ft. (Main Building) = 43 Spaces Required
Provided: 86 Regular + 4 H.C. = 90 Total Spaces Provided
Flood Map No.:
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C0260H dated January 5, 2007.

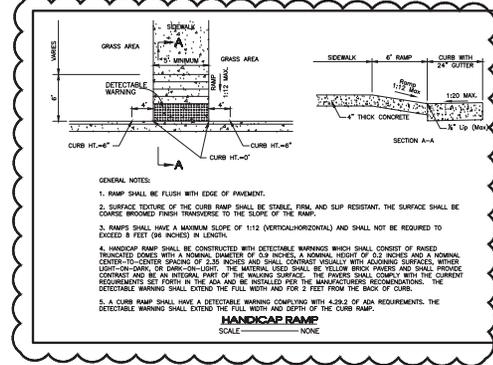
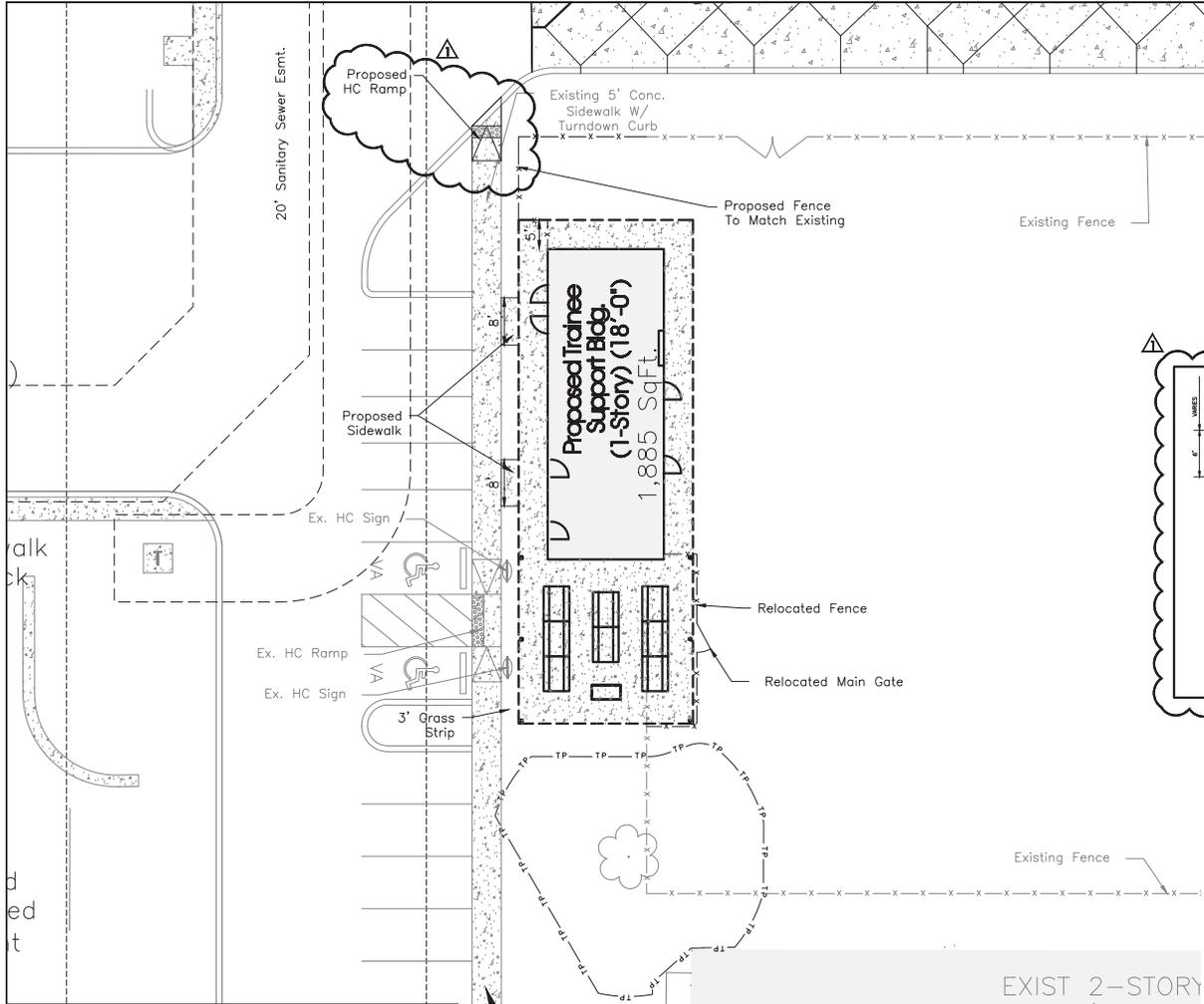
SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING

850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: MTAYLOR@SEC-CIVIL.COM FAX: (615) 890-2567
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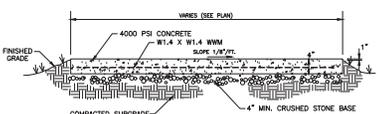


By: Matthew A. Taylor Date: May 22, 2019
Matthew A. Taylor, P.E. TN. Reg. #112515

Watershed: West Fork Stones River (Fully-Supporting)
Disturbed Area: 8.99± Ac.
Pre-Development Impervious Area: 4.04± Ac.
Post-Development Impervious Area: 5.53± Ac.



- GENERAL NOTES:**
- RAMP SHALL BE FLUSH WITH EDGE OF PAVEMENT.
 - SURFACE TEXTURE OF THE CURB RAMP SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE SURFACE SHALL BE COARSE BROOMED FINISH TRANSVERSE TO THE SLOPE OF THE RAMP.
 - RAMPS SHALL HAVE A MINIMUM SLOPE OF 1:12 (VERTICAL/HORIZONTAL) AND SHALL NOT BE REQUIRED TO EXCEED 8 FEET (96 INCHES) IN LENGTH.
 - HANDICAP RAMP SHALL BE CONNECTED WITH DETECTABLE WARNING WHICH SHALL CONSIST OF PARALLEL LINED STRIPES WITH A MINIMUM DIMENSION OF 3.0 INCHES. A NOMINAL HEIGHT OF 0.15 INCHES AND A NOMINAL DESIGNATED CORNER WITH A MINIMUM DIMENSION OF 0.5 INCHES. THE MATERIAL USED SHALL BE YELLOW BRICK PAVEMENT AND SHALL PROVIDE CONTRAST AND BE AN INTEGRAL PART OF THE PAVING SURFACE. THE FINISH SHALL COMPLY WITH THE CURRENT REQUIREMENTS SET FORTH IN THE ADA AND BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS. THE DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH AND FOR 3 FEET FROM THE BACK OF CURB.
 - A CURB RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH 4.29.2 OF ADA REQUIREMENTS. THE DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH AND DEPTH OF THE CURB RAMP.
- HANDICAP RAMP**
SCALE: NONE



- NOTES:**
- PROVIDE 1/2" EXP. JT. BETWEEN ALL FIXED OBJECTS AND WALK.
 - PROVIDE CONTRACTION JOINTS EVERY 6' AND EXTEND AT LEAST 1/3 OF DEPTH OF SLAB.
 - PROVIDE EXP. JOINTS (1/2") AT INTERSECTIONS OF DIFFERENT WALKS AND EVERY 30' O.C. ON STRAIGHT RUNS.

CONCRETE SIDEWALK
SCALE: NONE

Owner/Developer:
City Of Murfreesboro
111 W. Vine Street
Murfreesboro, TN 37130
Contact: Chief Foulks

Deed Reference:
Tax Map 102B Group C, Parcel 1.00

Yard Requirements:
Front: 30'
Side: 5'
Rear: 25'
In the RS-8, RD, RM-12, RM-16, RM-22 CM-R and CL districts where the minimum side yard shall be five feet on one side of the structure, the sum of the two side yards shall be no less than fifteen feet.

Intended Use:
Government Building

Land Use Data:
Zoned: RM-16
1, 2, & 5 Story Buildings
Total Floor Area: 63,241 Sq.Ft.
Existing: 15,405 Sq.Ft. (Used For Scenarios)
Proposed: 47,836 Sq.Ft.

Land Use Data:
Zoned: RM-16
1, 2, & 5 Story Buildings
Total Floor Area: 53,559 Sq.Ft.
Existing: 15,405 Sq.Ft. (Used For Scenarios)
Proposed: 38,154 Sq.Ft.
1 Lot on: 8.79± Acres

Parking Requirement:
250 SQ.FT. x 16,700 Sq.Ft. (Main Building) = 43 Spaces Required
Provided: 86 Regular + 4 H.C. = 90 Total Spaces Provided

Flood Map No.:
This site lies within Zone X, not in the 100 Year Floodplain, per Community Panel 47149C0260H dated January 5, 2007.

Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
○	IRON PIN SET (I.P.S.)	⊕	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
—	EXIST. SIGN POST	—	HC SIGN
○	EXIST. SEWER CLEANOUT	—	PROPOSED SIGN POST
○	EXIST. MANHOLE (CONCRETE & PHOS)	—	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	—	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	—	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	—	EXTRUDED CURB
⊕	EXIST. GAS RISER	—	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	—	TRAFFIC ARROWS
⊕	EXIST. WATER METER	—	TURN LANE ARROWS
○	EXIST. UTILITY POLE	—	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	—	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR	—	DRAINAGE PIPE ELEVATION
⊕	BLOW OFF VALVE	—	RP RAP
⊕	REDUCER	—	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	—	SALET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	—	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	—	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	—	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	—	CATCH BASIN
⊕	GATE VALVE & BOX	—	CURB INLET
⊕	WATER METER	—	HEADWALL
⊕	GAS METER	—	WINGED HEADWALL
⊕	GREASE TRAP	—	CONCRETE SMOKE
⊕	EXTERIOR CLEANOUT EGG	—	TYPE - X - HEADWALL
○	MANHOLE	—	PH

EXISTING PHONE	PH
EXISTING ELECTRIC	OH
PROPERTY LINE	---
EASEMENTS	---
RIGHT OF WAY	ROW
EROSION CONTROL SILT FENCE	SF SF
EROSION EEL	E E E
EXISTING TREELINE	---
EXISTING FENCELINE	-X-X-X-X-
MINIMUM BUILDING SETBACK LINE	---
PHASE BOUNDARY	=====
EXISTING GAS LINE	GAS
PROPOSED GAS LINE	GAS
EXISTING STORM	STM
PROPOSED STORM	STM
EXISTING CONTOUR LINES	-----01-----
PROPOSED CONTOUR LINES	01
EXISTING SANITARY SEWER	SS
PROPOSED SANITARY SEWER	SS
EXISTING WATER	W W W
PROPOSED WATER	W W W

811
Know what's below.
Call before you dig.

Scale:
1" = 10'

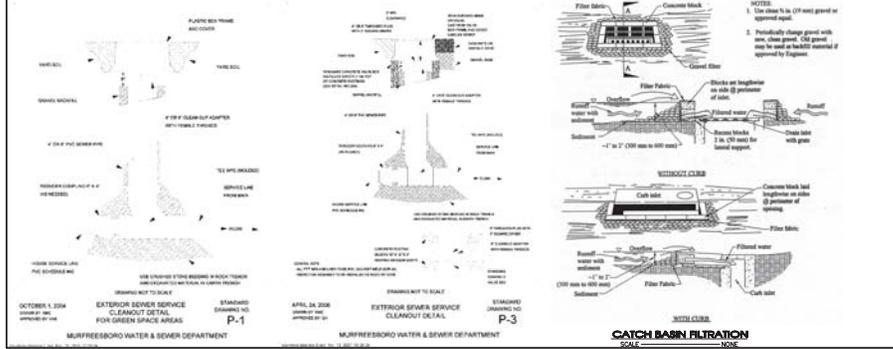
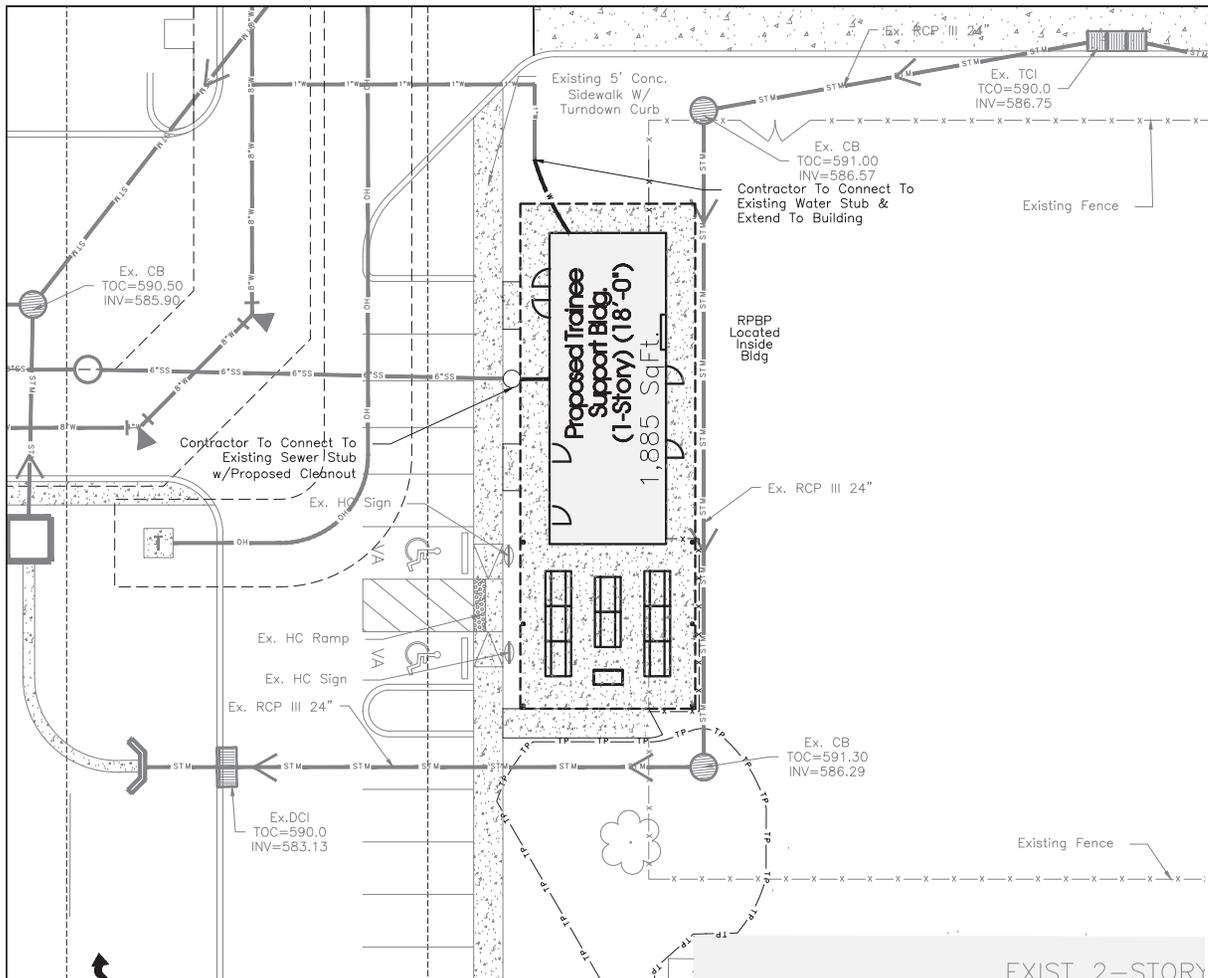
North Arrow

SLC Inc. ENGINEERING CONSULTANTS
800 W. MAIN ST. SUITE 200
MURFREESBORO, TN 37130
PHONE: (615) 898-2000 FAX: (615) 898-2007
WWW.SLC-INC.COM

DRUG YOUNG PUBLIC SAFETY TRAINING CENTER, PHASE 2
Murfreesboro, Tennessee

Site Plan

PROJECT: 5-17-19
DRAWN: SLA/JLM
DATE: 5-22-19
CHECKED:
FILE NAME: 1620A0001
SCALE: 1:10
JOB NO. 16204
SHEET: 4 of 6



EXIST 2-STORY

The proposed electrical, gas, water and telecommunications information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information.

Electrical Legend:
 Ⓢ - Commercial Vault
 Ⓣ - Transformer



Legend:			
□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (I.P.S.)	Ⓢ	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (I.P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	+	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
⊕	EXIST. MANHOLE (COVER & FRINGE)	⊕	CONCRETE BOLLARD
⊕	EXIST. CATCH BASIN (STORM SEWER)	⊕	WHEEL STOP
⊕	EXIST. WATER/GAS VALVE	⊕	CONCRETE SIDEWALK
⊕	EXIST. TELEPHONE RISER	⊕	EXTRUDED CURB
⊕	EXIST. GAS RISER	⊕	CURB & GUTTER
⊕	ELECTRICAL ENCLOSURE	⊕	TRAFFIC ARROW
⊕	EXIST. WATER METER	⊕	TURN LANE ARROWS
⊕	EXIST. UTILITY POLE	⊕	REVISION NUMBER
⊕	EXIST. FIRE HYDRANT	⊕	DRAINAGE STRUCTURE DESIGNATION
⊕	POST INDICATOR VALVE	⊕	DRAINAGE PIPE DESIGNATION
⊕	BLOW OFF VALVE	⊕	RP RAP
⊕	REDUCER	⊕	RUNOFF FLOW ARROW
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	ALLET FILTER PROTECTION
⊕	CONCRETE THRUST BLOCK	⊕	PROPOSED SPOT ELEVATION
⊕	DOUBLE DETECTOR CHECK VALVE	⊕	EXIST. SPOT ELEVATION
⊕	FIRE DEPT. CONNECTION	⊕	SEWER/STORM FLOW DIRECTION
⊕	FIRE HYDRANT	⊕	CATCH BASIN
⊕	GATE VALVE & BOX	⊕	CURB INLET
⊕	WATER METER	⊕	AREA DRAIN
⊕	GAS METER	⊕	HEADWALL
⊕	GREASE TRAP	⊕	WINGED HEADWALL
⊕	EXTERIOR CLEANOUT EGG	⊕	CONCRETE SIBBLE
⊕	MANHOLE	⊕	TYPE- X- HEADWALL
⊕	EXISTING PHONE	PH	
⊕	EXISTING ELECTRIC	OH	
⊕	PROPERTY LINE		
⊕	EASEMENTS		
⊕	RIGHT OF WAY	ROW	
⊕	EROSION CONTROL SILT FENCE	SF	SF
⊕	EROSION EEL	E	E
⊕	EXISTING TREELINE		
⊕	EXISTING FENCELINE	X	X
⊕	MINIMUM BUILDING SETBACK LINE		
⊕	PHASE BOUNDARY		
⊕	EXISTING GAS LINE	GAS	
⊕	PROPOSED GAS LINE	GAS	
⊕	EXISTING STORM	STM	
⊕	PROPOSED STORM	STM	
⊕	EXISTING CONTOUR LINES	00	
⊕	PROPOSED CONTOUR LINES	00	
⊕	EXISTING SANITARY SEWER	SS	
⊕	PROPOSED SANITARY SEWER	SS	
⊕	EXISTING WATER	W	
⊕	PROPOSED WATER	W	

S.L.C. Inc.
 SITE ENGINEERING CONSULTANTS
 800 W. MAIN ST. SUITE 100
 MURFREESBORO, TN 37132
 (615) 894-2007
 FAX: (615) 894-2007

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The info. on sheets of these construction drawings is intended to advise owners, engineering firms, and others. It is not intended to be used for construction. The contractor shall refer to the actual final design for precise design information.

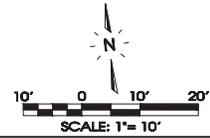
Doug Young Public Safety Training Center, Phase 2
 Murfreesboro, Tennessee

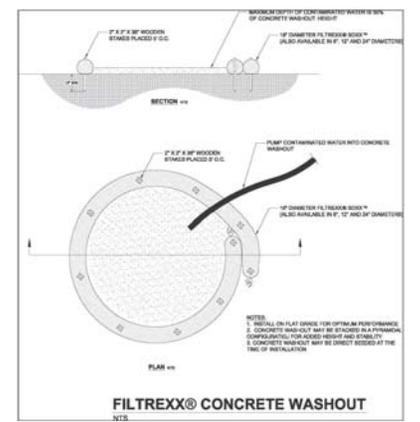
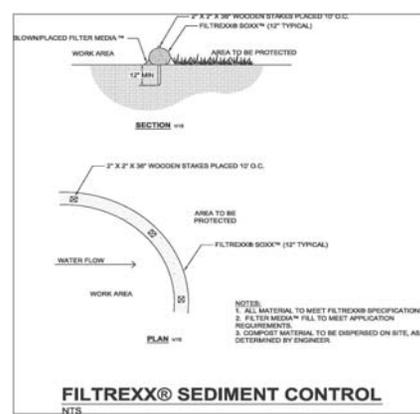
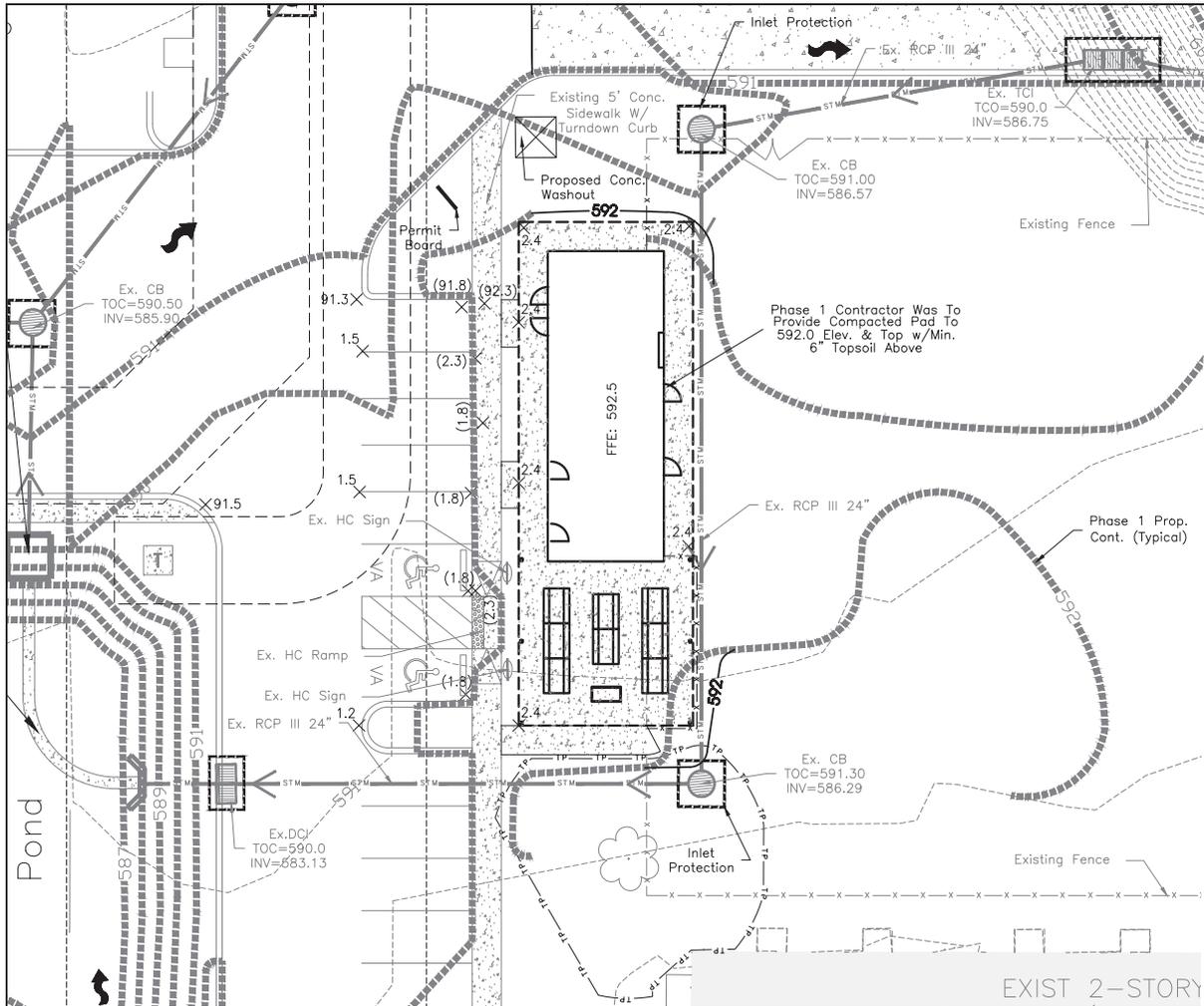
REVISED: 5-17-19

DRAWN: SLA/JLM
 DATE: 5-22-19
 CHECKED:
 MAT:
 FILE NAME: 16204phase1
 SCALE: 1:10
 JOB NO. 16204
 SHEET:

Utility Plan

5 of 6





Legend:

□	EXIST. CONCRETE MONUMENT	⊕	BENCHMARK
●	IRON PIN SET (P.S.)	Ⓜ	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (P.F.)	V.A.	VAN ACCESSIBLE HANDICAP DESIGNATION
⊙	EXIST. SEWER CLEANOUT	HC SIGN	HC SIGN
⊕	EXIST. WATER/GAS VALVE	→	PROPOSED SIGN POST
⊕	EXIST. CATCH BASIN (STORM SEWER)	⊙	CONCRETE BOLLARD
⊕	EXIST. WATER/GAS VALVE	⊙	WHEEL STOP
⊕	EXIST. TELEPHONE RISER	⊕	CONCRETE SIDEWALK
⊕	EXIST. GAS RISER	⊕	EXTENDED CURB
⊕	ELECTRICAL ENCLOSURE	⊕	CURB & GUTTER
⊕	EXIST. WATER METER	→	TRAFFIC ARROW
⊕	EXIST. UTILITY POLE	→	TURN LANE ARROWS
⊕	EXIST. FIRE HYDRANT	⊕	REVISION NUMBER
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⊕	BLOW OFF VALVE	⊕	DRAINAGE PIPE DESIGNATION
⊕	REDUCER	⊕	RFP RAP
⊕	REMOTE FIRE DEPT. CONNECTION	⊕	RUNOFF FLOW ARROW
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⊕	DOUBLE DETECTOR CHECK VALVE	⊕	PROPOSED SPOT ELEVATION
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⊕	MANHOLE	⊕	CONCRETE SMILE
⊕		⊕	TYPE-X HEADWALL

SLC Inc.
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801 WEST WASHINGTON ST. SUITE 200
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PHONE: (615) 898-2000 FAX: (615) 898-2007
WWW.SLC-ENGINEERING.COM

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This plan as shown on these construction drawings is intended to achieve certain engineering design criteria and objectives. It is the responsibility of the contractor to verify the accuracy of the information and conditions shown on these drawings and to ensure that the work is completed in accordance with the design and specifications shown on these drawings. The contractor shall be responsible for any and all errors and omissions on these drawings.

Doug Young Public Safety Training Center, Phase 2
Murfreesboro, Tennessee

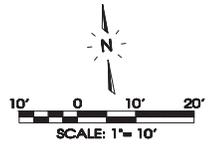
Grading & Drainage & Final EPSC Plan

REVISED: _____
DRAWN: SLA/JLM
DATE: 5-22-19
CHECKED: _____
FILE NAME: 16204phase1
SCALE: 1:10
JOB NO.: 16204
SHEET: _____

6 of 6

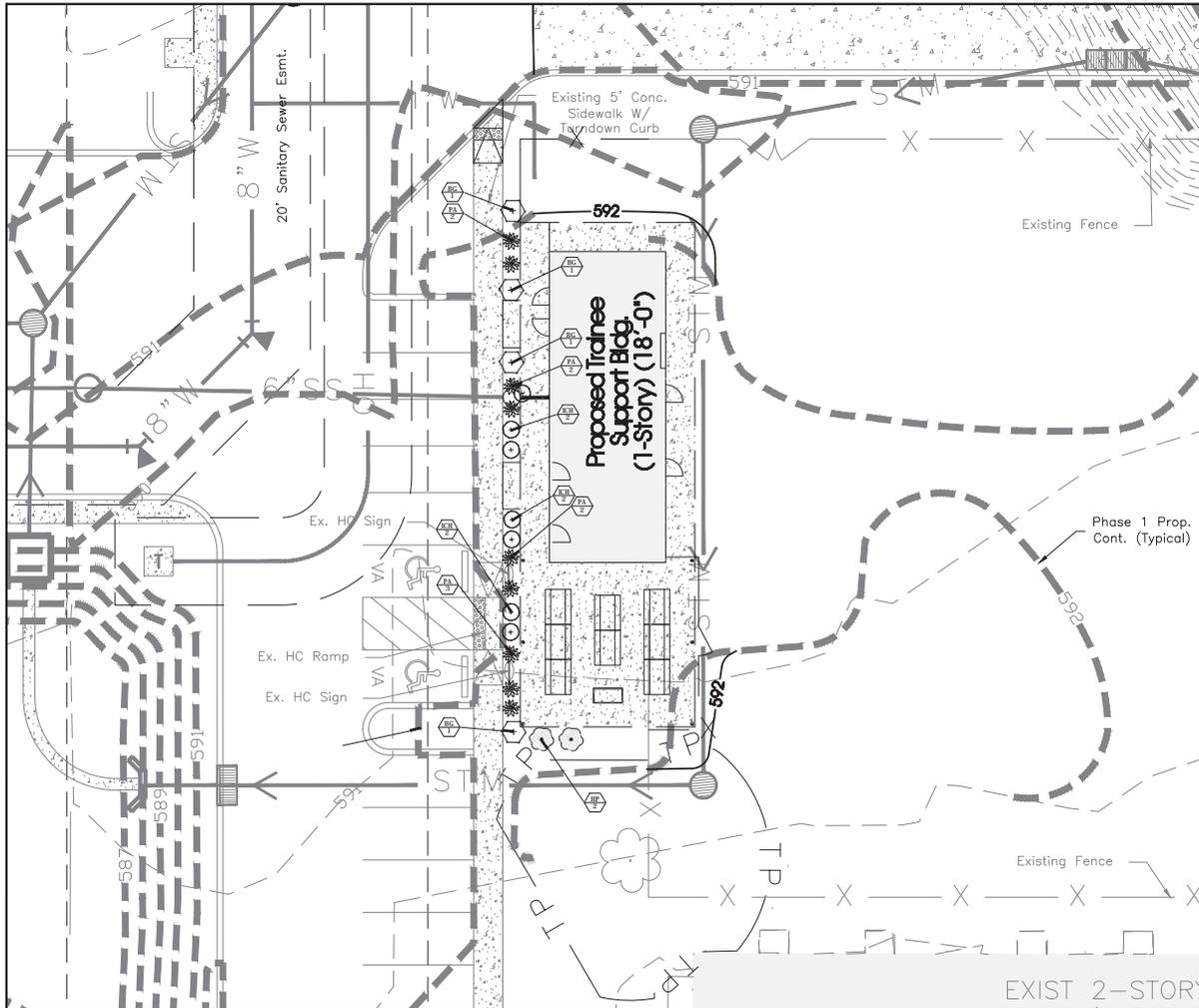
FINAL OUTFALLS

NUMBER	DESCRIPTION	AREA	SLOPE
1	EXISTING CATCH BASIN ON NORTHERN PROPERTY LINE	0.51	1-5%
2	HEADWALL ON WESTERN PROPERTY LINE	8.30	1-5%



NOTES:
1) Final EPSC Measures Shown Here On Shall be Enacted As Early As Practical During Construction. Stabilization Timing Criteria Has Been Established in The SWPPP and TNCSP.
2) Inlet Protection, Erosion Blanket & Temporary Stabilization (I.E. Seed & Mulch) Will be Installed by General Contractor. Permanent Stabilization Measures (I.E. Sod, Landscape/Pavement) Will be Installed by Owner.

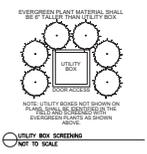
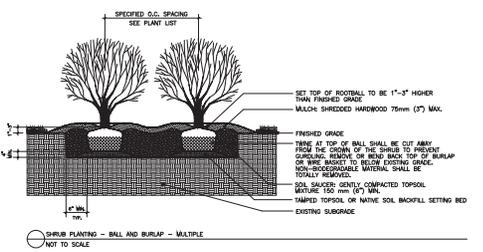
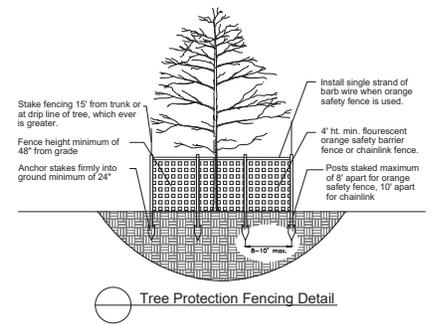




PLANT SCHEDULE								
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	ROOT MIN.	SPREAD MIN.	SPACING	REMARKS
	HP	2	Hydrangea paniculata / 'Limelight' TM / Limelight Hydrangea	Coat.	12"	12"	4' O.C.	BA, w/8 branched, matched
	HC	4	Hydrangea paniculata / 'Limelight' TM / Limelight Hydrangea	Coat.	12"	12"	4' O.C.	BA, w/8 branched, matched
	BC	4	Beech + Green Mountain / Beechwood	Coat.	50"	24"	4' O.C.	BA to ground, dense, good pyramidal shape
	RM	7	Acer rubrum / 'Red Maple' / Red Maple	Coat.	12"	12"	3' O.C.	Dense, full, matched
	GA	9	Pennisetum alopecuroides / Fountain Grass	3 gal	12" - 18"	12"	3' O.C.	Well rooted and fill to edges of container

MATCHED: TREES OF THE SAME SPECIES SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 MATCHED BY BRANCH HEIGHT, CALIPER, HEIGHT OF TREE, SPREAD OF BRANCHES AND BRANCHING STRUCTURE, AND OVERALL CANOPY SHAPE

- LANDSCAPE NOTES**
- THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THESE UTILITIES.
 - THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES.
 - PLANT MATERIALS AND STAMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
 - TREAT ALL LANDSCAPE BEDS WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL WEEDING UNTIL FINAL ACCEPTANCE.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
 - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO: WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTING AREAS AND LAWNS PER PROJECT SPECIFICATIONS UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
 - PROVIDE TREES, SHRUBS AND PLANTS OF QUALITY. SEE GENERAL SPECIFICATIONS AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" HEIGHT AND WIDTH SHOWN ARE MINIMUM SIZES.
 - THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
 - THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
 - UPON COMPLETION AND FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION, A THREE (3) YEAR LANDSCAPE MAINTENANCE BOND WILL BE REQUIRED. THIS BOND SHOULD BE SUBMITTED IN THE NAME OF THE PROPERTY OWNER OF RECORD OR A LEASE HOLDER WHO HAS TEN (10) YEARS OR MORE REMAINING ON A CURRENT LEASE. THE PROPERTY OWNER/LEASE HOLDER SHOULD ALLOW ADEQUATE TIME TO OBTAIN THE BOND AS THIS PROCESS MAY BE LENGTHY AND MAY DELAY THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 - EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
 - SEED OR SOIL ALL AREAS DESTROYED BY CONSTRUCTION AND NOT DESIGNATED AS GROUNDCOVER AREAS.
 - SHRUBS AND GROUNDCOVER BEDS TO BE PLANTED IN A TRIANGULAR SPACING. SEE PLANTING SCHEDULE FOR DISTANCES.
 - UPON COMPLETION AND FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION, A THREE (3) YEAR LANDSCAPE MAINTENANCE BOND WILL BE REQUIRED. THIS BOND SHOULD BE SUBMITTED IN THE NAME OF THE PROPERTY OWNER OF RECORD OR A LEASE HOLDER WHO HAS TEN (10) YEARS OR MORE REMAINING ON A CURRENT LEASE. THE PROPERTY OWNER/LEASE HOLDER SHOULD ALLOW ADEQUATE TIME TO OBTAIN THE BOND AS THIS PROCESS MAY BE LENGTHY AND MAY DELAY THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.



SIC Inc.
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 FAX: (615) 840-8067
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Doug Young Public Safety
Training Center, Phase 2
 Murfreesboro, Tennessee

Landscapes Plan Zoom-in
Details & Notes

DATE: 06-29-2011
 CHECKED: RSM
 FILE NAME: 1653Phase2_LA
 SCALE: 1" = 10'
 JOB NO. 16204
 SHEET:

FINISH SCHEDULE								
ROOM	NO.	FLOOR	BASE	WALLS	CEILING	COUNTERTOP	CABINET	COMMENTS
Break Room	1	SC	RB1	PT-4	PT-5		PL-2	
Decon Room	2	SC	RB1	PT-4	PT-5			
K-9 Bathing	3	SC	RB1	PT-4	PT-5			
Supply	4	SC	RB1	PT-4	PT-5			
Men	5	SC	RB1	PT-4	PT-5			
Women	6	SC	RB1	PT-4	PT-5			

FINISH LIST

SC	SEALED CONCRETE
PT-1	SW MTSU BLUE
PT-2	SW SMOKEY
PT-3	SW ROCK
PT-4	SW 7005 ARCADE
PT-5	SW CEILING WHITE
RB1	Tarkett Traditional Vinyl SCS 178
PL-1	Wilsonart Luna North 1854
PL-2	Wilsonart Cosmic Strands 4941

NOTE: All paints are to be semi-gloss unless noted otherwise
 All interior walls paint to be epoxy
 All interior ceilings shall be PT-5 with flat finish
 All steel shall be primed gray and painted PT-3
 All CMU exterior walls shall be PT-2 with a PT-1 stripe as noted

TOILET PARTITIONS & URINAL SCREEN

Bradley Bradmar
 Series 400 Sentinel OH Braced No Site Sold Plastic
 Hardware: Stainless Steel
 Wall Brackets: Continuous Stainless Steel
 Charcoal Gray - M248

DOOR SCHEDULE									
Mark	Width	Height	Door Type	Material	Finish	Frame Material	Frame Finish	HW Set	Remarks
GD	3'-0"	7'-0"	F	HM	PT-3	HM	PT-3	4A	
GD	3'-0"	7'-0"	F	HM	PT-3	HM	PT-3	4A	
GD	3'-0"	7'-0"	F	HM	PT-3	HM	PT-3	4A	
GD	3'-0"	7'-0"	F	HM	PT-3	HM	PT-3	4A	
GD	3'-0"	7'-0"	F	HM	PT-3	HM	PT-3	4A	

UNLESS NOTED OTHERWISE ALL

DOOR FINISH:	PT-3
DOOR TYPE:	F FLUSH
DOOR MATERIAL:	F HOLLOW METAL
FRAME FINISH:	PT-3
FRAME MATERIAL:	F HOLLOW METAL

ABBREVIATIONS

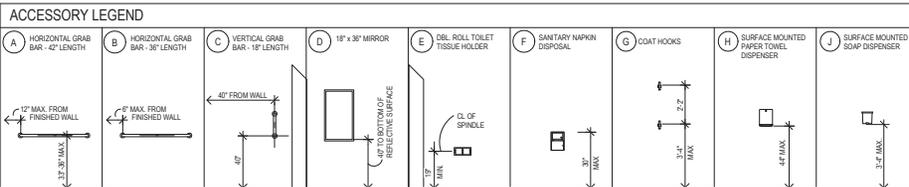
WD	- WOOD
ALUM	- ALUMINUM
HM	- HOLLOW METAL
STL	- STEEL
SE	- STORE FRONT
PR	- PAIR
LBL	- LABEL
LVR	- LOUVER
GL	- GLASS
TMP	- TEMPERED
HC	- HOLLOW CORE
N/A	- NOT APPLICABLE
Num.	- NUMBER
Mat.	- MATERIAL
CL ANOD.	- CLEAR ANODIZED
B.M.	- BY MANUF.

HARDWARE SET LEGEND

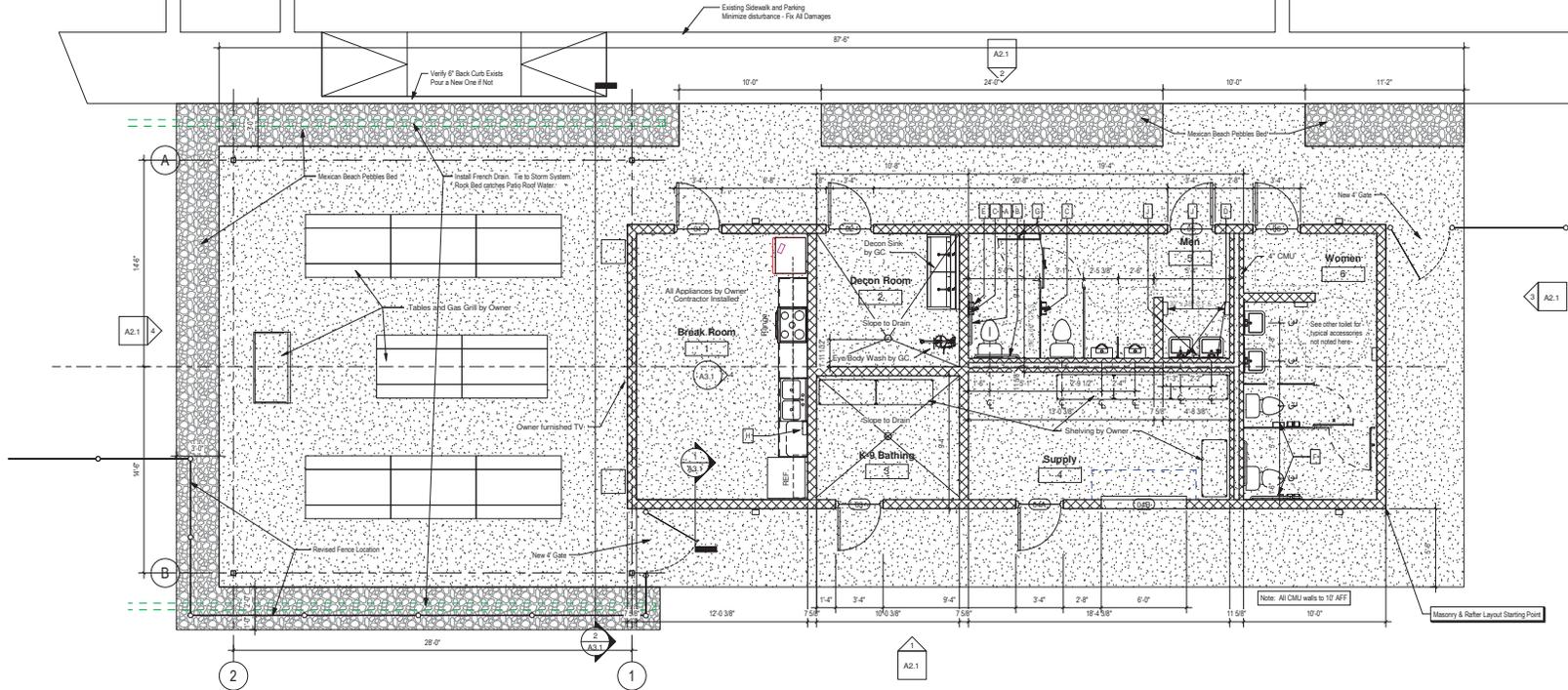
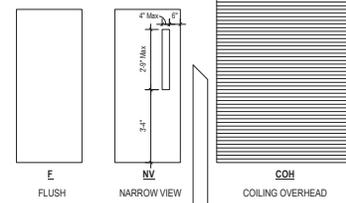
1	- PUSH PULL
2	- PASSAGE SET
3	- PRIVACY SET
4	- LOCK SET
5	- PANIC SET
6	- DUMMY HANDLE W/ BAL. CATCH

GENERAL SCHEDULE NOTES

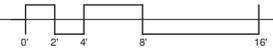
1. ALL HARDWARE TO MEET ADA/ICC REQUIREMENTS OF A.H.J.
 2. PROVIDE WEATHERSTRIPPING AROUND ALL EXTERIOR DOORS.
 3. PROVIDE DRP HOOD AT ALL EXTERIOR DOORS.
 4. ALL GLAZING WITHIN 24" OF DOORS SHALL BE TEMPERED SAFETY GLASS.
 5. HARDWARE QUANTITIES ARE DOUBLED FOR PAIRS OF DOORS.
 6. SEE BELOW FOR TYPICAL DOOR TYPES.



NOTE: 1. REFER TO "ACCESSIBLE MOUNTING HEIGHTS" ON A0.1 FOR ADDITIONAL INFORMATION.
 2. REFER TO A0.1 FOR GRAB BAR ATTACHMENT.



1 Floor Level
 1/4" = 1'-0"



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CONSTRUCTION ISSUE

Doug Young Public Safety Trainee Support
 The City of Murfreesboro
 701 Bridge Avenue
 Murfreesboro, TN

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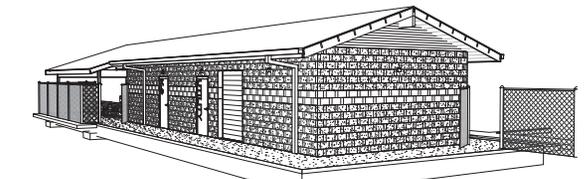
REVISION DATA

18007.JS JUN 05 2019

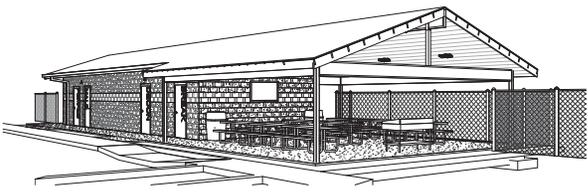
FLOOR PLAN

TS

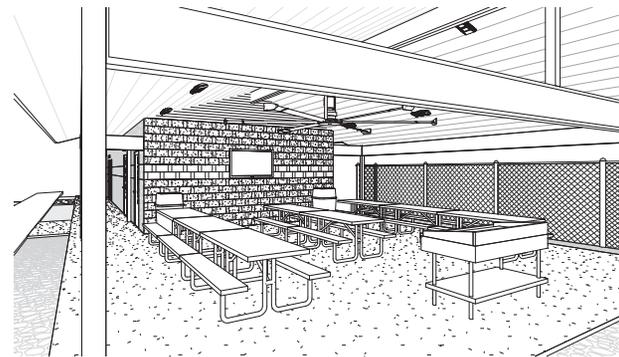
A1.1



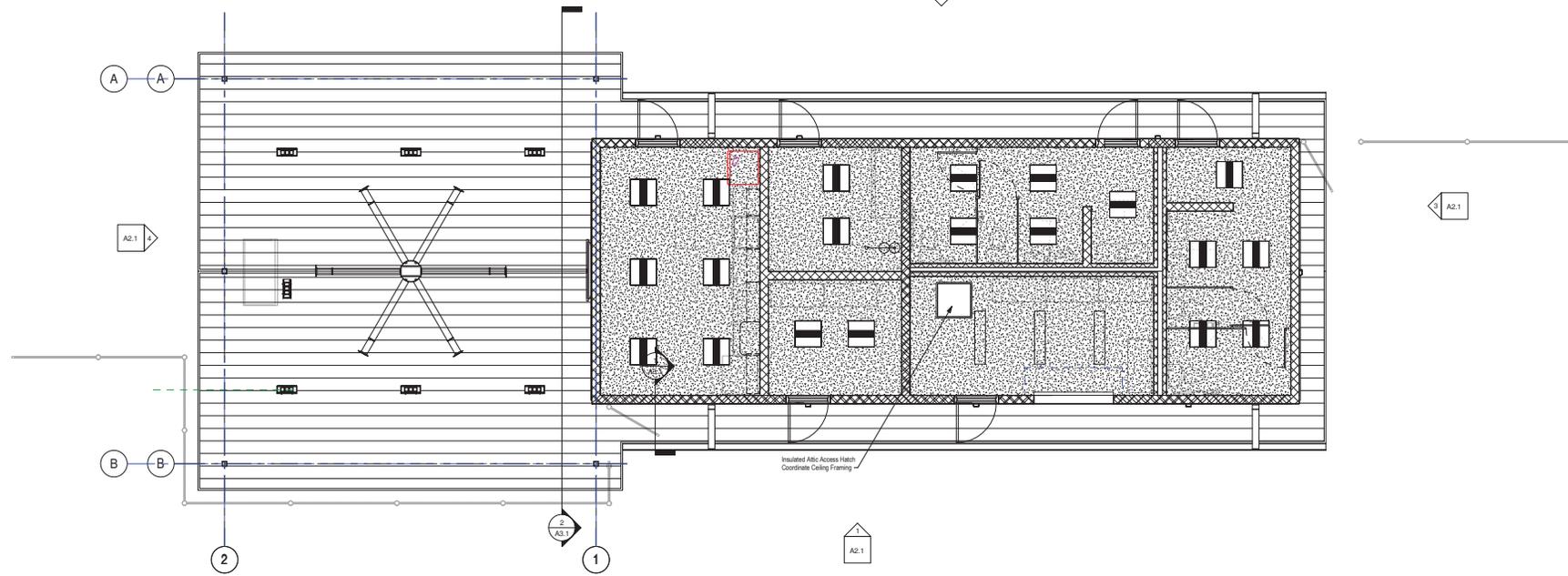
3D View 2



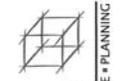
3D View 1



3D View 3



1 Floor Level
1/4" = 1'-0"



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CONSTRUCTION
ISSUE

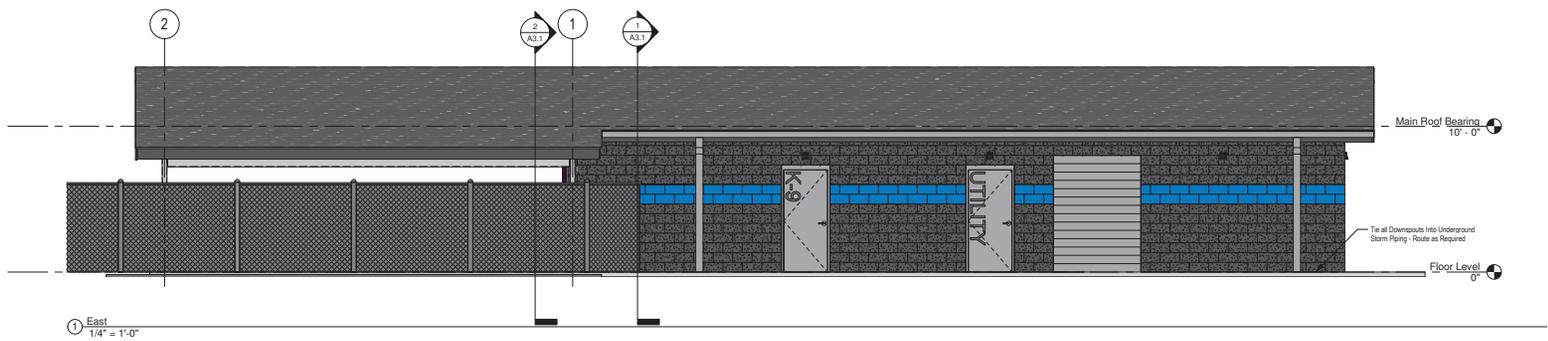
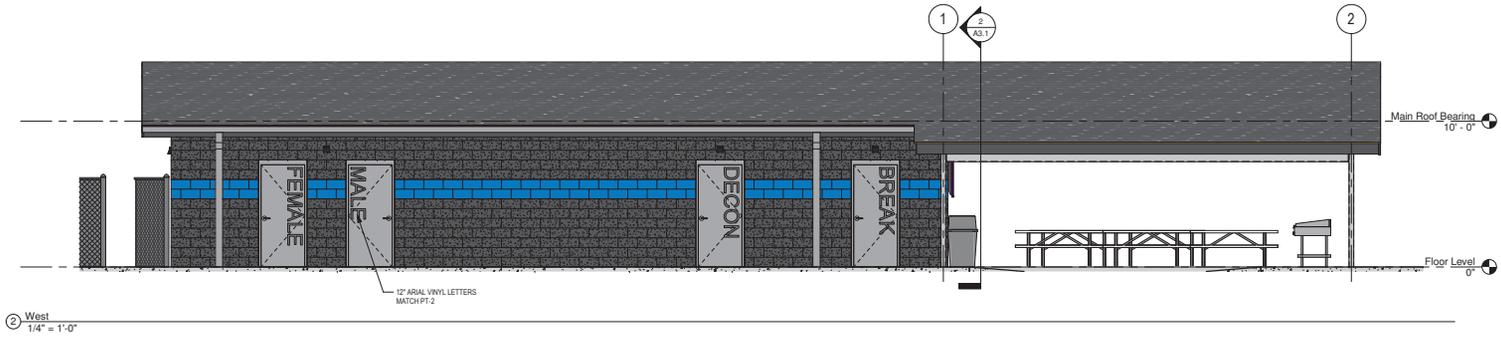
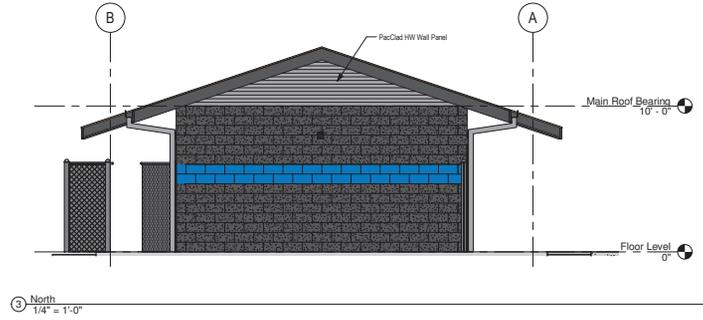
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701 Bridge Avenue
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REVISION DATA

18007.TS JUNE 05 2019
REFLECTED CEILING

TS
A1.2



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ELEVATIONS

TS
A2.1



CONSTRUCTION ISSUE

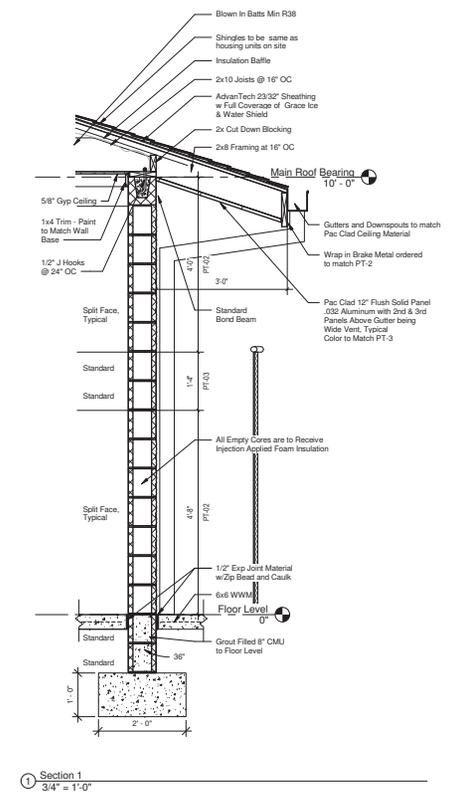
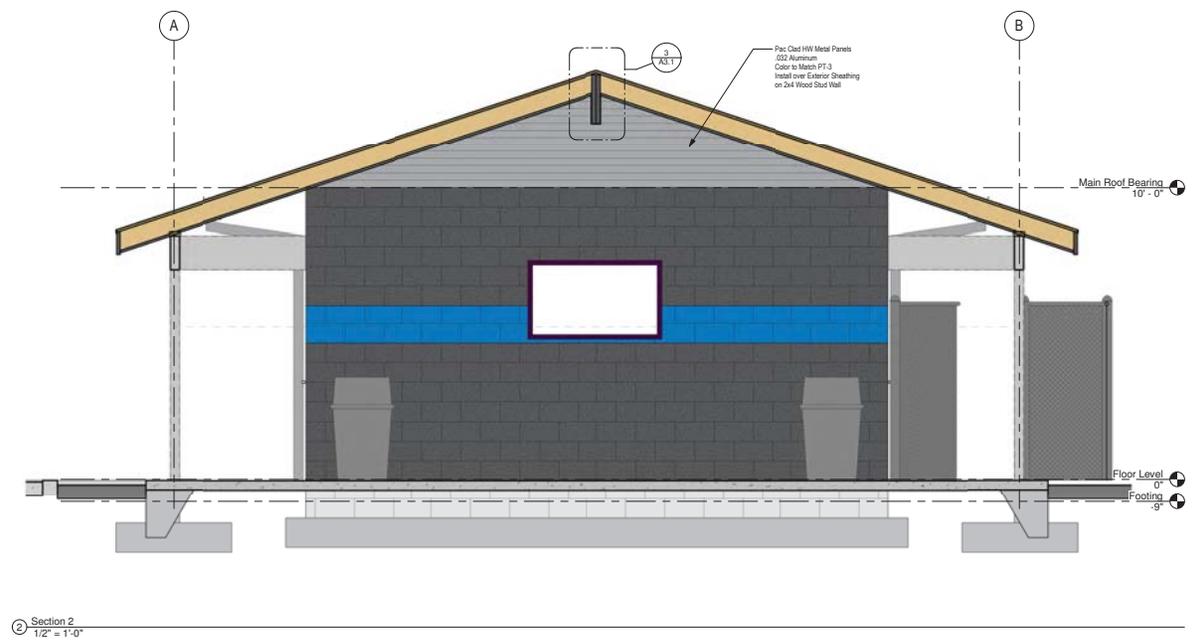
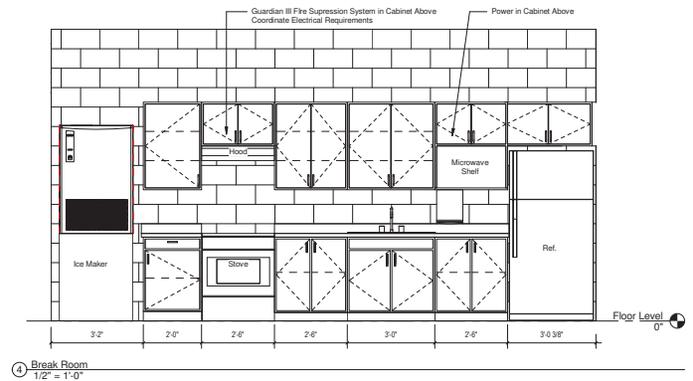
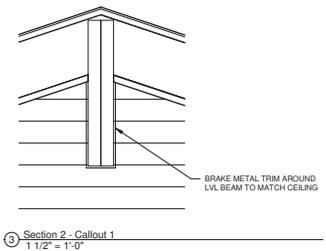
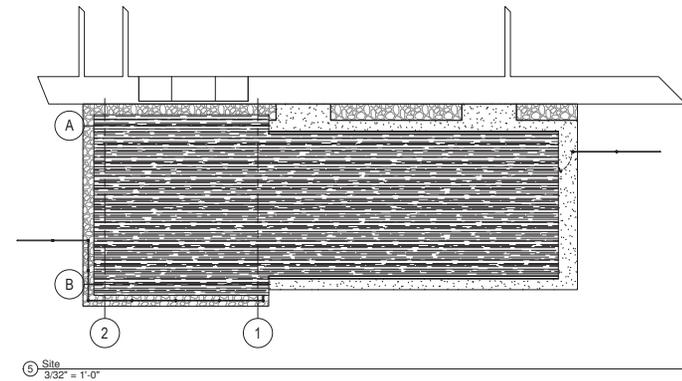
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REVISION DATA

18007.TS JUN 05 2019

SECTIONS
TS
A3.1



MINUTES OF THE MURFREESBORO COMMISSION FEBRUARY 19, 2020

1:00 P.M.

CITY HALL

MEMBERS PRESENT

Kathy Jones, Chair
Ken Halliburton, Vice-Chair
Eddie Smotherman
Warren Russell
Chase Salas
Ronnie Martin

STAFF COMMENTS

Greg McKnight, Interim Planning Director
Matthew Blomeley, Assistant Planning Director
Margaret Ann Green, Principal Planner
Marina Rush, Principal Planner
Amelia Kerr, Planner
Carolyn Jaco, Recording Assistant
David Ives, Deputy City Attorney
Roman Hankins, Assistant City Attorney
Katie Noel, Project Engineer
Brad Barbee, Landscape Site Plan Inspector

Chair Kathy Jones called the meeting to order after determining there was a quorum. Mr. Eddie Smotherman made a motion to approve the minutes from the January 14, 2020, Planning Commission meeting, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.

Consent Agenda

Chair Kathy Jones read the following items to be considered for approval.

Murfreesboro Gateway Vanderbilt, Resubdivision of Lot 3 [2020-2003] final plat for 1 lot on 30.03 acres zoned RS-15 located along North Thompson Lane and West College Street, New Vision Baptist Church of Murfreesboro developer.

The Crossings of Three Rivers, Section 1, Phase 1 [2020-2005] final plat for 10 lots on 0.99 acres zoned PRD located along Hospitality Lane, Three Rivers, LLC developer.

The Villas at Evergreen Farms, Phase 7 [2020-2006] final plat for 2 lots and horizontal property regime plat for 45 units on 14.76 acres zoned PRD located along Alysheba Run, Evergreen Farms Development, Inc. developer.

MINUTES OF THE MURFREESBORO COMMISSION FEBRUARY 19, 2020

Fred H. Farrer Limited Partnership Property, Resubdivision of Lot 2 [2019-1024]

preliminary plat for 2 lots on 3.27 acres zoned CH located along Brinkley Avenue and West College Street, Andrew Farrer developer.

Marketplace at Savannah Ridge [2019-1042]

preliminary plat for 8 lots on 24.14 acres zoned PUD located along Shelbyville Pike and Joe B Jackson Parkway, Murfreesboro North, LLC developer.

Marketplace at Savannah Ridge [2019-2094]

final plat for 8 lots on 24.14 acres zoned PUD located along Shelbyville Pike and Joe B Jackson Parkway, Murfreesboro North, LLC developer.

Shelton Square, Section 2, Phase 1 [2020-1003]

amended preliminary plat for 77 lots on 18.37 acres zoned PRD located along Blackman Road and Heirloom Drive, Shelton Square, LLC developer.

Shelton Square Section 2 Phase 1 [2020-2004]

final plat for 77 lots on 18.37 acres zoned PRD located along Blackman Road and Heirloom Drive, Shelton Square, LLC developer.

Westwind Reserve, Section 1, Phase 1 [2020-2007]

final plat for 61 lots on 26.73 acres zoned RS-6 located along Armstrong Valley Road, Cornerstone Development, LLC developer.

Cracker Barrel Old Country Store, Resubdivision of Lot 2 [2020-2001]

final plat for 2 lots on 4.17 acres zoned L-I located along Shelby Street, Kleda Brooks developer.

Forrest Point Townhomes [2020-2002]

final plat for 1 lot on 4.98 acres zoned RM- 16 located along Middle Tennessee Boulevard and Forrest Pointe Drive, Advent Capital Partners developer.

The Gardens of Three Rivers, Section 2 [2020-1001]

amended preliminary plat for 60 lots on 12.55 acres zoned PRD located along Eldin Creek Drive, Achiever Development developer.

MINUTES OF THE MURFREESBORO COMMISSION FEBRUARY 19, 2020

The Gardens of Three Rivers, Section 3 [2020-1002] amended preliminary plat for 42 lots on 9.45 acres zoned PRD located along Audubon Lane, Achiever Development developer.

Mr. Ken Halliburton made a motion to approve the consent agenda, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.

Gateway Design Overlay

On-Target [2019-6010 & 2019-3131] initial/final design review for parking lot expansion on 1.3 acres zoned L-I & GDO-1 located at 915 North Thompson Lane, HDF Real Estate Holding, LLC developer. Ms. Margaret Ann Green summarized the initial and final design review from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Charley Dean and Mr. Adam Williams were in attendance to represent the applicant. Mr. Charley Dean came forward to state he would continue working with staff to address all staff comments including the landscaping and irrigation for this property. In addition, they have provided a stormwater plan which would control the drainage towards the rear of the property, not into the roadway.

Mr. Ken Halliburton made a motion to approve the initial design review subject to all staff comments, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.

Mr. Eddie Smotherman made a motion to approve the final design review subject to all staff comments, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.

MINUTES OF THE MURFREESBORO COMMISSION FEBRUARY 19, 2020

Plats and Plans

Brookhaven Place, Section 2 (Arris Apartments) [2019-3160] site plan review for 168-unit apartment complex on 9.8 acres zoned RM-16 and RS-15 located along Eleanor Way, Suzanne Landon Drive, and Overhill Court, Core Property Capital developer. Ms. Margaret

Ann Green summarized the site plan review from the staff report, which had been provided to the Planning Commission in the agenda packet. She requested for the Planning Commission to discuss the following issues:

- The revised plan shows an addition of seven parking spaces. This would meet the minimum parking requirements.
- The architecture of the buildings and the side view of the buildings would be facing the roadway.
- Should there be a full access drive to Overhill Court or an emergency access only?

Mr. Brendan Boles and Mr. Chip Dillard were in attendance to represent the applicant. Mr. Brendan Boles came forward to make known they had made changes to their site plan to address staff comments. He began discussing the architecture of their buildings from their material board. He stated they would continue working with staff on any adjustments that needed to be made regarding the buildings facing the roadway. Mr. Chip Dillard expressed his appreciation working with Ms. Margaret Ann Green over the last few months to improve their site plan. He explained how the density of buildings had been designed far away from the existing neighbors. In addition, they had provided a six-foot fence, a landscape buffer, and a berm next to the existing residential area along the north and east sides of this property. There would not be a fence in areas that are adjoining commercial property.

Mr. Brendan Boles submitted to the Planning Commission a copy of the restrictive covenants that had been recorded after the rezoning public hearing had occurred for this property in 2012. Mr. Boles explained that during the public hearing in 2012, the area residents had voiced their

MINUTES OF THE MURFREESBORO COMMISSION FEBRUARY 19, 2020

opposition regarding a full access drive into their existing neighborhood. It was made known during the public hearing there should not be a public access connection from this site onto Brentmeade Drive and Overhill Court. Therefore, they are proposing an emergency crash gate with this proposal.

The Planning Commission began discussing the material board colors and agreed they were too dark. Mr. Dillard stated they could make adjustments with the colors for the buildings if they needed too. Continuing, Chair Kathy Jones made known there was no need to allow a full access onto Overhill Court. The neighbors that live beside this development made known they wanted emergency access only onto Overhill Court. Mr. Ronnie Martin wanted to know if there was any public benefit for a full access drive from this property. Mr. Blomeley stated this site would be private property and, as a result, outside vehicles would be trespassing if they used it as a cut-through.

Mr. Ronnie Martin commented on this property being RM-16, how would the sewer ordinance impact this development after the ordinance goes into effect on April 15, 2020? Ms. Green answered that if the plan had not met the deadline for an exemption, they would have to dramatically reduce the number of units from 17 dwelling units per acre to 9 units per acre. Mr. Brendan Boles commented that it was his understanding if their plan is approved it would be granted the appropriate sewer allocation for the RM-16 density. He made known they were planning to obtain permits as soon as possible.

Mr. Ronnie Martin made a motion to approve subject to all staff comments; including an emergency crash gate to be provided at Overhill Court, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.

Storplace at Memorial [2020-3009] site plan for 79,183 ft² self-service storage facility on 2.02 acres zoned CH located along Memorial Boulevard, Ed Freeman developer. Ms. Margaret

MINUTES OF THE MURFREESBORO COMMISSION FEBRUARY 19, 2020

Ann Green summarized the site plan review from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. David Kidd, Mr. Bill Huddleston, and Mr. Ed Freeman were in attendance for the meeting. Mr. Bill Huddleston came forward to make known he would continue working with staff regarding the design of the egress and ingress access for the entrance into this site with a keypad detail. In addition, he has provided exhibits which address the formal open space in front of the revised detention area.

Mr. Ken Halliburton made a motion to approve subject to staff comments, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.

Farrer Commercial Center [2019-3149] site plan review for 4,005 ft² retail/warehouse on 0.76 acres zoned CH located along West College Street and Brinkley Avenue, Fred H. Farrer Limited Partnership developer. Ms. Margaret Ann Green summarized the site plan review from the staff report, which had been provided to the Planning Commission in the agenda packet.

Continuing, Ms. Green explained the developer would be dedicating additional right-of-way that is needed along West College Street that has been identified on the City's Major Transportation Plan.

Mr. Ken Halliburton made a motion to approve subject to all staff comments, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.

The Villas at Amanda Square [2019-3109] site plan for 23 single-family attached dwelling units (townhomes) on 1.46 acres zoned RM-16 located along the northeast side of Southeast Broad Street, Centennial Construction, LLC and Landmark Homes of Tennessee, Inc. developers. Ms. Amelia Kerr summarized the site plan review from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Kerr explained how the applicant was proposing two different styles of buildings with their site plan. She made known that some buildings would have back doors with a patio and the other buildings would not have a

MINUTES OF THE MURFREESBORO COMMISSION FEBRUARY 19, 2020

back door but would have an outdoor “Juliet balcony”. Ms. Kerr stated there were several outstanding comments that needed to be addressed before final approval.

Mr. Nathan Melson, Mr. Dickie Sullivan, and Mr. Gary Wisniewski and their design team were in attendance for the meeting. Mr. Melson came forward stating they have been working with Staff and would continue working with Staff to address all comments. They do not have a material board for this site plan, however, they have provided color elevations.

The Planning Commission began discussing the proposal and made known they have concerns regarding the following:

- The color elevations were too dark for this site plan.
- The Dumpster should be relocated away from the residential area.
- Relocate the formal open space away from Broad Street.
- Improvements would need to be made for the landing area behind the units 1-11.
- There should not be any parking permitted in front of any of the easements.
- Instead of a gazebo for the formal open space Staff recommends a pergola canopy.
- The drainage plan would have to be revised to address all Staff comments.

Chair Kathy Jones voiced her concerns regarding the density for this site. She feels the proposed density was creating issues with all the requirements that needed to be met. She asked if this site could be tweaked to improve the site such as reducing the number of units. Mr. Gary Wisniewski commented that he could look into eliminating the proposed 2-story building in front of the site to provide smaller stacked units instead. Also, to address the parking concerns, he could assign two parking spaces for each unit.

Mr. Ken Halliburton stated that, due to the large number of constraints for this property and the severe topography and drainage easement issues, he recommended for this site plan to be deferred.

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Mr. Matthew Blomeley recommended the applicant continue working with Ms. Amelia Kerr to address all Staff comments and bring back to the Planning Commission in the near future.

Mr. Eddie Smotherman made a motion to defer, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.

Forrest Pointe Townhomes [2020-3003] site plan for 63 single-family attached dwelling units (townhomes) on 4.98 acres zoned RM-16 located along the south side of Middle Tennessee Boulevard west of Forrest Pointe Drive, Advent Capital Partners developer.

Ms. Amelia Kerr summarized the site plan review from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Kerr stated that there were several outstanding staff comments that needed to be addressed. She explained that improvements should be made to the HVAC units which are being proposed in front of the units which had been designed to face Middle Tennessee Boulevard and Forrest Pointe Drive. The applicant has agreed to address the HVAC units and make revisions. In addition, Staff recommends for the Planning Commission to address the amenities with this plan. This site would be a recorded as a Horizontal Property Regime.

Mr. Bill Huddleston, Mr. Pat Sanders, and Mr. Tyler Conger were in attendance to represent the applicant. Mr. Huddleston came forward making known they would make revisions to the proposed HVAC units by placing them in the front of the units instead of the back or side. Mr. Pat Sanders stated he would design the boxes to hold the HVAC units to have the same type material and color to match the front bay window area for each unit. In addition, there would landscaping added in front of the buildings.

The Planning Commission began discussing the site and agreed the HVAC box could be placed in front of the units with proper screening and with some type of access to the units for maintenance. Chair Kathy Jones recommended for the HVAC box have a brick material with landscaping. Next, the Planning Commission began discussing the amenities and wanted an

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update regarding the proposed office. Mr. Pat Sanders stated they no longer wanted an office that had been shown on the plans in front of the outdoor kitchen. They would be removing the office and providing a revised site plan.

Mr. David Ives asked if there would be any on-site management for this development. Mr. Sanders answered no. The Homeowners Association would be in charge of this community, including for security. Ms. Amelia Kerr requested for the applicant to contact the Murfreesboro Police Department to address the CPTED (Crime Prevention through Environmental Design).

Mr. Eddie Smotherman recommended for the front of the units to be improved with columns under the shed roof. Mr. Tyler Conger agreed and said that they could add posts or a wall-mount bracket to the front porches. Chair Kathy Jones asked if the landscaping requirements had been addressed between the existing Forrest Pointe lots and with this development. Mr. Matthew Blomeley commented on how the Planning Commission has the ability to increase the landscaping to a Type C buffer with this proposal. In addition, there are existing trees on this property that could be used toward credits for the applicant along the southern lot line. Mr. Warren Russell agreed the landscaping should be increased beside the adjoining residential properties.

Mr. Ken Halliburton made a motion to approve subject to the following conditions:

- **Improvements should be made to the HVAC boxes that would be placed in the front of the units and to be properly screened with landscaping;**
- **Improvements need to be made in front of the units with column details; and**
- **Increase the landscaping to a Type C buffer along the south lot line.**

and all other all staff comments, seconded by Mr. Eddie Smotherman. The motion carried by unanimous vote in favor.

New Business

Zoning application [2020-401] for approximately 0.36 acres located along East Vine Street and South Bilbro Avenue to be rezoned from RS-8 to PRD (Bilbro & Vine Towns PRD),

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Gregg Stanley applicant. Ms. Amelia Kerr summarized the site plan review from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Kerr stated the applicant is asking for the property to have 13.8 dwelling units per acre which is not consistent with the vision of the Suburban Residential land use character. The proposed development closely resembles the Auto-Urban (General) Residential land use. She requested for the Planning Commission to determine whether this proposal is an appropriate instance to deviate from the recommendations of the future land use map. In addition, she requested for the applicant to continue working with Staff on several outstanding issues from the applicant's pattern book prior to a public hearing.

Mr. Clyde Rountree was in attendance to represent the applicant. He came forward to make known this proposal had been addressed as being part of the City Core Overlay District. They are requesting to deviate from the recommended density of the land use map. He began to describe the applicant's pattern book for the development which includes a formal open space in the front of the property. In addition, the units would have architectural elements that would blend within the area. Each unit would have a balcony located along the back. In addition, the units would have two levels of living space and a parking garage below the units. They have addressed the parking area which is going to be screened from the public right-of-way.

Mr. Rountree made known they do not have a material board, but he explained the materials from the applicant's pattern book. Ms. Kerr made known the colors and the materials for the development would have to be addressed with the applicant's pattern book before the public hearing.

Mr. Eddie Smotherman made a motion to schedule a public hearing on March 11, 2020, seconded by Mr. Ken Halliburton.

Zoning application [2019-434] for approximately 2.42 acres located along East College Street, North Spring Street, East Lytle Street, and North Church Street to be rezoned from

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OG-R to PUD (One East College PUD), 705 4th Avenue South Holding Company applicant.

Ms. Amelia Kerr summarized the site plan review from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Matt Taylor, Mr. Brian Davis, Mr. Jeff Reid, and Mr. Bart Kline were in attendance to represent the applicant. Mr. Taylor came forward to begin a PowerPoint presentation from the applicant's pattern book.

Chair Kathy Jones asked for additional information regarding the parking for the retail use and office building. Mr. Brian Davis explained there would be public access entry to the garage and there would be a private access to the garage for the residents.

Mr. Bart Kline explained the proposed materials from the applicant's pattern book. He made known they would provide a material board before the public hearing.

Mr. Ken Halliburton made a motion to schedule a public hearing on March 11, 2020, seconded by Mr. Eddie Smotherman. The motion carried by unanimous vote in favor.

Annexation plan of services and annexation petition [2020-501] for approximately 26.8 acres located along New Salem Highway and Barfield Road, New Salem Land Development, LLC applicant. Ms. Marina Rush summarized the annexation request from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Matt Taylor was in attendance to represent the applicant.

Mr. Warren Russell made a motion to schedule a public hearing on March 11, 2020, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.

Zoning application [2020-402] for approximately 26.8 acres located along New Salem Highway and Barfield Road to be zoned CH simultaneous with annexation and approximately 1.1 acres to be rezoned from RS-15 to CH, New Salem Land Development,

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LLC applicant. Ms. Marina Rush summarized the zoning request from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Rush stated there was no proposal for development at this time.

Mr. Matt Taylor and Mr. Chris Bratcher were in attendance to represent the applicant.

Mr. Chase Salas made a motion to schedule a public hearing on March 11, 2020, seconded by Mr. Eddie Smotherman. The motion carried by unanimous vote in favor.

Zoning Ordinance amendment [2020-801] for outdoor storage, temporary and accessory structures and uses, review time limits, lighting, and yard encroachments, City of Murfreesboro Planning Department applicant. Ms. Margaret Ann Green summarized the site plan review from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Green made known the proposal is amend the Zoning Ordinance to clearly define outdoor storage and to enhance the language regarding yard encroachments, review timeframes, and lighting.

Mr. Ronnie Martin made a motion to schedule a public hearing on March 11, 2020, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.

Staff Reports and Other Business

Zoning application [2019-447] to amend the Old Fort Plaza PUD for approximately 5.4 acres located along Old Fort Parkway in order to modify the site and building design, Autumn Plaza Partners applicant. Ms. Marina Rush summarized the zoning application from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Rush requested that the applicant's pattern book should address Staff's comments before a public hearing is conducted.

Mr. Eric Brock was in attendance to represent the applicant. Mr. Eric Brock came forward to explain the proposed changes and he agreed to provide an updated pattern book before the public hearing.

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Mr. Matthew Blomeley reminded the Planning Commission the zoning application had already been scheduled for a public hearing during the January 15, 2020, Planning Commission meeting and that no action was needed today.

There being no further business the meeting adjourned at 3:45 p.m.

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Chair

Secretary

GM: cj