

# **CITY OF MURFREESBORO PLANNING COMMISSION AGENDA**

**City Hall, 111 W. Vine Street, Council Chambers**

**FEBRUARY 5, 2020  
6:00 PM**

**Kathy Jones  
Chair**

- 1. Call to order**
- 2. Determination of a quorum.**
- 3. Approve minutes of the December 18, 2019 and January 8, 2020 Planning Commission meetings.**
- 4. Old Business:**
  - a. Annexation plan of services and annexation petition [2019-516] for approximately 190 linear feet (0.22 acres) of Annell Drive right-of-way, City of Murfreesboro applicant. (Project Planner, Marina Rush)
- 5. New Business:**
  - a. Annexation plan of services and annexation petition [2019-517] for approximately 1.6 acres located at 3505 Florence Road, Wiseman Investments applicant. (project planner Margaret Ann Green)
  - b. Zoning application [2019-448] for approximately 1.6 acres located at 3505 Florence Road to be zoned CF simultaneous with annexation, Wiseman Investments applicant. (project planner Margaret Ann Green)
  - c. Zoning application [2019-446] for approximately 1.11 acres located along South Academy Street north of East State Street to be rezoned from CH and CCO to PUD (Greenhouse Ministries PUD) and CCO, Greenhouse Ministries applicant. (Project Planner: Amelia Kerr)
- 6. Staff Reports and Other Business:**
- 7. Adjourn.**

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
FEBRUARY 5, 2020**

**PROJECT PLANNER, MARINA RUSH**

**4.a. Annexation plan of services and annexation petition [2019-516] for approximately 190 linear feet (0.22 acres) of Annell Drive right-of-way, City of Murfreesboro applicant.**

The annexation is for an approximately 190 linear feet segment of Annell Drive right-of-way (ROW). The study area begins at Joe B Jackson Parkway and extends to the south approximately 190 linear feet; the total study area is approximately 0.22 acres. The study area lies within the City of Murfreesboro's Urban Growth Boundary and adjoins the City to the north at Joe B Jackson Parkway and to the west.

City Staff has initiated this annexation because the adjacent 1.34-acre parcel at the southwest corner of Joe B Jackson Parkway and Annell Drive (Tax Map 136C, Group A, Parcel 1.00) is within the City limits and its development, including new driveway connections to Annell Drive, are anticipated in some form or fashion in the near future. The City would like to annex the Annell Drive ROW in preparation for the time when we receive development plans for the adjacent parcel, so that all aspects of the plans review and permitting process will be within one jurisdiction.

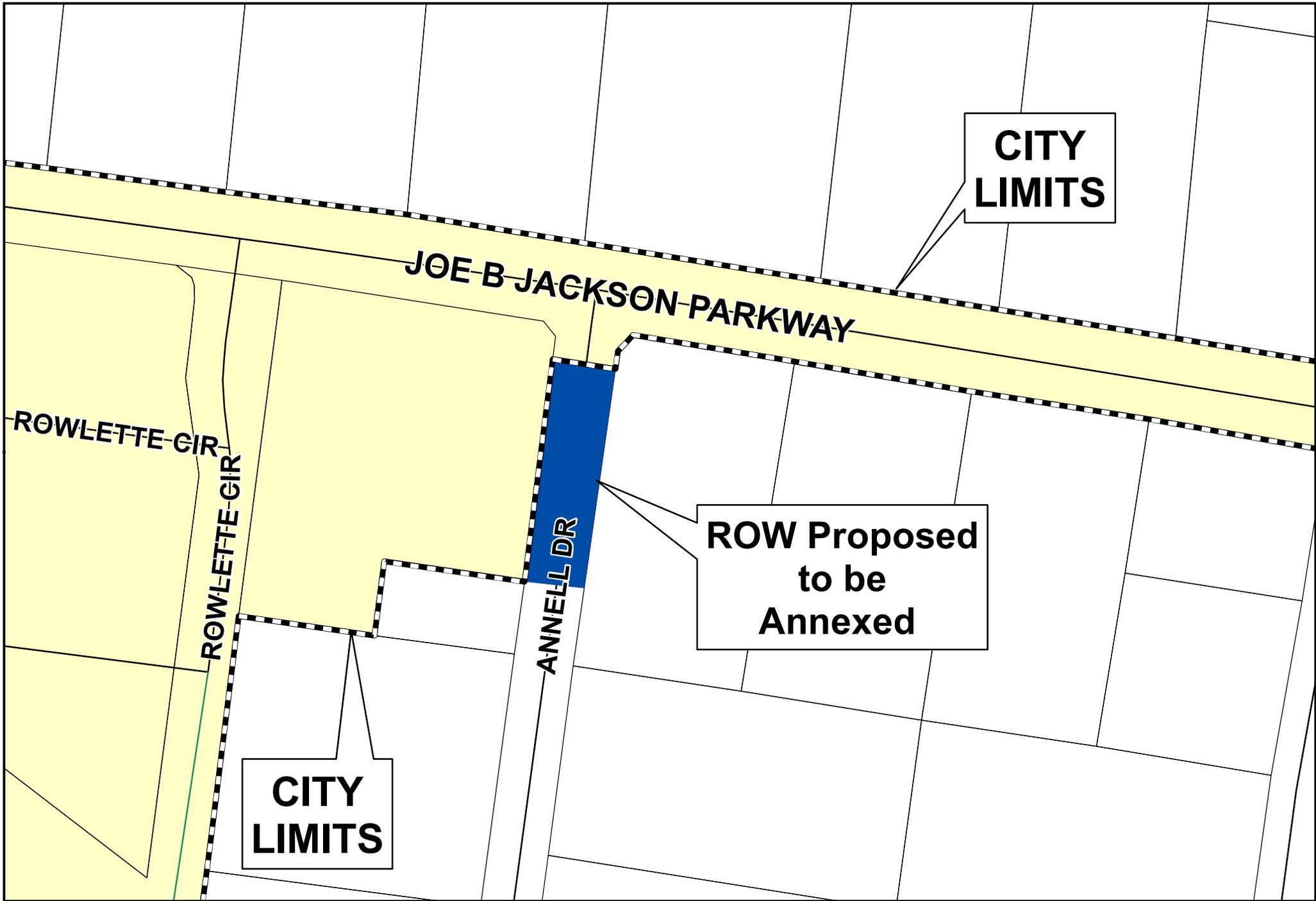
**Plan of Services**

Staff has prepared a Plan of Services (POS) for the annexation of the property and it is included in the agenda packet. The POS indicates that the City will be able to provide services for the 190 linear feet segment of Annell Drive ROW. Upon annexation, the City would become responsible for operation and maintenance of this road segment.

The Rutherford County Road Board deferred its decision on granting consent to annex the subject ROW at their January 6, 2020 regular meeting to a later date. If they schedule this item for the February 3, 2020 Rutherford County Road Board meeting, staff will present the results of that meeting to the Planning Commission.

**Action needed**

The Public Hearing was closed on January 8, 2020 and the matter deferred. The Planning Commission will need to consider this matter under "Old Business" and then formulate a recommendation for the City Council.



### Annexation Request of Annell Drive Right-of-Way (ROW)



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, TN 37130  
[murfreesborotn.gov/planning](http://murfreesborotn.gov/planning)



### Annexation Request of Annell Drive Right-of-Way (ROW)



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, TN 37130  
murfreesborotn.gov/planning

**ANNEXATION REPORT FOR  
ANNELL DRIVE RIGHT-OF-WAY  
INCLUDING PLAN OF SERVICES  
(FILE 2019-516)**



**PREPARED FOR THE  
MURFREESBORO PLANNING COMMISSION  
JANUARY 8, 2020**



**Annexation Request of Annell Drive Right-of-Way (ROW)**



Planning Department  
City of Murfreesboro  
111 West Vine Street  
Murfreesboro, TN 37130  
murfreesboro.gov/planning

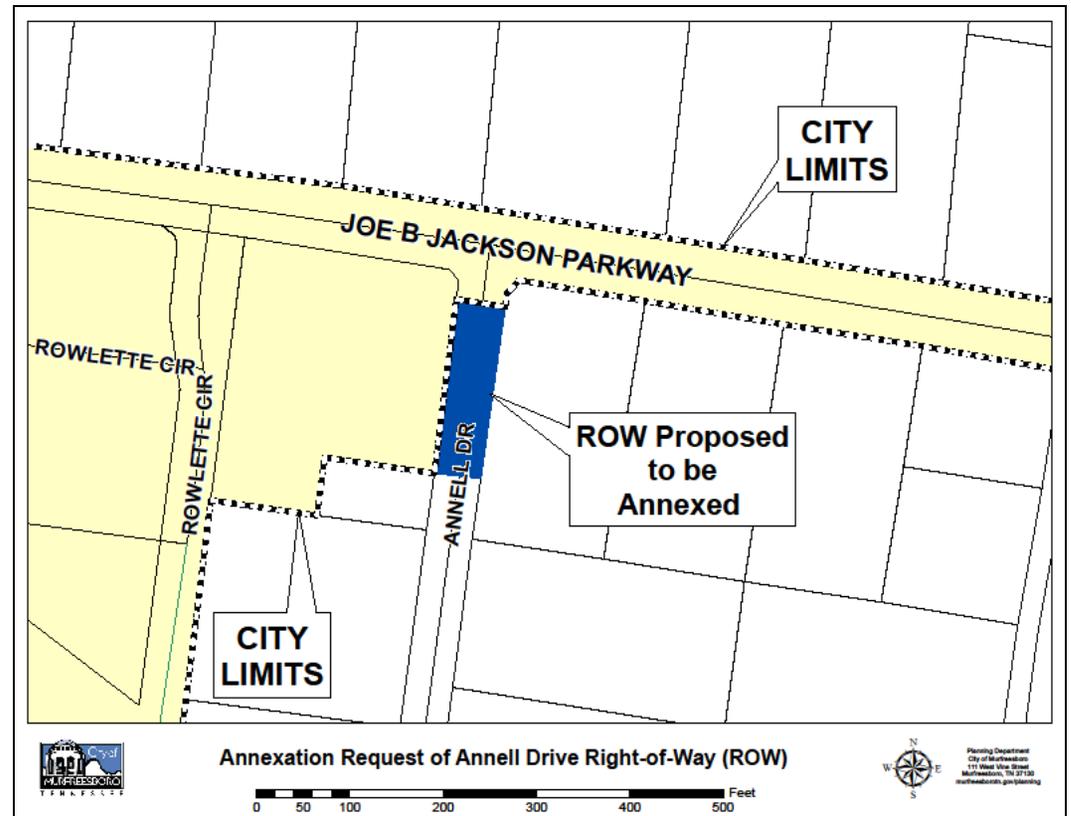
# INTRODUCTION

## **OVERVIEW**

The annexation is for an approximately 190 linear foot segment of Annell Drive right-of-way (ROW). The study area begins at Joe B Jackson Parkway and extends to the south approximately 190 linear feet; the total study area is approximately 0.22 acres.

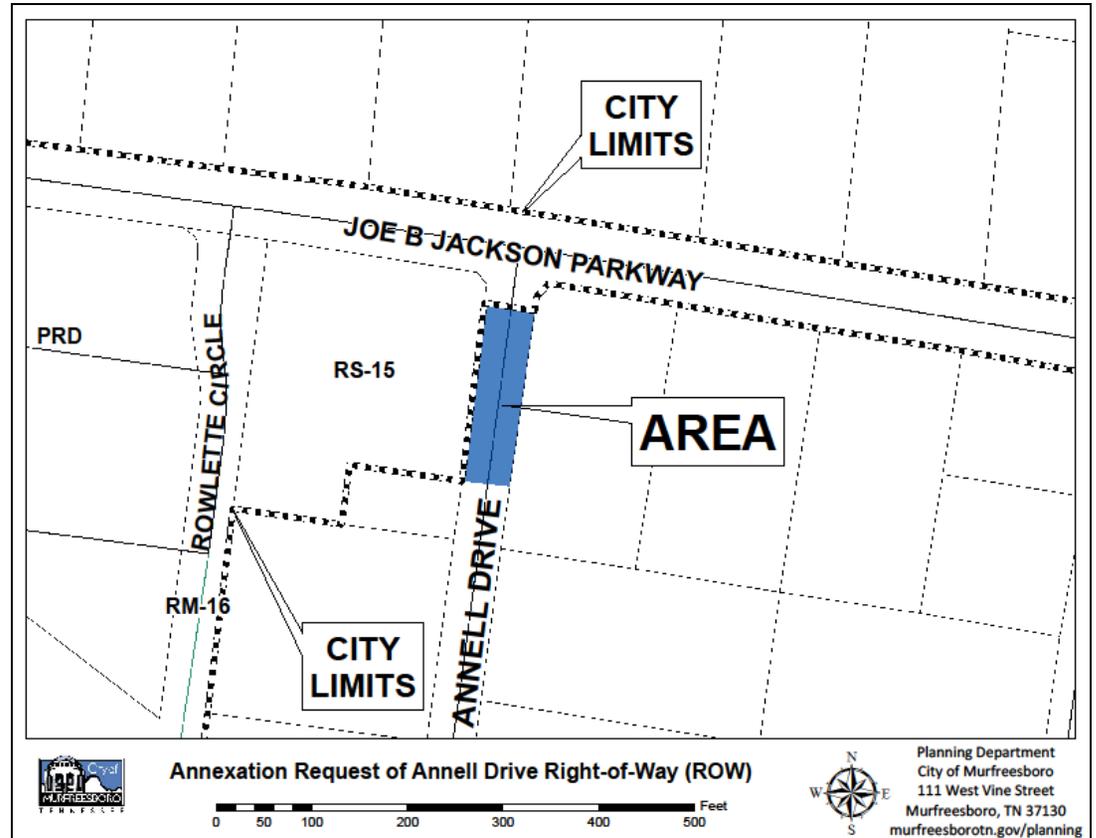
City Staff has initiated this annexation because the adjacent 1.34-acre parcel at the southwest corner of Joe B Jackson Parkway and Annell Drive (Tax Map 136C, Group A, Parcel 1.00) is within the City limits and its development, including new driveway connections to Annell Drive, is anticipated. The City would like to annex the Annell Drive ROW in preparation for the time when we receive development plans for the adjacent parcel, so that all aspects of the plans review and permitting process will be within one jurisdiction.

The study area lies within the City of Murfreesboro's Urban Growth Boundary and adjoins the City to the north at Joe B Jackson Parkway and to the west.



## CITY ZONING

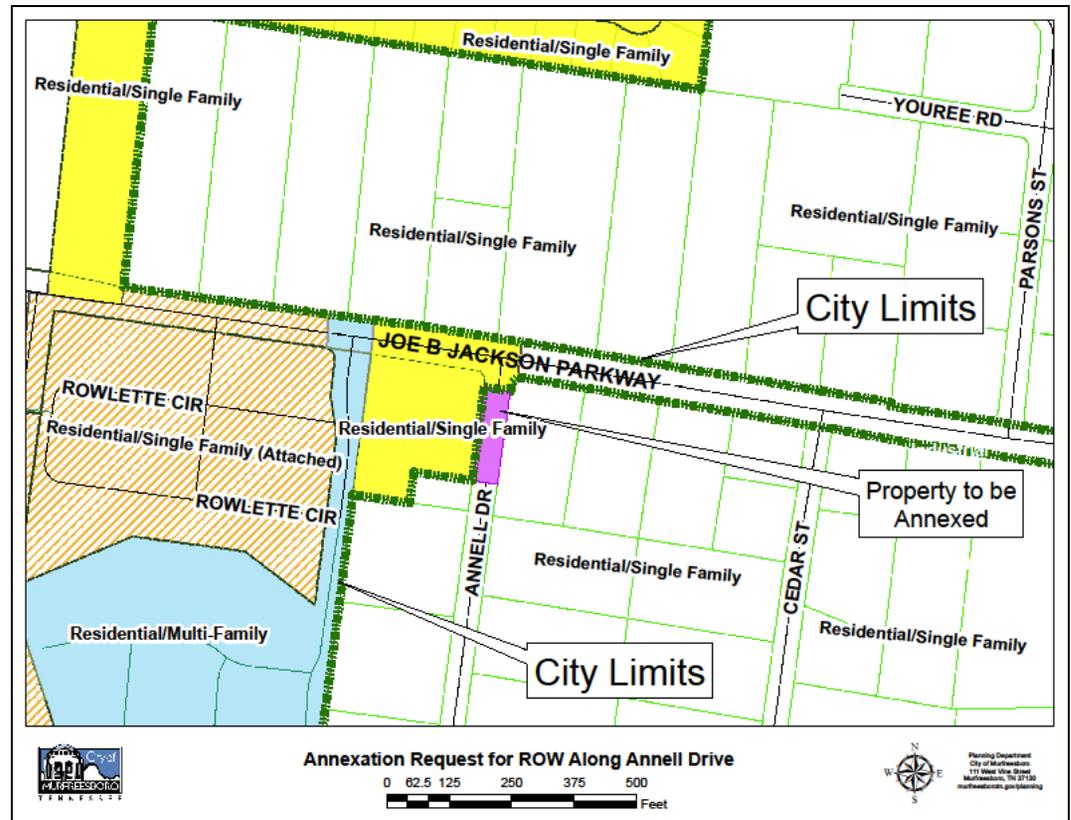
The adjacent zoning on the properties to the west are RS-15, PRD, and RM-16. The properties to the north, south and east are RM and are in the unincorporated portion of Rutherford County and are primarily single-family residences on large lots. Because the study area is right-of-way, it will receive no zoning classification upon annexation.



## PRESENT AND SURROUNDING LAND USE

The study area is an approximately 190-foot segment of Annell Drive ROW. The surrounding land uses include:

- Single-family detached residences to the north, west, east, and south; and
- Single-family attached residences further to the west, the Villas of Baskinwood.



# **PLAN OF SERVICES**

### **POLICE PROTECTION**

The annexation is for a 190-foot segment of Annell Drive ROW and will not have an impact on City police protection. The Murfreesboro Police Department will be able to provide services immediately upon the effective date of annexation.

### **ELECTRIC SERVICE**

The study area is located inside the service boundary of Middle Tennessee Electric Membership Corporation (MTEMC). MTEMC has existing electrical infrastructure within the subject ROW. No new electrical infrastructure is anticipated with this annexation.

### **STREET LIGHTING**

The study area is located inside the service boundary of MTEMC. Street lighting is provided at the intersection of Joe B Jackson and Annell Drive. No new street lighting is anticipated with this annexation. However, if the City determines that street lights are necessary along the subject ROW, MTEMC has the ability to install street lights upon request by the City.

### **SOLID WASTE COLLECTION**

The annexation is for a 190-foot segment of Annell Drive ROW and will not have an impact on the City Solid Waste Department.

### **RECREATION**

The annexation is for a 190-foot segment of Annell Drive ROW and will not have an impact on the City Recreation.

### **CITY SCHOOLS**

The annexation is for a 190-foot segment of Annell Drive ROW and will not have an impact on Murfreesboro City Schools. The Murfreesboro City School system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro.

### **BUILDING AND CODES**

The annexation is for a 190-foot segment of Annell Drive ROW and will not have an impact on the City Building and Codes Department.

### **PLANNING, ENGINEERING, AND ZONING SERVICES**

The annexation is for a segment of Annell Drive ROW. Because it is for ROW only, the impact to the Planning Department will be minimal. However, the City Engineering Department will be responsible for reviewing new connections to the subject ROW.

### **GEOGRAPHIC INFORMATION SYSTEMS**

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

## **STREETS AND ACCESS**

The annexation study area includes approximately 190 linear feet of Annell Drive ROW. Annell Drive is a 2-lane ditch section roadway. Upon annexation, the City will become responsible for the operation and maintenance of this street. Based on a 20-year repaving cycle, the annualized maintenance cost is \$210 with State Street Aid and General Fund as funding sources. The addition of the ROW will also result in \$50 of capital cost with State Street Aid and General Fund as funding sources.

Any new connections to the roadway must be approved by the City Engineer. Additionally, development along this roadway may require participation in improvements to upgrade the roadway and ROW/easement dedication in accordance with the City's Substandard Street requirements.

## **REGIONAL TRAFFIC & TRANSPORTION**

Annell Drive intersects with Joe B Jackson Parkway. The 2014 Level of Service Model in the 2040 Major Transportation Plan (MTP) indicates Joe B Jackson Parkway is operating at a Level of Service A based on average daily traffic (ADT). The 2040 Level of Service Model shows that Joe B Jackson Parkway operates at a level of service of D without the proposed improvements recommended in the 2040 MTP and also operates at a level of service D with the proposed improvements.

## **PROPERTY AND DEVELOPMENT**

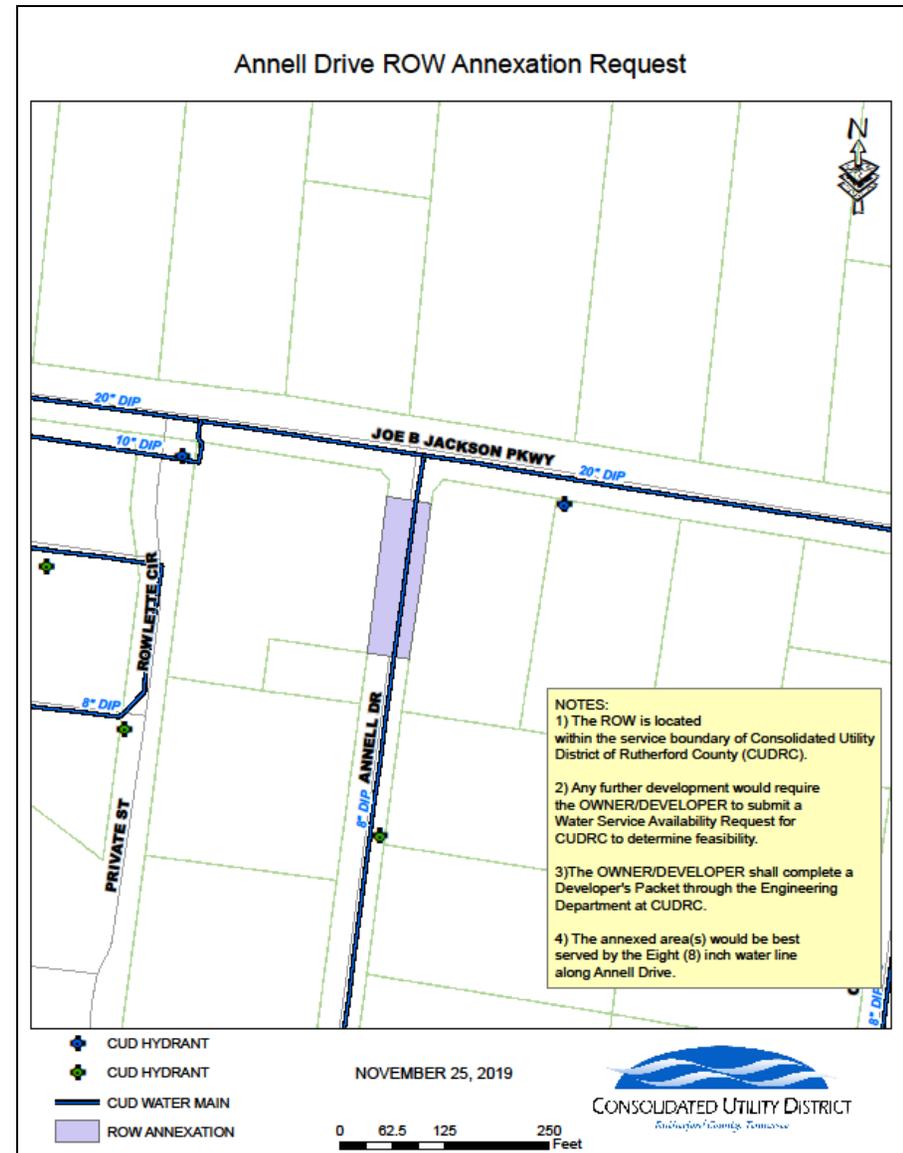
The annexation study area only includes public street ROW. Any new connections to the roadway must be approved by the City Engineer. Additionally, developments along this roadway will be require participation in improvements to upgrade the roadway and ROW/easement dedication in accordance with the City's Substandard Street policy requirements.

## WATER SERVICE

The study area is located within Consolidated Utility District of Rutherford County's (CUDRC) service area. CUDRC has an existing eight (8) inch water main along Annell Drive to serve the annexed area, as illustrated in the attached exhibit.

## SANITARY SEWER SERVICE

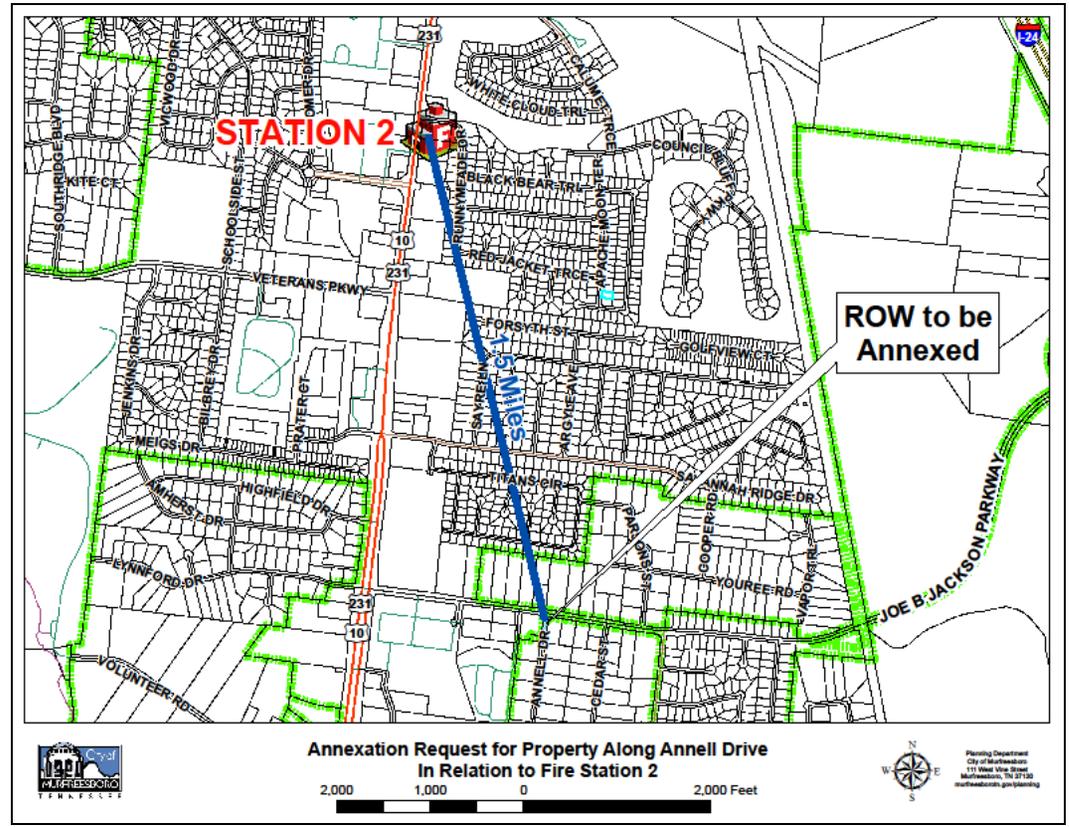
The annexation is for a 190-foot segment of Annell Drive ROW and will not have an impact on the City sanitary sewer service.



## FIRE AND EMERGENCY SERVICE

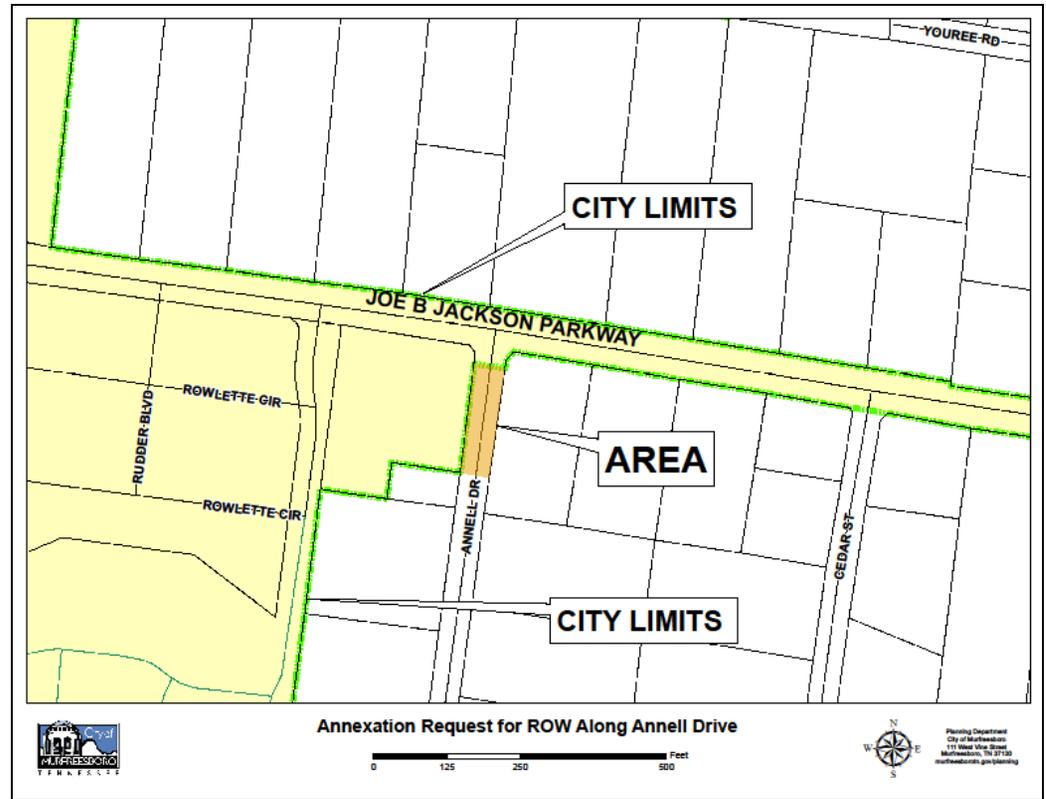
The annexation is for a 190-foot segment of Annell Drive ROW and will have minimal impact on the Murfreesboro Fire and Rescue Department (MFRD). MFRD will provide emergency first responder services to the subject ROW immediately upon annexation.

The blue lines on the adjacent map represent linear distance ranges from the nearest fire station. Station 2 is located approximately 1.5 miles from the subject ROW.



**FLOODWAY**

The study area is not located within a floodway or 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA).



## DRAINAGE

### **Public Drainage System**

The drainage systems along and within the roadway of Annell Drive are included in the study area and the property has access to the drainage system. Routine operation and maintenance costs for the drainage system integral to Annell are included in the public roadway annualized costs. No additional public drainage facilities are included in the study area. Any new public drainage facilities proposed to serve the study area in the future must meet City standards.

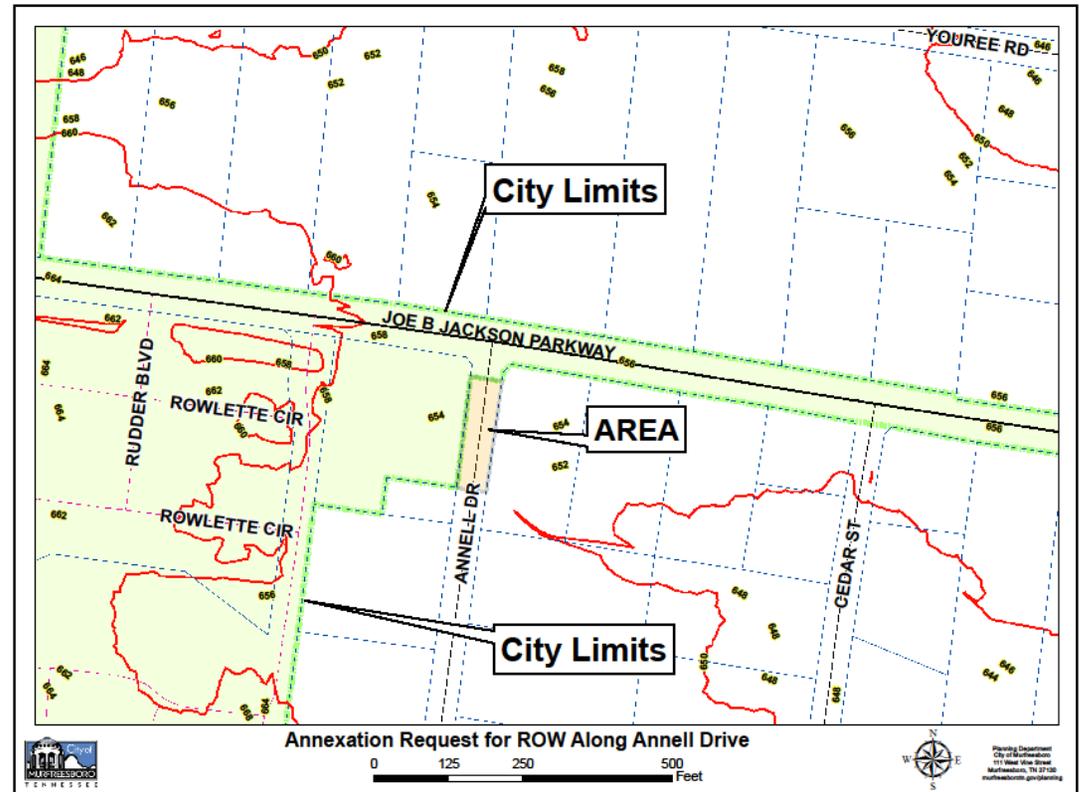
### **Regional Drainage Conditions**

The study area drains to the ROW of Annell Drive and then to the east until it reaches a miscellaneous tributary to the Middle Fork of the Stones River.

### **Stormwater Management and Utility Fees**

The annexation study area is limited to public ROW and will not generate revenue for the Stormwater Utility Fee.

The red lines on the adjacent map represent ten-foot contours. The black lines represent two-foot intervals.



### **ANNEXATION FOLLOW-UP**

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to the Tennessee Growth Policy Act, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
FEBRUARY 5, 2020**

**PROJECT PLANNER MARGARET ANN GREEN**

**5.a. Annexation plan of services and annexation petition [2019-517] for approximately 1.6 acres located at 3505 Florence Road, Wiseman Investments applicant.**

The subject property is located along the western side of Florence Road. Miles Cemetery is located within this property, just north of the existing garage and is already located within city limits. The property consists of approximately 1.6 acres and is identified as follows:

***Owners: Wiseman Investment Group Inc.***

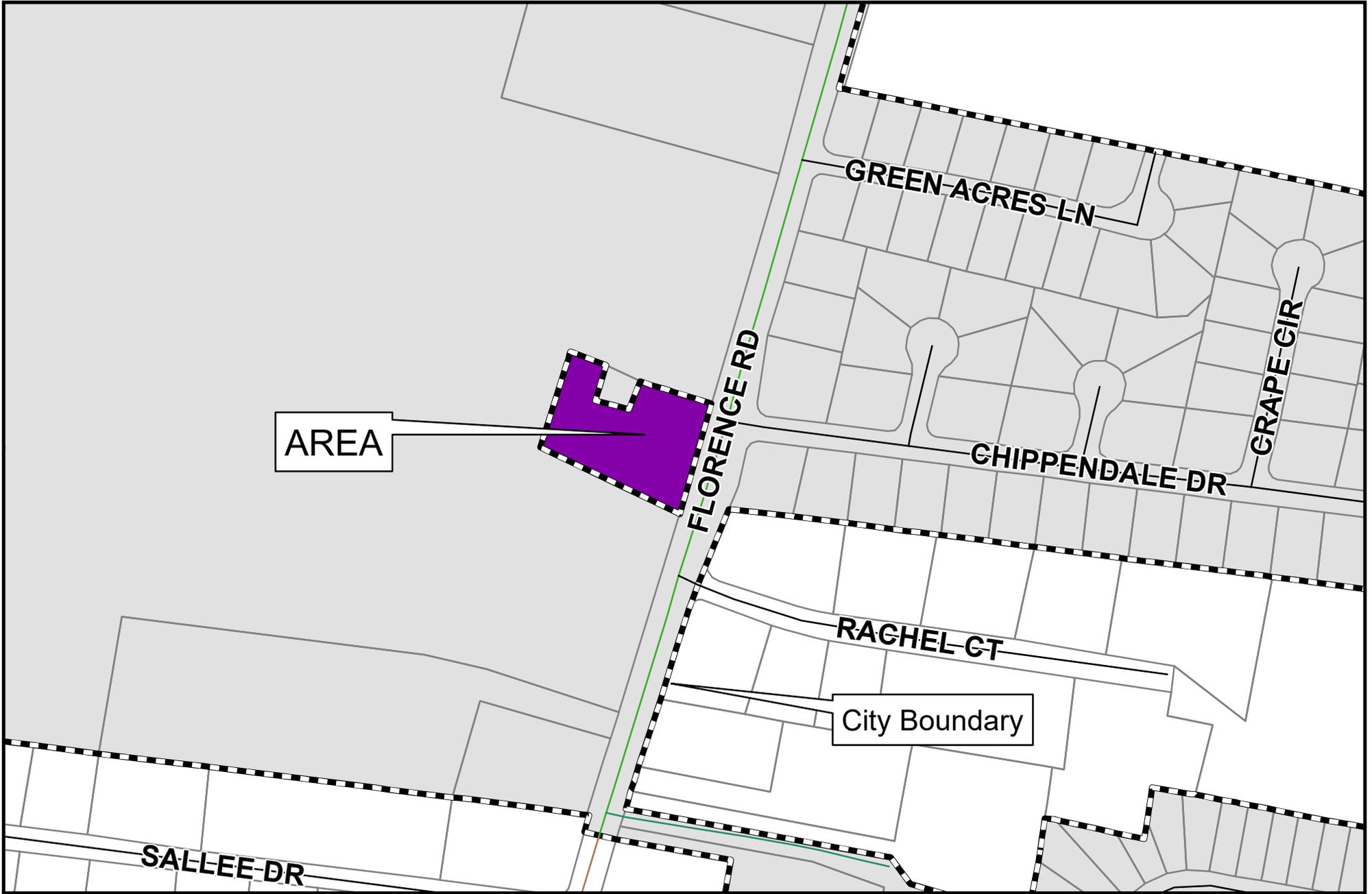
- Tax Map 071, Parcel 012.01                      **approximately 1.6 acres**

The study area consists of one lot that is developed with a single-family, detached house built in 1960 (3505 Florence Road). A written petition requesting annexation has been filed with the City by the property owner.

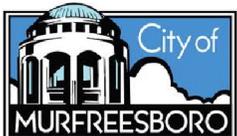
Hishtar Ismail of Wiseman Investment Group Inc. has filed a companion zone change request to have the property zoned CF (Commercial Fringe District) simultaneous with annexation (file 2019-448). The zoning request will be the subject of the next item on the agenda item.

The subject property is located within the City's Urban Growth Boundary and is contiguous with the current City limits. It appears that the City will be able to extend most City provided services immediately upon the effective date of annexation. Staff has included an *Annexation Feasibility Study and Plan of Services* that outlines a timeframe for the extension of services for consideration and adoption.

The Planning Commission will need to conduct a public hearing on the matter of the annexation petition and Plan of Services, after which it will need to formulate a recommendation for City Council.



### Annexation Request for Property Along Florence Road



Planning Department  
 City of Murfreesboro  
 11 W Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

**PETITION FOR ANNEXATION BY THE CITY OF MURFREESBORO**

The undersigned is the only owner / are all of the owners of the property identified in the attached legal description (including street address and tax map / parcel number), and hereby petitions the City of Murfreesboro to annex such property into the City.

**Signatures must be by owners or those with an appropriate written Power of Attorney from an owner. If the owner is not an individual (eg. corporation, trust, etc.), list the entity's name, the name of the individual signing on behalf of the entity and the status of the individual (eg. president, trustee, partner). If you are signing this Petition based on a Power of Attorney, you must also attach a copy of the Power of Attorney.**

1. Hisshyar Ismail  
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: [Signature] Status: owner Date: 12/12/2019  
7332 SMOKEY HILL RD ANTI'OCK, TN 37013  
Mailing Address (if not address of property to be annexed)

2.  
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: \_\_\_\_\_ Status: \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_  
Mailing Address (if not address of property to be annexed)

3.  
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: \_\_\_\_\_ Status: \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_  
Mailing Address (if not address of property to be annexed)

4.  
Printed Name of Owner (and Owner's Representative, if Owner is an entity)

Signature: \_\_\_\_\_ Status: \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_  
Mailing Address (if not address of property to be annexed)

(Attach additional signature pages if necessary)

**Legal Description is attached: \_\_\_\_\_ Yes**

**Power of Attorney applies and is attached: \_\_\_\_\_ Yes \_\_\_\_\_ No**

**ANNEXATION REPORT FOR PROPERTY LOCATED  
WEST OF FLORENCE ROAD  
INCLUDING PLAN OF SERVICES**



PREPARED FOR THE  
MURFREESBORO PLANNING COMMISSION  
February 5, 2020



### Annexation Request for Property Along Florence Road



Planning Department  
City of Murfreesboro  
11 W Vine St  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

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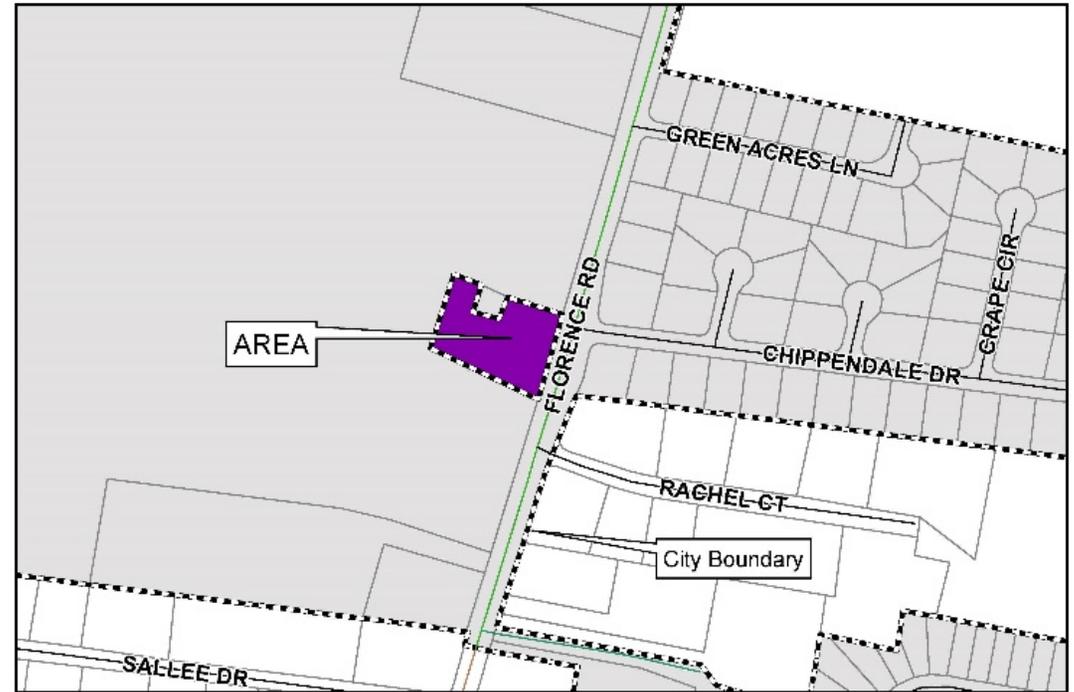
# INTRODUCTION

## OVERVIEW

The area studied in this Plan of Services is a 1.6-acre parcel (Tax Map 71, Parcel 012.01) situated along the west side of Florence Road, across from Chippendale Drive. The study area adjoins the City on the north, west and south boundaries. The right-of-way contiguous with the study area is already located within City limits.

The applicant, Wiseman Investment Group, Inc., has requested a zoning change to CF (Commercial Fringe District) simultaneous with annexation.

The parcel is located within the City of Murfreesboro's Urban Growth Boundary.



Annexation Request for Property Along Florence Road

0 200 400 800 1,200 Feet



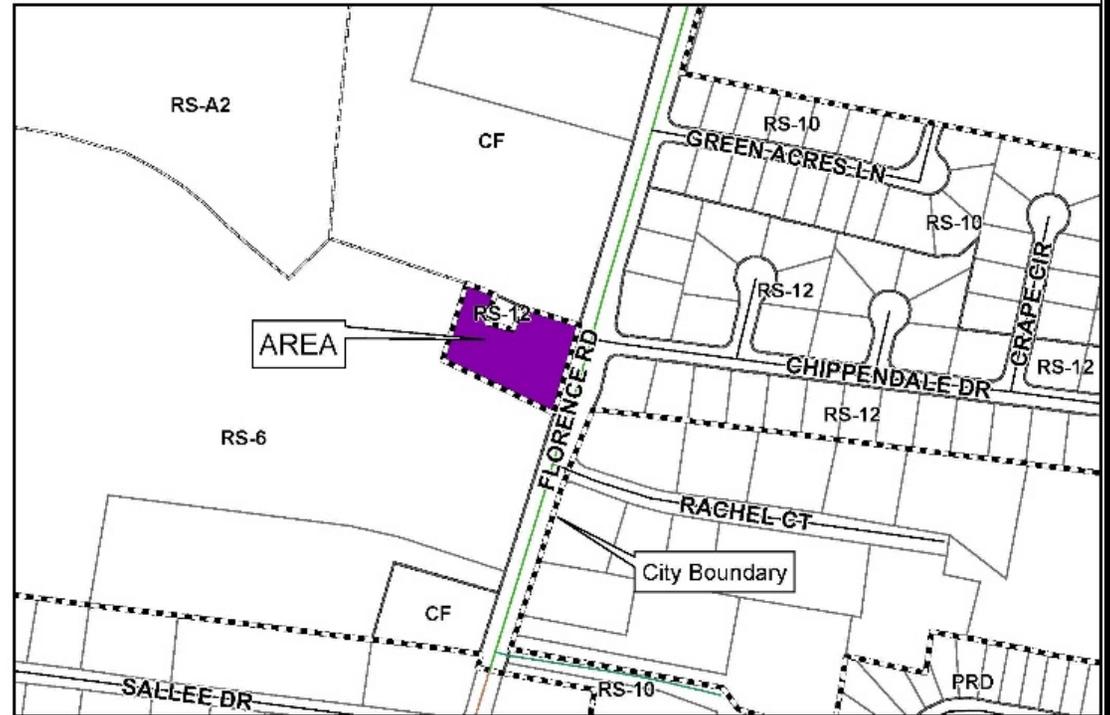
Planning Department  
City of Murfreesboro  
11 Old Mills Rd.  
Murfreesboro, TN 37130  
www.murfreesborotn.gov

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## CITY ZONING

The applicant has requested CF (Commercial Fringe) zoning for the parcel simultaneous with annexation. The subject property is currently zoned RM (Residential – Medium Density) in the County.

The requested CF zoning aligns with the properties directly to the north, which are located within the City of Murfreesboro and are zoned CF. The adjoining property to the west and south are zoned RS-6 (Single-Family Residential District) and has a minimum lot size of 6,000 square feet. Miles cemetery is surrounded by the study area and is already located within municipal boundaries. Cherrywood Estates and Florence Acres subdivisions are zoned RS-12 and are located to the east, just across Florence Road. The Florence Meadows county subdivision is located just south of Cherrywood Estates.



Zoning Request for Property Along Florence Road  
CF Simultaneous with Annexation



Planning Department  
City of Murfreesboro  
11 W. Vine St.  
Murfreesboro, TN 37130  
www.murfreesboronh.gov

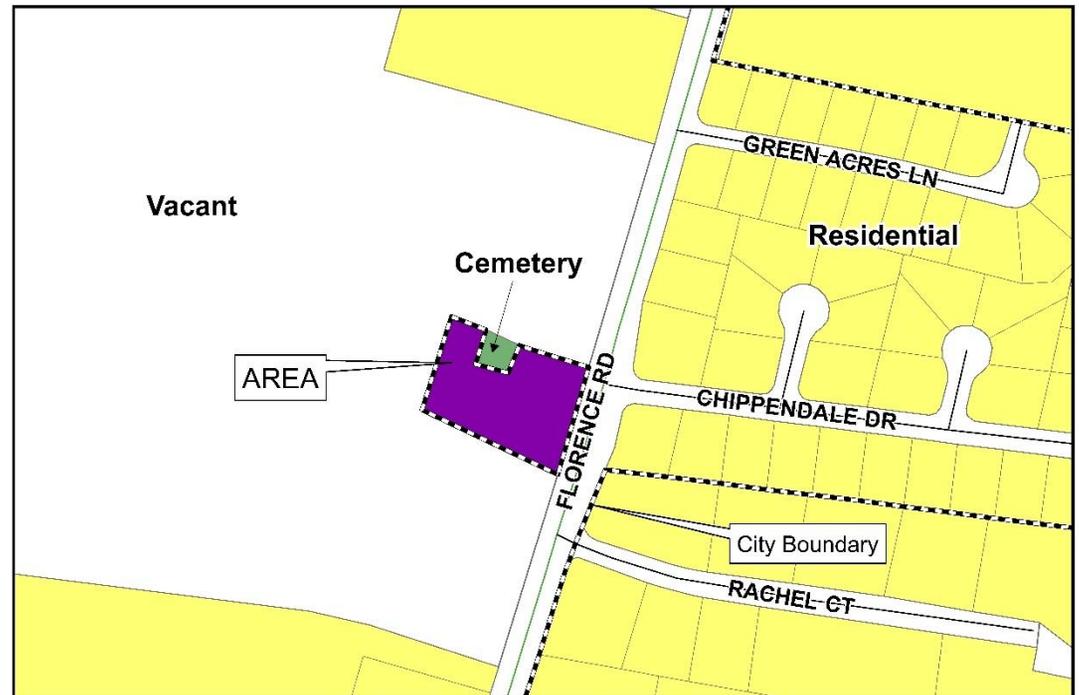
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## PRESENT AND SURROUNDING LAND USE

The area being considered for annexation is a 1.6-acre parcel. The property is currently developed with one single-family house. The property owners are a corporation (Inc.) and utilize the property as a investment and rental property.

The area surrounding the 1.6-acre parcel is characterized by undeveloped lots and agricultural uses. These properties are zoned to allow small-lot subdivision and commercial developments. The Miles cemetery is located within this property, just north of the structure's garage.

Access to the study area is directly to Florence Road.



Zoning Request for Property Along Florence Road  
CF Simultaneous with Annexation

0 150 300 600 900 Feet



Planning Department  
City of Murfreesboro  
11 W Vine St  
Murfreesboro, TN 37130  
www.murfreesborotn.gov

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## **TAXES AND REVENUE**

The first City tax bill for all property annexed during the calendar year of 2020 will be due on December 31, 2021. City taxes are calculated upon the property appraisal and assessment of the Rutherford County Property Assessor's Office. The current tax rate for the City of Murfreesboro is \$1.2894/\$100 assessed value. Residential property is assessed at a rate of 25% of its appraised value and commercial property is assessed at a rate of 40% of its appraised value. Table I below shows total assessment and estimated City taxes that would be collected, if the property were to be annexed in its present state. (Note that the property currently receives a greenbelt rollback assessment. The table below assumes that the property will no longer qualify for the greenbelt rollback assessment upon sale and development.)

***Table I  
Estimated Taxes from Site***

<b>Owner of Record</b>	<b>Acres</b>	<b>Land Value</b>	<b>Improvements Value</b>	<b>Total Assessment</b>	<b>Estimated City Taxes</b>
WISEMAN INVESTMENT GROUP INC	1.6	\$45,300	\$165,600	\$52,725	<b>\$679.84</b>

These figures are for the property in its current state. |

# **PLAN OF SERVICES**

### **POLICE PROTECTION**

At present, the study area receives police service through the Rutherford County Sheriff's Department. If annexed, the Murfreesboro Police Department will begin providing services such as patrol, criminal investigation, community policing, traffic operations, canine, DARE and other community crime prevention programs to the subject parcels immediately upon the effective date of annexation. This annexation will have no negative impact on the Murfreesboro Police Department. No additional costs to the department are expected. This property is located in Police Zone #4.

### **ELECTRIC SERVICE**

The study area is currently served by Middle Tennessee Electric Membership Corporation (MTEMC).

### **STREET LIGHTING**

According to MTEMC, street lighting are already installed along Florence Road. Additional street lights can be requested by the City of Murfreesboro.

### **SOLID WASTE COLLECTION**

The City will provide weekly curbside solid waste collection service immediately upon the effective date of annexation, as well as brush/debris removal every two to three weeks. The initial day of service will be Friday. In its current state, no additional equipment or manpower will be needed to serve the study area. Upon development as a commercial center, the owner/developer will be required to arrange solid waste collection via a private hauler.

### **RECREATION**

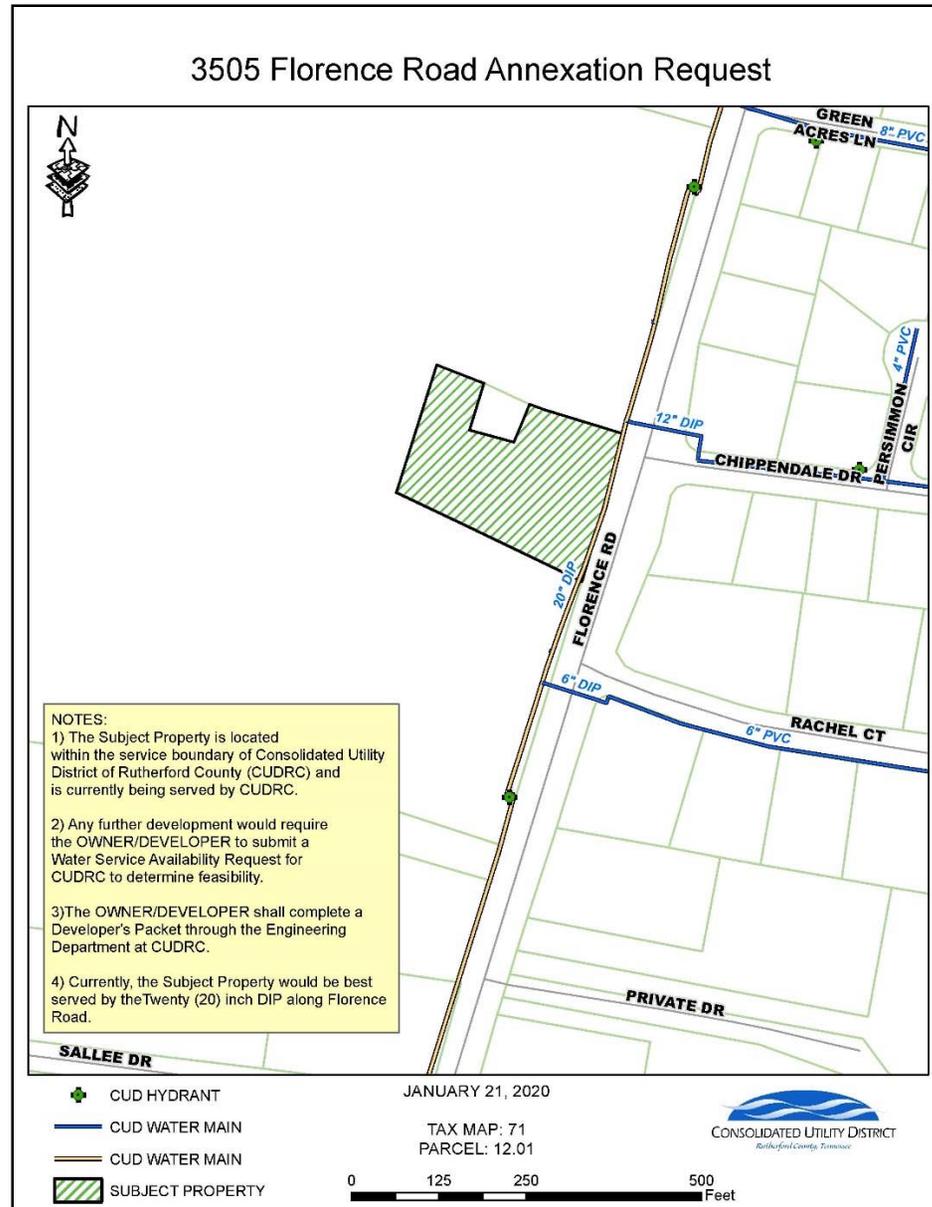
Murfreesboro's Parks and Recreation facilities will be immediately available to residents of the study area. Currently Murfreesboro has two multi-purpose facilities, one community center, a wilderness facility, over 1,000 acres of parks, a network of greenways, and recreational sports. These facilities and programs are wholly funded by the Murfreesboro tax payers. Children who are residents of the City of Murfreesboro, attend Murfreesboro Elementary Schools, and receive free or reduced lunches also receive free or reduced recreational fees.

### **CITY SCHOOLS**

The Murfreesboro City School system serves grades kindergarten through sixth and is offered to students who are within the jurisdiction of the City of Murfreesboro. The study area will be within the Overall Creek school zone.

## WATER SERVICE

The study area is served by an existing 20-inch Consolidated Utility District (CUD) water line along Florence Road. This line is adequate for providing domestic water service and for maintaining the proper fire flows for the existing single-family house and for proposed redevelopment. A Water Service Availability Request must be submitted to CUD for review and approval before any additional development on the property may occur. Any new water line development must be done in accordance with CUD's development policies and procedures and is dependent on the results of the Water Service Availability Request feasibility study.



## **SANITARY SEWER SERVICE**

Sanitary sewer is currently available to serve the subject property, per the Murfreesboro Water and Sewer Department's (MWSD) definition of "available." The property owner will be required to connect to the existing manhole at their northeast property corner. All main line extensions are the financial responsibility of the developer.

The study area lies within the Overall Creek Sanitary Sewer Assessment District. All sewer main improvements and easements needed to serve the subject property is to be installed and acquired respectively by the developer in accordance with MWSD's development policies and procedures. The sewer main may need to extend to the north property with any redevelopment and must be extended in accordance with the Development Policies and Procedures of the Murfreesboro Water Resources Department.

The red lines on the adjacent map represent existing sewer lines.

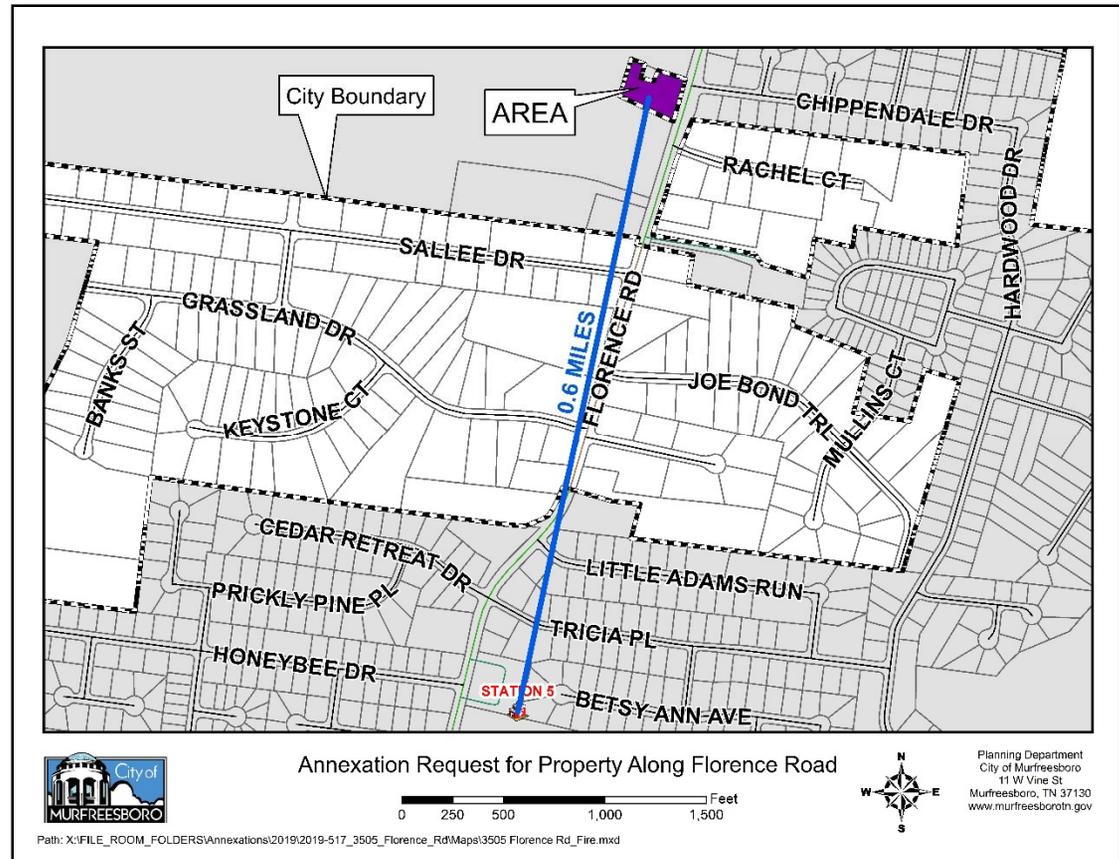


## FIRE AND EMERGENCY SERVICE

The Murfreesboro Fire and Rescue Department will begin providing fire protection and medical first responder service to the study area immediately upon the effective date of annexation. This annexation will have no negative impact on the Murfreesboro Fire and Rescue Department (MFRD).

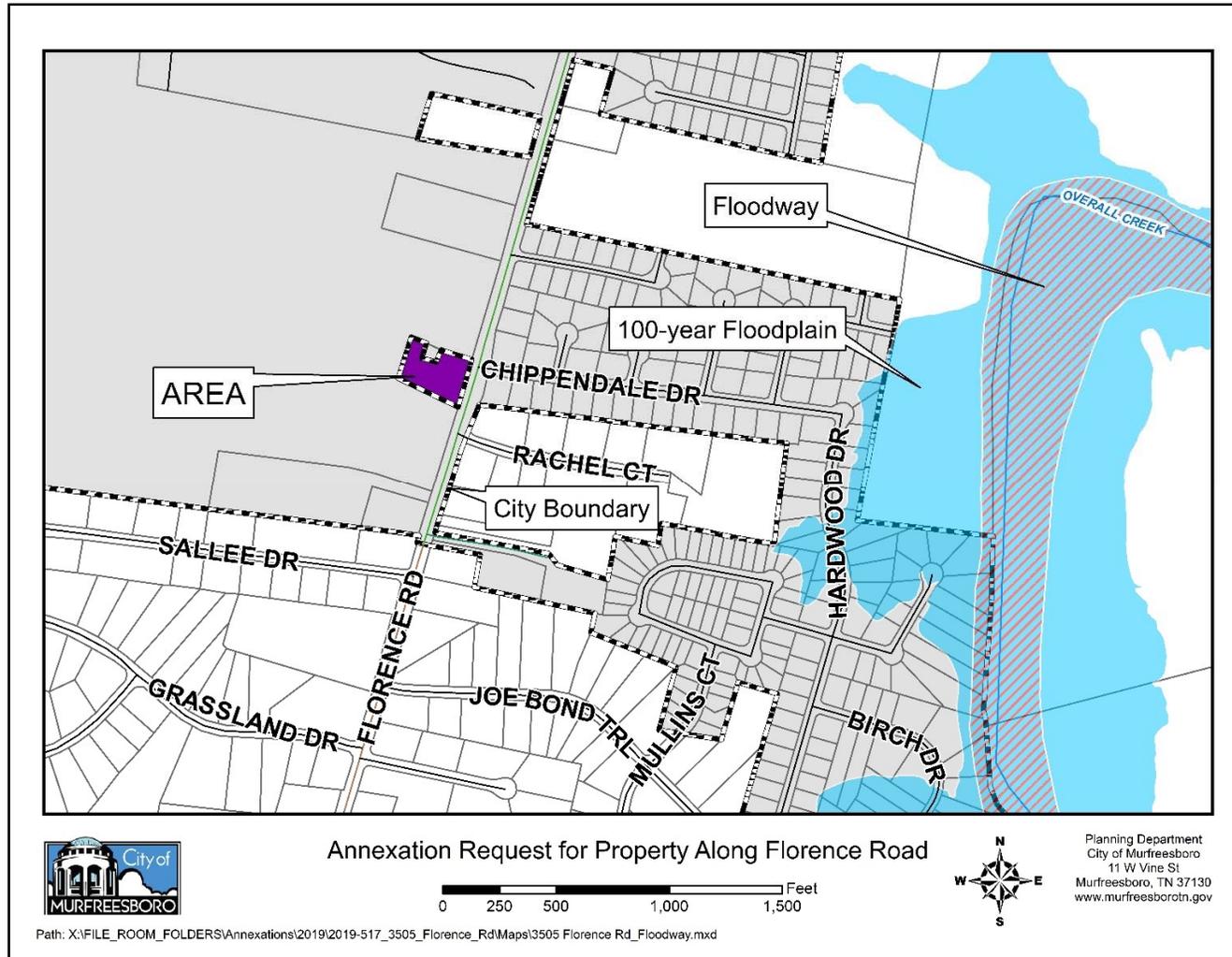
There is a 20-inch Consolidated Utility District water line along Florence Road that serves the subject property. Any redevelopment on the site must provide adequate fire flows and install water lines and fire hydrants per the Consolidated Utility District policies and procedures. Current guidelines recommend fire hydrants be 500 feet apart.

The closest operating fire station to the subject property is Fire Station #5, located at 3006 Florence Road, approximately 0.6 miles from the study area. Fire Station #11, located at 3924 Blaze Drive, is approximately 4.2 miles from the study area. The MFRD can provide ISO Class Two (2) fire protection.



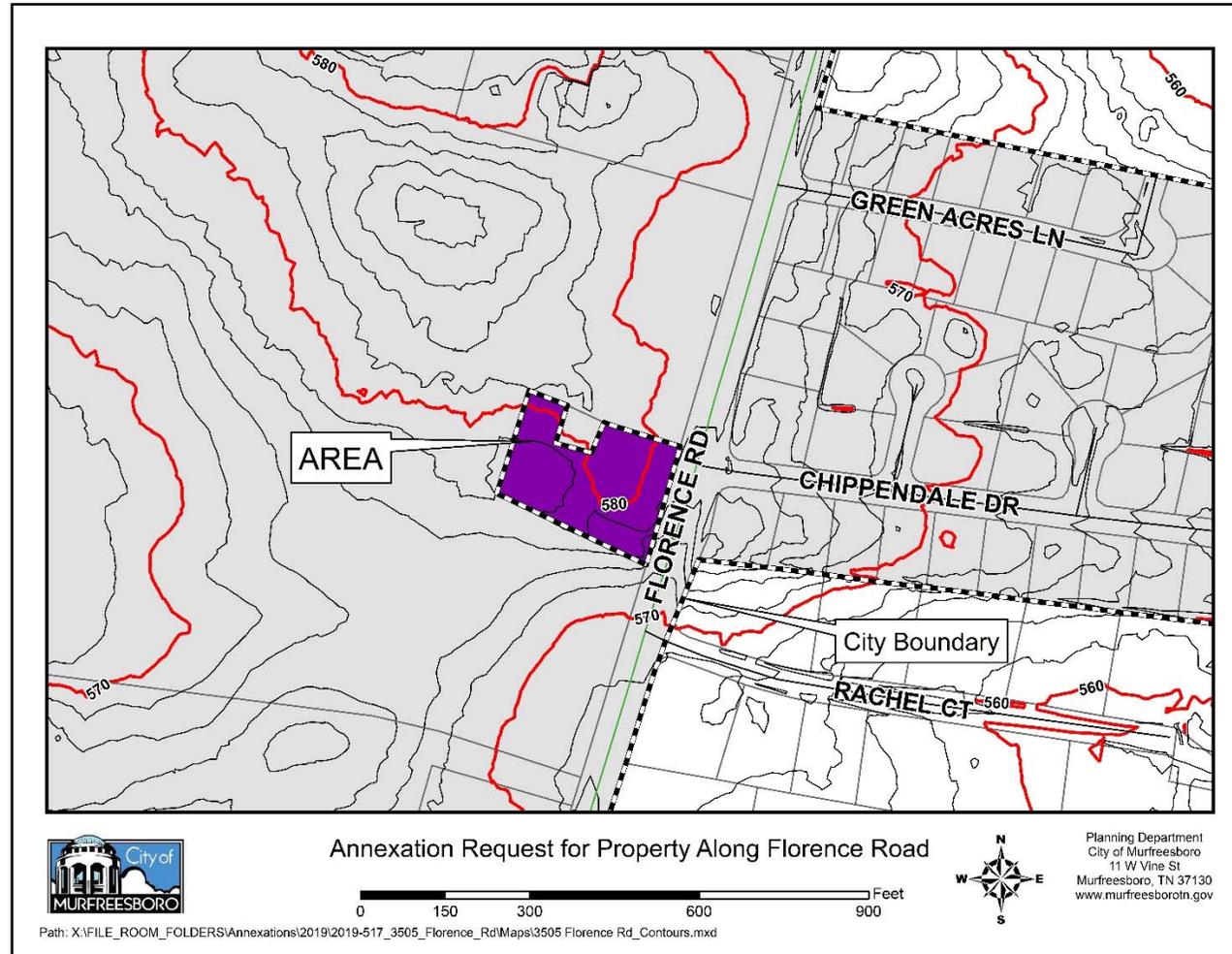
**FLOODWAY**

The study area is not located within a floodway or 100-year floodplain as delineated on the Flood Insurance Rate Maps (FIRM) developed by the Federal Emergency Management Agency (FEMA). The map below shows the floodway boundary in pink and the 100-year floodplain boundary in blue.



## Public Drainage System

No new public drainage facilities are included in the study area. Access to public drainage facilities are within the right-of-way of Florence Road. Any new public drainage facilities proposed to in the future must meet City standards. The red lines on the map represent 10-foot contours. The black lines represent two-foot intervals.



## **STREETS AND ACCESS**

The 1.6-acre parcel included in the study area has direct access to Florence Road. Florence Road is a 3-lane curb and gutter section.

The study area is currently served by Florence Road as the major roadway facility. Florence Road intersects with Old Nashville Road to the north and continues to Northwest Broad Street (Highway 41) to the north. Florence Road connects to Manson Pike to the south and continues southward as Brinkley Road to Franklin Road (State Route 96). The 2014 Level of Service Model in the proposed 2040 Major Transportation Plan (MTP) indicates that Florence Road to be operating at a Level of Service C in the Study Area based on average daily traffic (ADT). The 2040 Level of Service Model shows that Florence Road falls to undesirable levels of service F without the proposed improvements recommended in the 2040 MTP.

Old Nashville Highway is the first major intersection to the north and it is operating at a Level of Service C at the intersection while Florence Road is at a Level of Service D at the intersection. Manson Pike is the first major intersection to the south. Florence Road is operating at a Level of Service B at the intersection while Manson Pike is at a Level of Service C.

Maintenance costs for Florence Road is paid from State Street Aid and Stormwater Utility Fees. Any new roads associated with development of the subject property must adhere to the City's Standard Street Specifications.

## ***STORMWATER MANAGEMENT***

Upon annexation, stormwater management services provided by the City of Murfreesboro will be available to the study area. The study area currently has one single family residence and will generate approximately 39 dollars per year in revenue for the Stormwater Utility Fee. Future development in the study area will be subject to the Stormwater Utility Fee upon completion of construction.

The subject property is proposed to be developed for a Fringe Commercial District (CF) on approximately 1.6 acres. Based on this development scenario and property limitations, it is anticipated that the site will generate 500 dollars annually in revenue for the Stormwater Utility Fund including anticipated fee credits upon full buildout

New development on the property must meet City of Murfreesboro Stormwater Quality requirements.

## ***Regional Drainage System***

A review of the regional drainage patterns indicates the Study Area and adjacent properties are mostly controlled by karst-like drainage conditions. Numerous closed depressions and sinkholes dominate the topography west of Florence Engineering Department Road while an absence of surface streams indicate most properties are poorly drained or internally drained to sinkholes or slowly draining closed depressions. A review of the 2010 aerial photography following the significant rainfall events of May 1 and 2 confirms the presence of numerous closed depressions and sinkholes with standing water 2 days after the rainfall stopped.

A traditional surface drainage system was installed in the Study Area with the reconstruction of Florence Road. This drainage system provides a surface drainage outlet for the Study Area and ultimately discharges to Overall Creek to the east..

### **PLANNING, ENGINEERING, AND ZONING SERVICES**

The property will come within the City's jurisdiction for planning and engineering code enforcement immediately upon the effective date of annexation. As new development occurs, the Planning Commission will review all site plans, preliminary, and final plats. Among other duties, the Planning and Engineering Departments will inspect and monitor new construction of streets and drainage structures for compliance with the City's development regulations.

### **ANNEXATION FOLLOW-UP**

The Murfreesboro City Council will be responsible for ensuring that this property will receive City services described in this plan. According to Public Chapter 1101 passed by the Tennessee Legislature, six months following the effective date of annexation, and annually thereafter until all services have been extended, a progress report is to be prepared and published in a newspaper of general circulation. This report will describe progress made in providing City services according to the plan of services and any proposed changes to the plan. A public hearing will also be held on the progress report.

### **BUILDING AND CODES**

The property will immediately come within the City's jurisdiction for code enforcement immediately upon the effective date of annexation. The City's Building and Codes Department will begin issuing building and construction permits and enforcing the codes and inspecting new construction for compliance with the City's construction codes immediately upon the effective date of annexation. The Building and Codes Department will also ensure that any new signs associated with the development of the property comply with the Sign Ordinance. No additional costs are expected.

### **GEOGRAPHIC INFORMATION SYSTEMS**

The property is within the area photographed and digitized as part of the City's Geographic Information Systems (G.I.S.) program.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
FEBRUARY 5, 2020**

**PROJECT PLANNER MARGARET ANN GREEN**

**5.b. Zoning application [2019-448] for approximately 1.6 acres located at 3505 Florence Road to be zoned CF simultaneous with annexation, Wiseman Investment Group Inc. applicant.**

The subject property is located along the west side of Florence Road. The property consist of 1.6 acres and is identified on Tax Map 071 Parcel 012.01. The property is in the unincorporated area of Rutherford County and is zoned RM (Medium Density Residential) in the County. The property is bounded on its north, south and west sides by City limits. The properties to the north are zoned CF and the properties to the west and south are zoned RS-6 (Single-Family, Residential District). To the east, across Florence Road is the developed Cherrywood Estates single-family subdivision.

**Proposed CF**

This district is intended to permit the development and continued maintenance of general commercial uses along highways and major arterial streets which tend not to be a nuisance to immediately surrounding residential development. Drive-up windows are only permitted when located at least 200-feet from any property line of land zoned for residential purposes. The CF district also requires Dumpster and/or garbage collection areas be located on-site the maximum distance feasible from the residential properties. The sale or distribution of gasoline, diesel and other fuels must be setback a minimum of 200-feet from single family zoned property. A chart of uses permitted is included in the packet.

The existing single-family, detached use is not permitted by right within the CF district. If the house is currently being used residentially, then it will be considered a lawfully established, non-conforming use.

**Property redevelopment**

The investment company that owns the property is requesting the CF zone in anticipation of future redevelopment but have no imminent plans to discontinue using the property as a residential rental home. During the Planning Commission workshop, staff and Planning Commission expressed concerns with the potential repurposing of the existing single-family, residential structure for a commercial use. The applicant's representative could not speak to the timing of any redevelopment as this is speculative rezoning. The Planning Commission scheduled the public hearing to comply with the City Code requirement that not more than 75 days after the Commission has received a zone change application, a public hearing shall be held. Remodeling the existing single-family home for commercial purposes is undesirable.

**Future Land Use Map**

The Murfreesboro 2035 Future Land Use Map indicates that Auto Urban Residential (AUR) uses are the most appropriate land use for the subject property. The proposed zoning is not consistent with the *Future Land Use Map*.



MAP 4.2

**Future Land Use Map**

- LAND USES
- Proposed Land Uses*
- Undeveloped
  - Parks
  - Suburban Estate
  - Suburban Residential
  - Auto Urban Residential
  - Multi Family Residential
  - General Commercial
  - Neighborhood Commercial
  - Urban Commercial / Mixed Use
  - Central Business District
  - Business Park
  - Light Industrial
  - Heavy Industrial
  - Public / Institutional

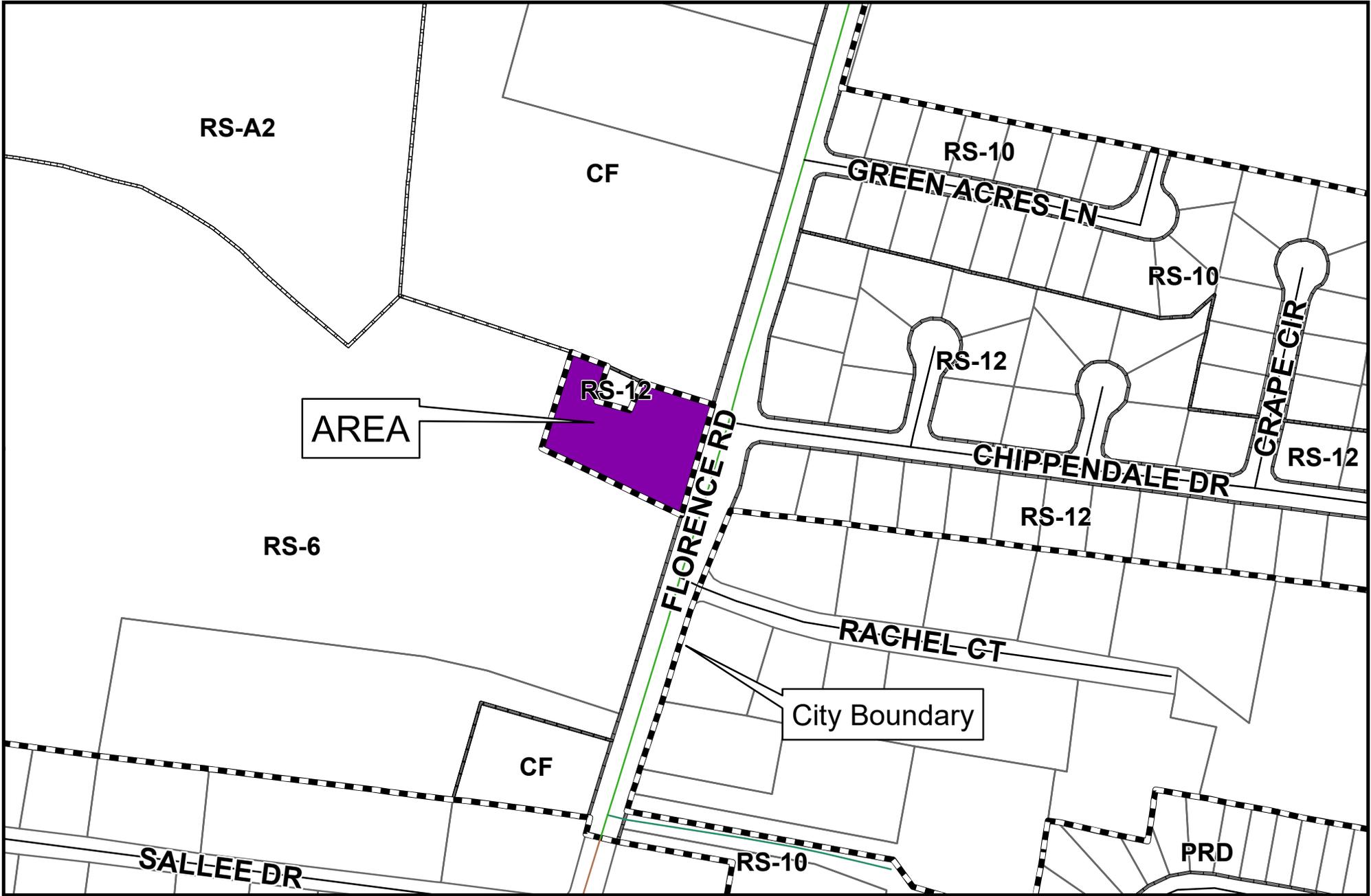
### ***Auto Urban (General) Residential Character (AUR)***

This designation pertains to current and future residential development and includes detached residential dwellings; attached housing types (subject to compatibility and open space standards, e.g., duplexes, triplexes, townhomes, patio homes); planned developments (with a potential mix of housing types and varying densities, subject to compatibility and open space standards), etc. The density proposed within this area is 3.54 to 8.64 dwelling units per acre.

The development type that typifies the AUR is both detached and attached residential. It has less openness and separation between dwellings compared to suburban character areas with automobiles significantly influences the design and character of the dwelling. Front yards are consumed by driveways and off-street parking.

The property size is not large enough to support and sustainable attached, residential use. Also notable, is that the adjacent Waldron Farm has approximately 65 acres zoned for small-lot residential subdivision (RS-6), approximately 43 acres zoned for townhomes (RS-A Type 2), approximately 74 acres zoned Commercial Fringe District (CF) and approximately 25 acres zoned Highway Commercial District (CH).

The Planning Commission should conduct a public hearing prior to formulating a recommendation to City Council.



Zoning Request for Property Along Florence Road  
 CF Simultaneous with Annexation



Planning Department  
 City of Murfreesboro  
 11 W Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)



Zoning Request for Property Along Florence Road  
 CF Simultaneous with Annexation



Planning Department  
 City of Murfreesboro  
 11 W Vine St  
 Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

Chart 1

USES PERMITTED <sup>3</sup>			USES PERMITTED <sup>3</sup>		
	CF	CH		CF	CH
<b>DWELLINGS</b>			<b>INSTITUTIONS</b>		
Single-Family detached			Adult Day Care Center	X	X
Single-Family attached			Adult Day Care Home	X	X
Two-Family			Airport, Heliport		S
Three-Family			Cemetery, Mausoleum		S
Four-Family			Church <sup>13</sup>	X	X
Multiple-Family			College, University		
<b>OTHER HOUSING</b>			Day-Care Center	X	X
Accessory Apartment			Family Day-Care Home	X	X
Accessory Dwelling Unit	X <sup>1</sup>	X <sup>1</sup>	Group Day-Care Home	X	X
Assisted-Care Living Facility <sup>15</sup>	X	X	Hospital		
Bed-and-Breakfast Homestay	X	X	Lodge, Club, Country Club <sup>13</sup>	X	X
Bed-and-Breakfast Inn	X	X	Mental Health Facility		X
Boarding House <sup>15</sup>	X	X	Morgue		X
Emergency Shelter	X	X	Museum	X	X
Extended Stay Hotel/Motel		X	Nursing Home	S	S
Family Crisis Shelter	S	S	Nursery School	S	S
Family Violence Shelter	X	X	Park	X	X
Fraternity/Sorority	S	S	Philanthropic Institution	X	X
Group Shelter	S	S	Pet Cemetery	S	S
Class I Home for the Aged <sup>15</sup>	X	X	Public Building <sup>13</sup>	X	X
Class II Home for the Aged <sup>15</sup>	X	X	Recreation Field <sup>13</sup>	X	X
Class III Home for the Aged <sup>15</sup>	X	X	Senior Citizens Center	X	X
Hotel		X	School, Public or Private, Grades K - 12 <sup>13</sup>	X	X
Mission <sup>10</sup>			Student Center	S	S
Mobile Homes					
Motel		X			
Rooming House					
Student Dormitory					
Transitional Home					
<b>AGRICULTURAL USES</b>			<b>OTHER</b>		
Customary General Farming	X <sup>6</sup>	X	Advertising Sign		X
Crop, Soil Preparation Agricultural Services	X	X	Home Occupations		
Farm Labor and Management Services	X	X	Junkyard		
Fish Hatcheries and Preserves		X	Recycling center		S
Grain, Fruit, Field Crop and Vegetable Cultivation and Storage			Self-Service Storage Facility <sup>16</sup>	S	X
Livestock, Horse, Dairy, Poultry, and Egg Products			Wholesale Establishments		X
Timber Tracts, Forest Nursery, Gathering of Forest Products			Temporary Mobile Recycling Center	S	S

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

Chart 1

USES PERMITTED <sup>3</sup>			USES PERMITTED <sup>3</sup>		
	CF	CH		CF	CH
<b>COMMERCIAL</b>			<b>COMMERCIAL</b>		
Adult Cabaret			Garage, Parking		X
Adult Entertainment Center			Garden and Lawn Supplies	S	X
Adult Motel			Gas--Liquified Petroleum, Bottled and Bulk		X
Adults-Only Bookstore			Gas Station	X	X
Adults-Only Motion Picture Theater			General Service and Repair Shop		X
Amusements, Commercial Indoor	X	X	Glass--Auto, Plate, and Window		X
Amusements, Commercial Outdoor excluding Motorized		X	Glass--Stained and Leaded	X	X
Amusements, Commercial Outdoor Motorized except Carnivals			Greenhouse or Nursery		X
Animal Grooming Facility	X	X	Group Assembly, <250 persons	X	X
Antique Mall	X	X	Group Assembly, >250 persons	S	S
Antique Shop <3,000 sq. ft.	X	X	Health Club	X	X
Apothecaries (pharmaceuticals only)	X	X	Ice Retail	X	X
Art or Photo Studio or Gallery	X	X	Interior Decorator	X	X
Automotive Repair <sup>12</sup>		X	Iron Work		X
Bakery, Retail	X	X	Janitorial Service	X	X
Bank, Branch Office	X	X	Karate, Instruction	X	X
Bank, Drive-Up Electronic Teller	X	X	Kennels		X
Bank, Main Office		X	Keys, Locksmith	X	X
Barber or Beauty Shop	X	X	Laboratories, Medical	X	X
Beer, Packaged	X	X	Laboratories, Testing	X	X
Boat Rental, Sales, or Repair		X	Laundries, Self-Service	X	X
Book or Card Shop	X	X	Lawn, Tree, and Garden Service		X
Business School	X	X	Liquor Store	X	X
Business and Communication Service	X	X	Livestock, Auction		
Campground, Travel-Trailer Park		X	Lumber, Building Material		X
Carnivals		S	Manufactured Home Sales		
Catering Establishment	X	X	Massage Parlor		
Clothing Store	X	X	Motor Vehicle Sales (Automobiles)		S
Coffee, Food, or Beverage Kiosk	X	X	Motor Vehicle Sales (Other Than Automobiles)		S
Commercial Center	X	X	Motor Vehicle Service <sup>12</sup>		X
Convenience Sales and Service, maximum 5,000 sq. ft. floor area	X	X	Movie Theater	X	X
Crematory			Music or Dancing Academy	X	X
Delicatessen	X	X	Offices	X	X
Department or Discount Store	X	X	Optical Dispensaries	X	X
Drive-In Theater		X	Pawn Shop		X
Dry Cleaning	X	X	Personal Service Establishment	X	X
Dry Cleaning Pick-Up Station	X	X	Pet Crematory		
Financial Service	X	X	Pet Funeral Home	X	X
Fireworks Public Display			Pet Shops	X	X
Fireworks Retailer		S	Pharmacies	X	X
Fireworks Seasonal Retailer		S	Photo Finishing	X	X
Flower or Plant Store	X	X	Photo Finishing Pick-Up Station	X	X
Funeral Home		X	Radio, TV, or Recording Studio		X

X = Use permitted by right.

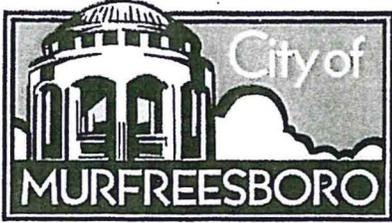
S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.

Chart 1

USES PERMITTED <sup>3</sup>			USES PERMITTED <sup>3</sup>		
	CF	CH		CF	CH
<b>COMMERCIAL</b>					
Radio and Television Transmission Towers	S	S			
Rap Parlor					
Reducing and Weight Control Service	X	X			
Restaurant and Carry-Out Restaurant	X	X			
Restaurant, Drive-In		X			
Restaurant, Specialty	X	X			
Restaurant, Specialty -Limited	X	X			
Retail Shop, other than enumerated elsewhere	X	X			
Salvage and Surplus Merchandise		X			
Sauna					
Sheet Metal Shop		X			
Shopping Center, Community		X			
Shopping Center, Neighborhood	X	X			
Shopping Center, Regional		X			
Specialty Shop	X	X			
Tavern		X			
Taxidermy Studio		S			
Towing <sup>12</sup>		X			
Veterinary Office	X	X			
Veterinary Clinic	X	X			
Veterinary Hospital		X			
Vehicle Sales (Non-Motorized)		X			
Vehicle Wash		X			
Video Rental	X	X			
Wholesaling		X			
Wireless Telecommunications Towers, Antennas <sup>17</sup>	S	S			
Wrecker Service, Wrecker Storage Yard <sup>12</sup>		X			

X = Use permitted by right.

S = Use requiring site plan review and approval subject to the issuance of a special use permit in accordance with the provisions of Sections 8 and 9 of this article.



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Planning and Engineering Department  
111 W. Vine Street, P.O. Box 1139  
Murfreesboro, TN 37133-1139  
(615) 893-6441 Fax (615) 849-2606  
www.murfreesborotn.gov

Received  
Planning Department  
DEC 12 2019  
111 West Vine Street  
Murfreesboro, TN 37130

Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

**Procedure for applicant:**

The applicant must submit the following information to initiate a rezoning:

1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

**To be completed by applicant:**

APPLICANT: Wisemen Investments Group INC

Address: 3505 Florence Rd City/State/Zip: Murfreesboro TN 37130

Phone: 615 5548860 E-mail address: Wisemeninvestmentsgroup2018@gmail.com

PROPERTY OWNER: Wisemen Investments Group INC

Street Address or property description: 3505 Florence Rd Murfreesboro TN

and/or Tax map #: \_\_\_\_\_ Group: \_\_\_\_\_ Parcel (s): \_\_\_\_\_

Existing zoning classification: \_\_\_\_\_

Proposed zoning classification: \_\_\_\_\_ Acreage: \_\_\_\_\_

Contact name & phone number for publication and notifications to the public (if different from the applicant): Wisemen Investments Group

E-mail: \_\_\_\_\_

APPLICANT'S SIGNATURE (required): [Signature] Hishyar Ismail

DATE: 11/13/2019

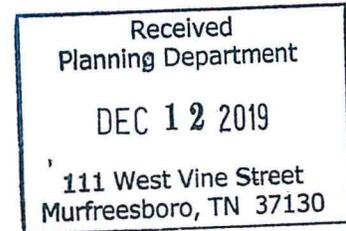
\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: \_\_\_\_\_ MPC YR.: \_\_\_\_\_ MPC #: 2019-448

Amount paid: \$ 700.00 Receipt #: 298435 2019-517

12.12.2019

Mr. Matthew Blomeley  
Acting Planning Director  
City of Murfreesboro  
111 W. Vine Street  
Murfreesboro, TN 37130



Re: Rezoning Request

Described as Tax Map 071 and parcels 01201 consisting of 1.6 +/- acres. .

Dear Mr. Blomeley:

On behalf of our client, Mr. Reber Hassan, we hereby request the annexation and rezoning of a 1.6 +/- acre tract of land located at 3505 Florence Road current zoned RM in the County to the requested CF zoning in the City. The property located at Tax Map 071 and parcels 01201. The client currently has no development plans.

Please let me know if you need any additional information and thank you for your assistance with this request.

Sincerely,

A handwritten signature in black ink, appearing to read "Clyde R".

Clyde Rountree, RLA

HUDDLESTON-STEELE ENG., INC.

**MURFREESBORO PLANNING COMMISSION  
STAFF COMMENTS, PAGE 1  
FEBRUARY 5, 2020  
PROJECT PLANNER: AMELIA KERR**

- 5.c. Zoning application [2019-446] for approximately 1.11 acres located along South Academy Street north of East State Street to be rezoned from CH and CCO to PUD (Greenhouse Ministries PUD) and CCO, Greenhouse Ministries applicant.**

The subject property is located at 315 and 319 South Academy Street. The property is located along the east side of South Academy Street to the south of East Sevier Street and to the north of East State Street. The property is approximately 1.11 acres and is identified as Tax Map 091M, Group P, Parcels 24.00 and 25.00. The parcels are current undeveloped, within the City limits, and are zoned CH (Commercial Highway District) and CCO (City Core Overlay District). The applicant wishes to rezone the property to PUD (Planned Unit District). The proposed PUD would consist of a 26,000 square foot mixed-use building for Greenhouse Ministries. The zoning request will not remove the property from the CCO.

The development is requesting to have direct access to South Academy Street and a secondary point of access on East Sevier Street. The proposed development would include one (1) two-story building consisting of multi-family dwellings, offices, meeting areas, classrooms, a small medical office room, and flex space. The 1<sup>st</sup> floor will include all non-residential facilities and the 2<sup>nd</sup> floor will be 1-bedroom apartment units and a community laundry area. Primary exterior materials would include brick and cementitious siding. Minimum building setbacks for the development would be 5' on the front facing South Academy Street, 35' on the northern front facing East Sevier Street, 10' on the south side, and 20' on the rear. Amenities would include an outdoor seating area on the east side of the building. The pattern book has been revised to address Planning Commissions concerns about safety and security.

**Adjacent Zoning and Land Uses**

Surrounding properties to the north are zoned CH and were originally developed with single-family residential dwellings which have been converted to commercial uses. The two single-family structures directly to the north of East Sevier Street are vacant. West of the property directly across South Academy Street is zoned CH and is developed with an additional parking lot for the City Center development and a one-story building occupied by Greenhouse Ministries. Property to the east is the Old City Cemetery and is zoned CH. Properties to the south are all zoned

CH and consist of an undeveloped lot at the corner of South Academy Street and East State Street, a parking lot for Scales and Sons Funeral Home, and another commercially-zoned parcel developed with an existing residential dwelling unit. The proposed development would include a 6' vinyl privacy fence along the south boundary with the addition of a 10' Type A buffer along the southeast boundary adjacent to the existing single-family residential dwelling.

### **Future Land Use Map**

The future land use map of the *Murfreesboro 2035 Comprehensive Plan*, which was adopted in July 2017, recommends that “Downtown Mixed-Use Central Business District” is the most appropriate land use character for the subject property, as shown on the map below.

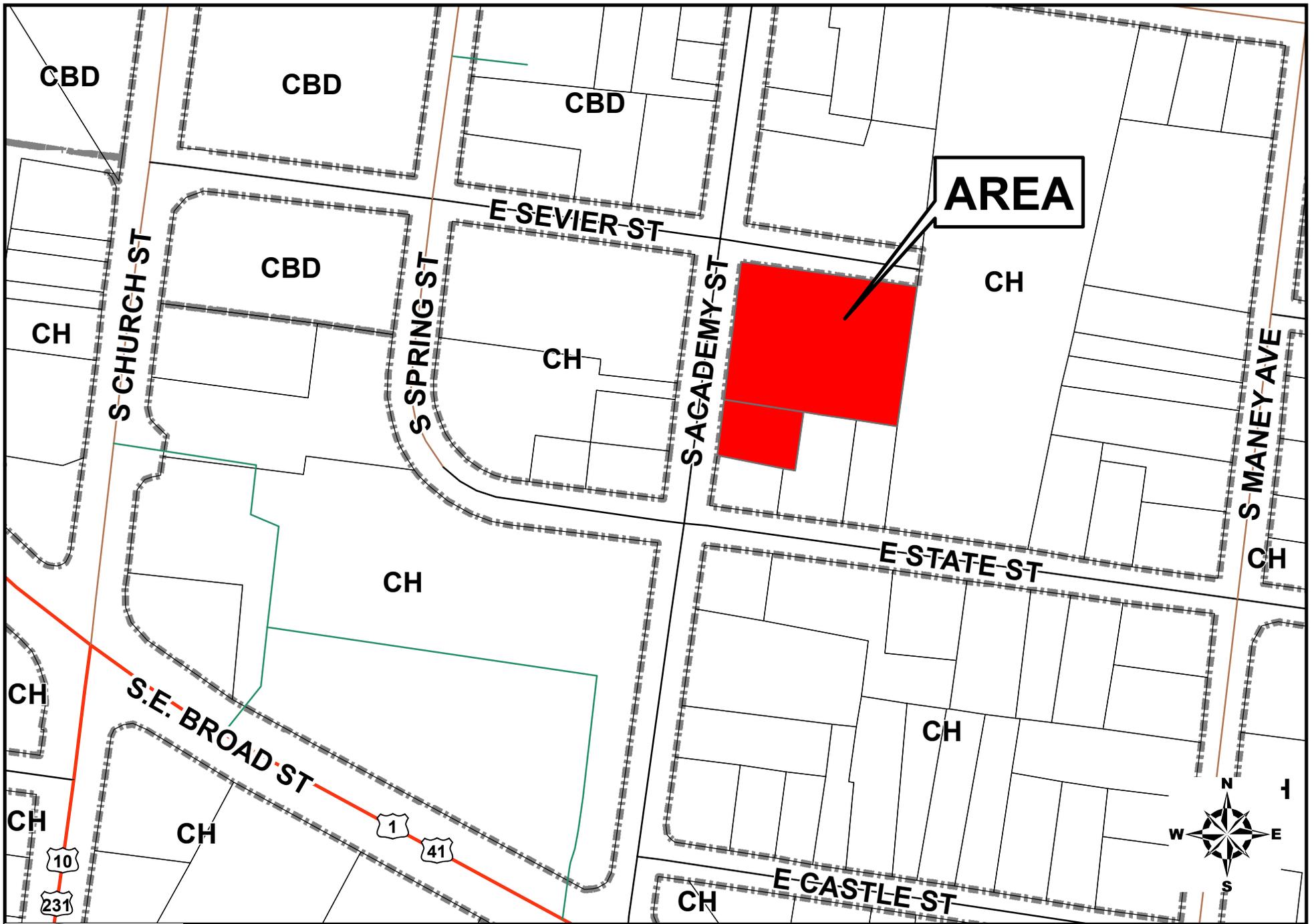


Compatible existing zoning districts are CBD (Central Business District), MU (Mixed-Use District), and PUD (Planned Unit District). Examples of development types in the Downtown Mixed-Use Central Business District land use character include “an active mix and concentration of uses and public gathering/event

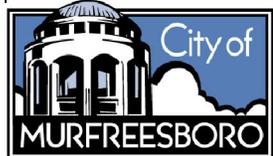
spaces in a main street setting.” Recommended allowable uses included “multi-family residential uses, entertainment, restaurants, department stores, and other retail, general and professional offices, and hotels.” This land use character is also characterized by “streets and other public spaces framed by buildings with zero/minimal front setbacks, creating architectural enclosure.” It is Staff’s opinion that the proposed zoning request is consistent with the recommendation of the future land use map.

### **Action Needed**

A copy of the pattern book has been included in the agenda materials. The applicant will be available at the Planning Commission meeting to make a presentation regarding the proposed rezoning and to answer questions. The Planning Commission will need to conduct a public hearing, after which it will need to discuss this matter and then formulate a recommendation for City Council.



**Zoning Request for Property Along South Academy Street  
CH to PUD (Greenhouse Ministries PUD)**



T E N N E S S E E



Planning Department  
City of Murfreesboro  
111 W. Vine St.  
Murfreesboro, TN 37130  
[www.murfreesborotn.gov](http://www.murfreesborotn.gov)

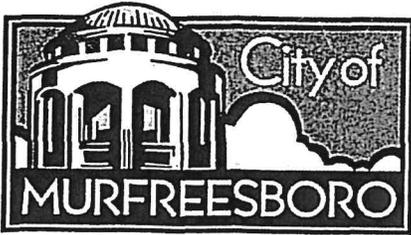




**Zoning Request for Property Along South Academy Street  
CH to PUD (Greenhouse Ministries PUD)**

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Zoning & Rezoning Applications – other than rezoning to planned unit development	\$700.00
Zoning & Rezoning Applications – Planned Unit Development, initial or amended	\$950.00

**Procedure for applicant:**

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1. A completed rezoning application (below).
2. A plot plan, property tax map, survey, and/or a legal description of the property proposed for rezoning. (Please attach to application.)
3. A non-refundable application fee (prices listed above).

For assistance or questions, please contact a planner at 615-893-6441.

**To be completed by applicant:**

APPLICANT: Greenhouse Ministries, Inc.

Address: 309 South Spring Street City/State/Zip: Murfreesboro, TN 37130

Phone: 615-494-0499 E-mail address: bill.rawnsley@greenhousemin.org

PROPERTY OWNER: Greenhouse Ministries, Inc.

Street Address or property description: 315 and 319 South Academy Street, Murfreesboro, TN 37130

and/or Tax map #: 91M Group: P Parcel (s): 24.00 and 25.00

Existing zoning classification: CH with CCO Overlay

Proposed zoning classification: PUD Acreage: 1.11 Acres

Contact name & phone number for publication and notifications to the public (if different from the applicant): Rob Molchan - SEC, Inc. 615-890-7901

E-mail: rmolchan@sec-civil.com

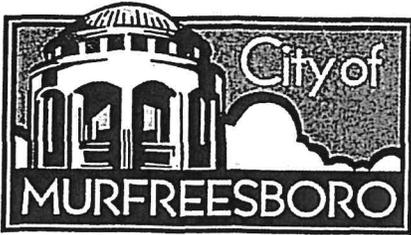
APPLICANT'S SIGNATURE (required): \_\_\_\_\_

DATE: \_\_\_\_\_

\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: \_\_\_\_\_ MPC YR.: \_\_\_\_\_ MPC #: 2019-446

Amount paid: \$950.00 Receipt #: 293633



T E N N E S S E E

Creating a better quality of life

City of Murfreesboro  
Planning and Engineering Department  
111 W. Vine Street, P.O. Box 1139  
Murfreesboro, TN 37133-1139  
(615) 893-6441 Fax (615) 849-2606  
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E-mail: rmolchan@sec-civil.com

APPLICANT'S SIGNATURE (required): \_\_\_\_\_

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\*\*\*\*\*For Office Use Only\*\*\*\*\*

Date received: \_\_\_\_\_ MPC YR.: \_\_\_\_\_ MPC #: 2019-446

Amount paid: \$950.00 Receipt #: 293633



# GREENHOUSE MINISTRIES PUD

A REQUEST FOR REZONING TO A PLANNED UNIT DISTRICT (PUD)  
Murfreesboro, Tennessee

**Initial Submittal**

December 12, 2019

**Resubmittal**

January 3, 2020 for January 14, 2020  
Planning Commission Workshop Meeting

**Resubmittal**

January 24, 2020 for February 5, 2020  
Planning Commission Public Hearing



# SEC, Inc.

Company Name: SEC, Inc.  
Profession: Planning.Engineering.Landscape Architecture  
Attn: Rob Molchan / Matt Taylor  
Phone: (615) 890-7901  
Email: rmolchan@sec-civil.com/mtaylor@sec-civil.com  
Web: www.sec-civil.com

*850 Middle Tennessee Blvd.  
Murfreesboro, Tennessee 37129*



Company Name: Greenhouse Ministries  
Profession: Owner  
Attn: Bill Rawnsley  
Phone: (615) 494-0499  
Email: bill.rawnsley@greenhousemin.org  
Web: <https://www.greenhousemin.org/>

*309 S. Spring Street  
Murfreesboro, Tennessee 37130*



Company Name: Quirk Designs  
Profession: Architect  
Attn: Preston Quirk  
Phone: (615) 269-9248  
Email: [quirkdesigns@comcast.net](mailto:quirkdesigns@comcast.net)  
Web: [quirkdesignstn.com](http://quirkdesignstn.com)

*2931 Berry Hill Drive, Suite 200  
Nashville, Tennessee 37204*



Company Name: Dow Smith  
Profession: Contractor  
Attn: Joey Rhyne  
Phone: (615) 355-1386  
Email: [joey.rhyne@dowsmith.com](mailto:joey.rhyne@dowsmith.com)  
Web: [dowsmith.com](http://dowsmith.com)

*205 Sam Hager Street,  
Smyrna, Tennessee, 37167*

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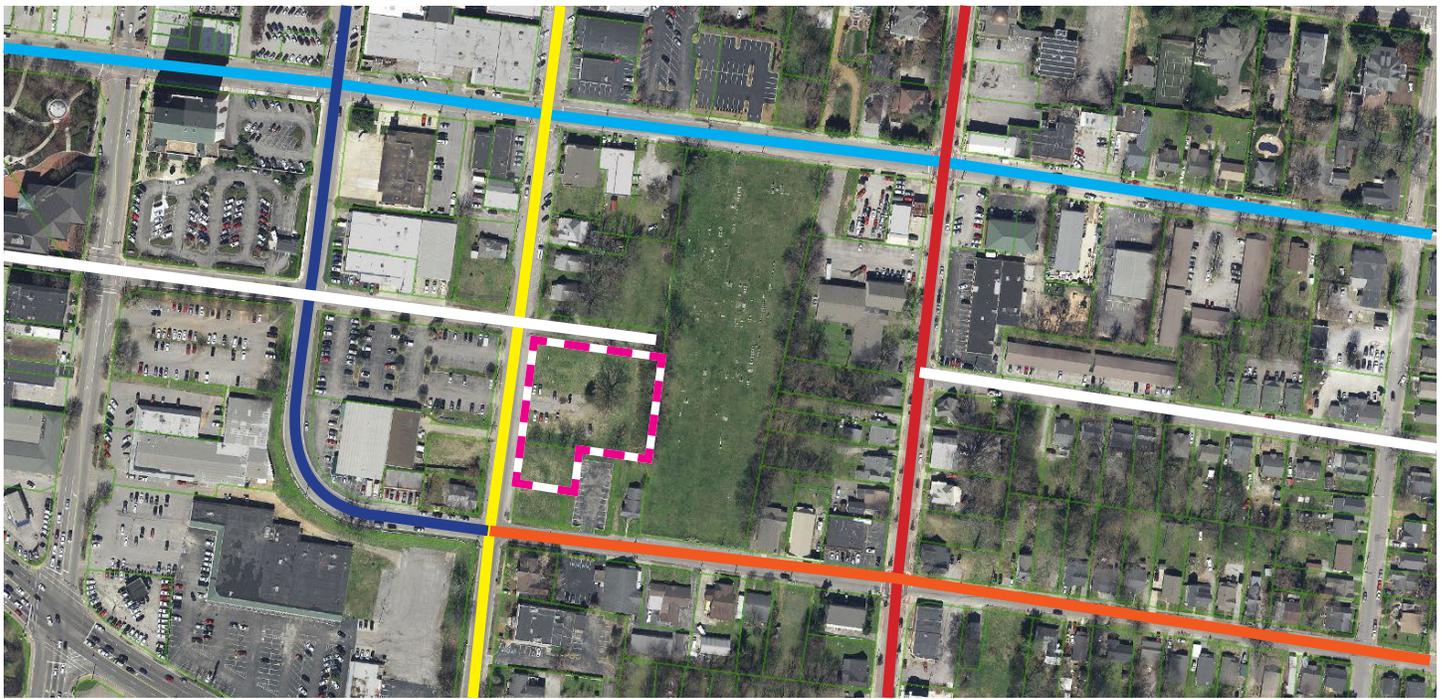
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AERIAL PHOTOGRAPH

Not To Scale 

- |  |                      |  |                     |
|--|----------------------|--|---------------------|
|   | East Vine Street     |   | East State Street   |
|   | South Academy Street |   | South Spring Street |
|  | South Maney Avenue   |  | East Sevier Street  |



Greenhouse Ministries respectfully requests rezoning of the Greenhouse Ministries properties at 315 and 319 South Academy Street from Commercial Highway to Planned Unit Development, to create the Green House Ministries PUD. The property is located at the southeast corner of the intersection of East Sevier Street and South Academy Street. The site is identified as Parcels 24 and 25 of Tax Map 91M, and is approximately 1.11 acres.

Greenhouse Ministries has been voluntarily servicing the Murfreesboro Community since 1999. Greenhouse Ministries, through local volunteers, provides relational ministries that are designed to inspire, give hope, and change lives. Their list of services range from basic needs, such as shelter, food, and clothing, to teaching clients qualifications that will help them acquire and maintain jobs within the current job market.

The request for rezoning to PUD is to create a two story mixed-use facility that will meet a variety of needs for both Greenhouse Ministries and their clients. The building will house an office for daily operations, classrooms, dining and kitchen facilities, wellness program living quarters, and counseling/consultation rooms. The Proposed Residential floor will have an on-site manager living in one of the units. Units will be 1 bedroom units on 18-24 month leases. Each lessee will be required to have employment. Each unit will have its own bathroom, kitchenette with a two burner stove, sleeping quarters, and living room area. The second floor will also have a community laundry area. The exterior of the two-story building will be constructed of all masonry products. The base of the building will be anchored with landscaping to enhance the building's character to the streetscape. An outdoor seating area on the east side of the building will provide an outdoor space for clients and employees to enjoy. The main entrance into the site will have masonry signage anchored with landscaping and illuminated with up-lighting. This addition will allow Greenhouse Ministry to expand and better serve the Murfreesboro Community.



2040 MAJOR TRANSPORTATION PLAN

Not To Scale 

- |  |   |
|--|---|
|  East Vine Street     |  East State Street   |
|  South Academy Street |  South Spring Street |
|  South Maney Avenue  |  East Sevier Street |



The property will have access to the existing public rights-of-way along South Academy Street and East Sevier Street through two entrances. The project plans to enhance the overall streetscape of South Academy Street by adding parallel parking, curb and gutter, street lighting, and street trees in accordance with the Murfreesboro Downtown Streetscape Master Plan. No roads within the vicinity of the Greenhouse Ministry P.U.D. are slated for improvement as per the 2040 Major Transportation Plan.

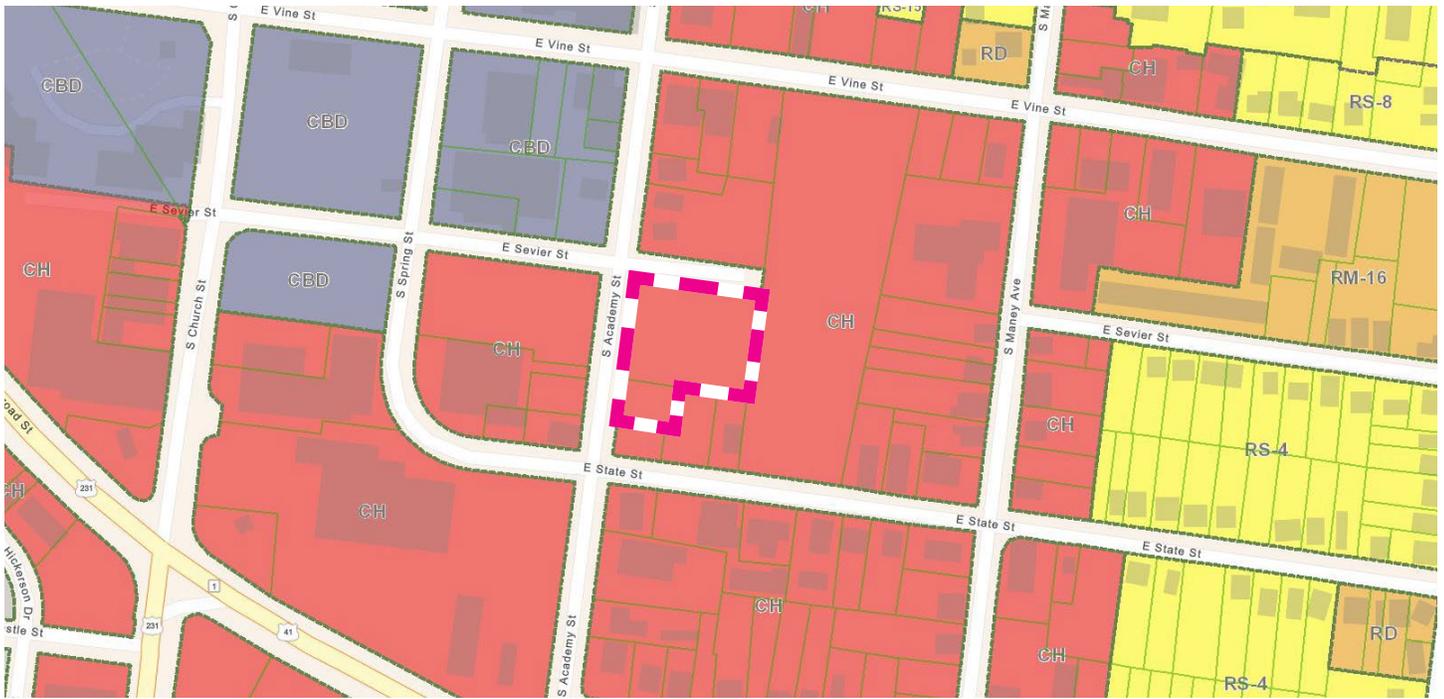


**SUBDIVISION AND SURROUNDING PROPERTIES MAP**

Not To Scale 

 Wilson Virginia Property	 McClain Thomas Property	 Thomas Batey Property	 Lilian House Property
 Scales and Sons Funeral Home	 Barrett Hazel Property	 City Center LTD	 Anne Batey Property
 H & R Backhoe and Plumbing	 Batey Thomas Revocable Living Trust	 Old City Cemetery	

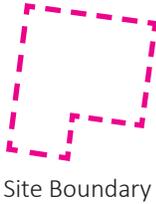
The Greenhouse Ministries PUD is surrounded by a mixture properties. North of the proposed site are single-family detached residential lots with 1-1.5 story structures that were originally residential but have been converted to small businesses or are vacant. Directly west across South Academy Street is a parking lot parcel, and a one-story building that is currently the home of Greenhouse Ministries. A vacant parcel and one-story residential structure are located across the street as well. Directly south of the property, is a parking lot for the Scales and Sons Funeral Home along with residential property. Scales and Sons Funeral Home is located on the south side of East State Street. The Old City Cemetery is located to the east of this site.



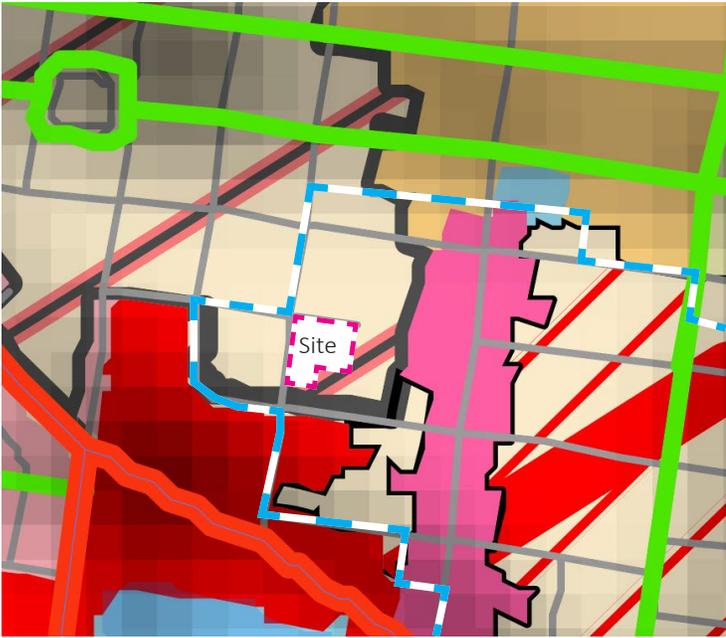
ZONING MAP AND 2035 FUTURE LAND USE PLAN

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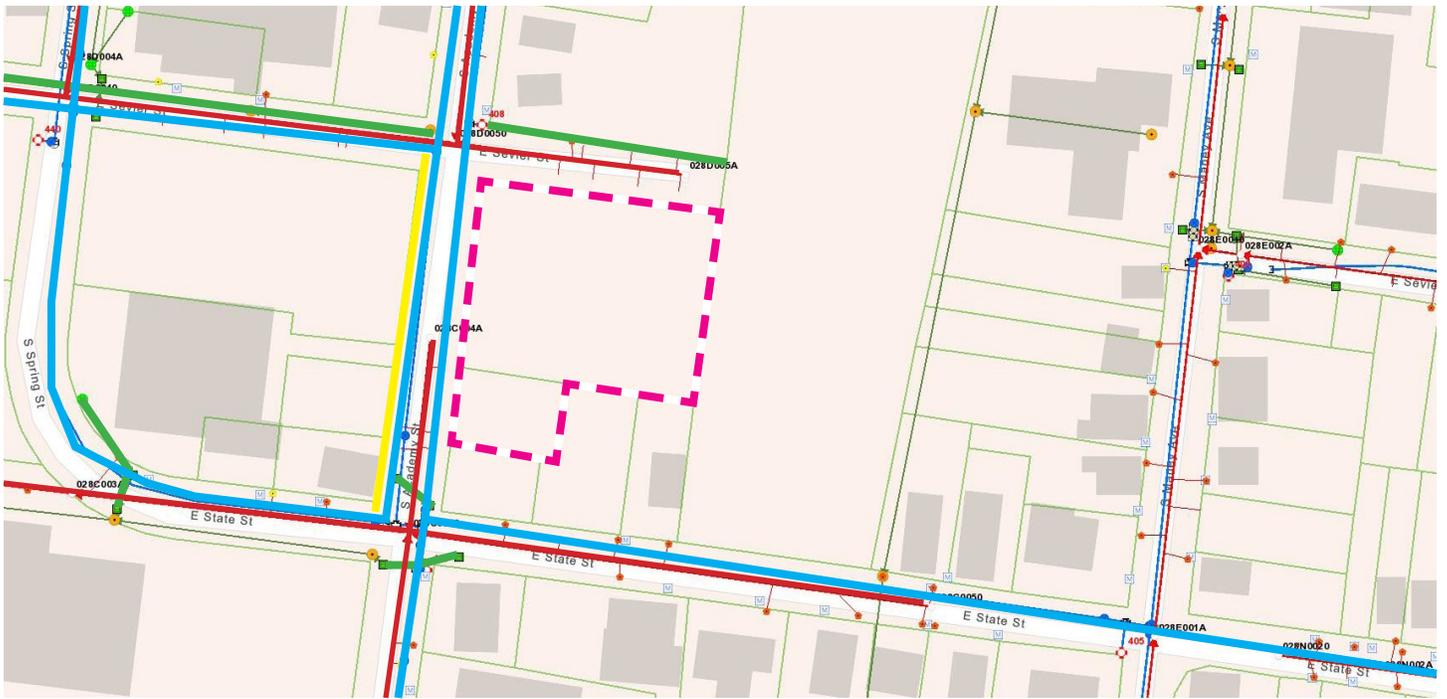
- RS-4 Residential Single-Family (RS-4)
- RS-8 Residential Single-Family (RS-8)
- RS-15 Residential Single-Family (RS-16)
- RM-16 Residential Multi-Family (RM-16)
- CH Commercial Highway (CH)
- CBD Central Business District (CBD)



The surrounding area consists of primarily Commercial Highway (CH) zoned parcels. The block to the north-west of the site is zoned Central Business District (CBD).



**2035 Future Land Use Plan**  
 The Greenhouse Ministry PUD is within the City Core Overlay (CCO). The purpose of the CCO is to promote infill development that is compatible with existing development patterns and promoting consistency for new standards while reinvesting in the Downtown Murfreesboro area. This proposed PUD followed this purpose and will be consistent with the surrounding area while providing elevated standards by investing in the downtown area and its community. This site is also suggested to be a part of the Central Business District (CBD) by the Murfreesboro 2035 Land Use Plan. The character of suggested land use is 3-10 story buildings with little to no setbacks from the property lines, and surrounded by an expansive pedestrian realm with wide sidewalks, outdoor seating, and dining. Parking is suggested to be built as structured. The character of this site will resemble primarily the CCO standards.



UTILITY MAP

Not To Scale 

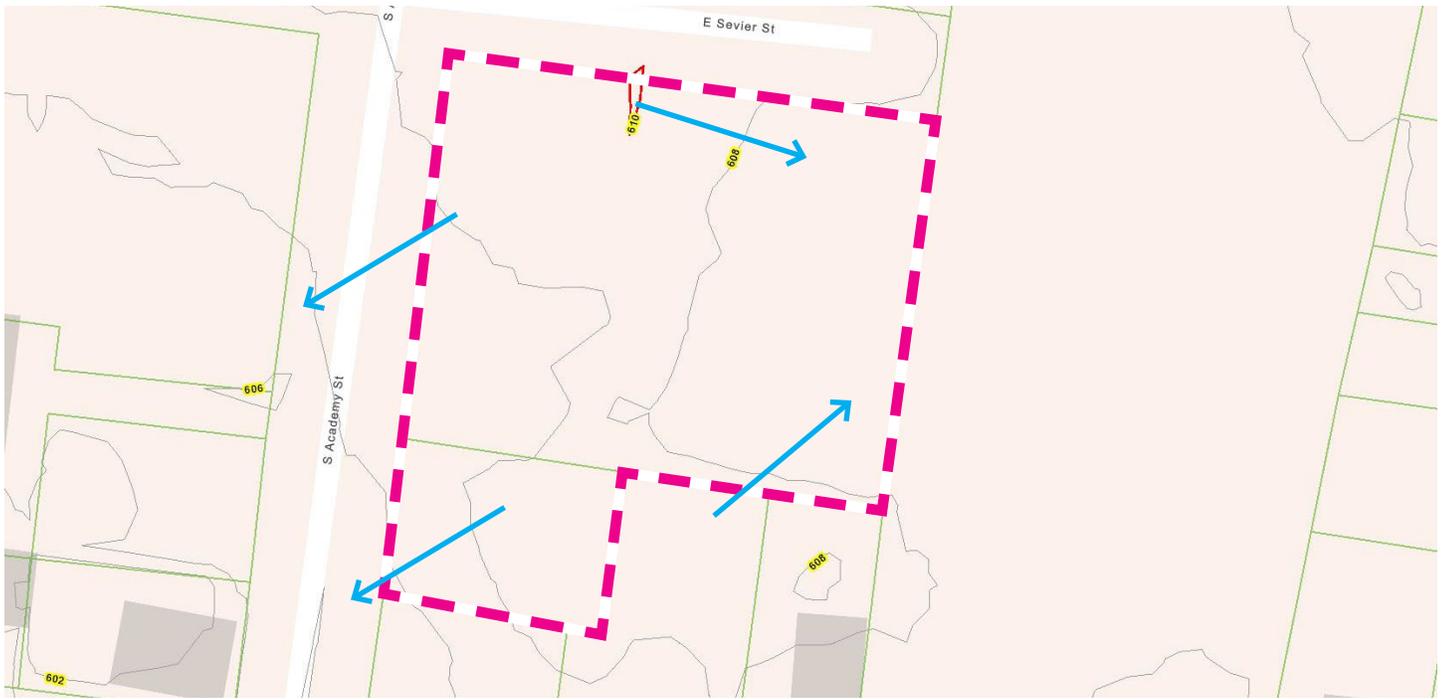


Water service will be provided by Murfreesboro Water Resource Department. There is an existing 6" and 16" ductile iron water line along South Academy Street. The developer will be responsible for extending the waterline into the site for domestic and fire water service.

Sanitary sewer service will be provided by the Murfreesboro Water Resource Department. Sanitary sewer service can connect to an existing 8 inch gravity sewer line within the R.O.W. of East Sevier Street or South Academy Street. The developer will be responsible for extending the sanitary sewer service into the site.



Electric service will be provided by the Murfreesboro Electric Department. Service will be extended from the west side of South Academy Street. The developer will be responsible for extending the electric lines into the site, and all on-site electric will be underground.



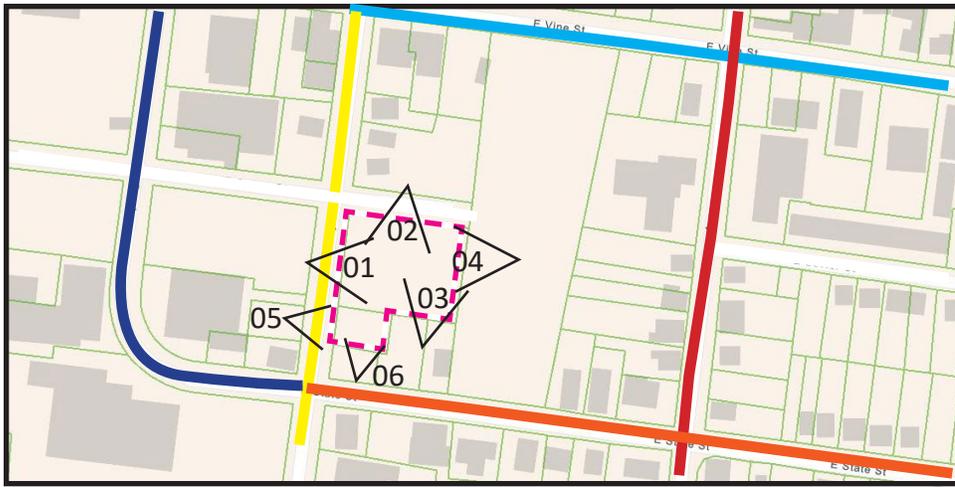
**HYDROLOGY AND TOPOGRAPHY**

Not To Scale 

-  WATER FLOW DIRECTION
-  INTERMEDIATE CONTOURS
-  INDEX CONTOURS



The site is relatively flat with a very small ridge in the center. Currently water primarily flows to the west and east boundaries of the site. From the east boundary water sheet flows into the Old City Cemetery, and from the west side the water flows into the curb and gutter system of South Academy Street before entering the City of Murfreesboro stormwater system. No portion of the site is within a floodplain as per FEMA Parcel: 47149C0260H eff. 1/5/2007



-  East Vine Street
-  East Sevier Street
-  South Academy Street
-  South Maney Avenue
-  South Spring Street
-  East State Street
-  Site

PHOTO DIRECTION MAP

Not To Scale 



View of Site from South Academy Street



View of Site from East Sevier Street



View of Site from east corner of Scale parking lot



View of Site from Old City Cemetery



View of Site's southern parcel from South Academy St.



View of Site's southern parcel from northern parcel

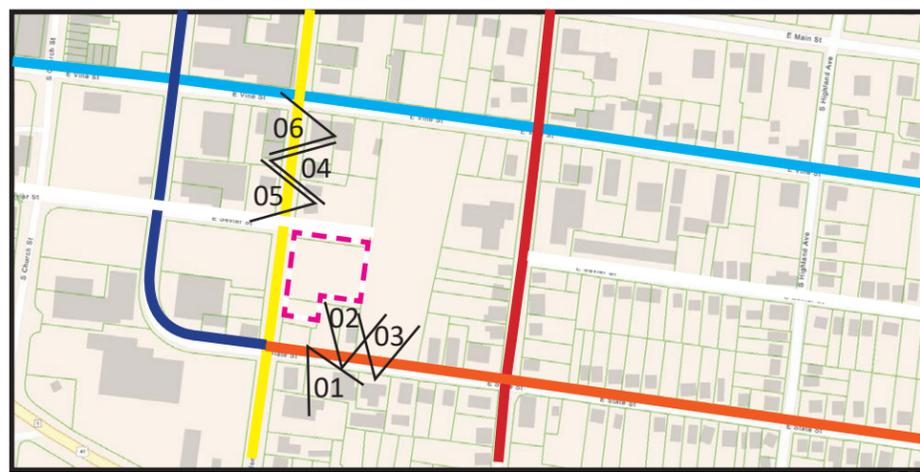


PHOTO DIRECTION MAP

Not To Scale

- East Vine Street
- East Sevier Street
- South Academy Street
- South Maney Avenue
- South Spring Street
- East State Street
- Site



View of Scale and Son's Funeral Home



View of site from East Sevier Street



View of site from east corner of Scale parking lot



View of site from Old City Cemetery



View of site's southern parcel from South Academy St.



View of site's southern parcel from northern parcel



PHOTO DIRECTION MAP

Not To Scale

- East Vine Street
- East Sevier Street
- South Academy Street
- South Maney Avenue
- South Spring Street
- East State Street
- Site



View North from South Academy St. & East State St. intersection



View East from South Academy St. & East State St. intersection



View North from South Academy St. & East Sevier St. intersection



View East from South Academy St. & East Sevier St. intersection



View West from South Academy St. & East Sevier St. intersection



View West from South Academy St. & East State St. intersection

**Land Use:**

Total Land Area: ±1.11 Acres  
 Total Open Space: ±0.28 Acres (25.2%)

Parking Required:  
 1 space / 300 sf office x 8,700 sf office = 29 Spaces  
 17-1BR Units x 1 Space/Unit = 17 Spaces  
 1-2BR Unit x 1 Space/Unit = 1 Spaces  
 Total Parking Required = 47 Spaces

Parking Provided: 60 spaces (+3 HC Spaces)  
 Total Parking Provided = 63 spaces (+16 Spaces)

- Open Space
- Drive Aisle
- Sidewalk
- Existing Trees
- Proposed Building

**CPTED Security Standards:**

- 180 degree “peepholes” in all doors.
- One inch deadbolts on all exterior doors.
- Three inch screws in strike plates and at least on in each door hinge.
- Adequate security lighting in working order.
- Clearly visible address/building number on each unit.
- Properly trimmed landscaping.
- Lower tree branches must be trimmed to a minimum six (6) feet from the ground.
- Bushes and plants near buildings, windows, and walkways must not exceed three (3) feet in height or impair the resident’s views outside.
- Bushes, plants, and trees within twelve (12) feet of walkways, driveways, gates, doors, receptacle areas, parking lots must be maintained in order to not impair view of pedestrians using these areas.
- Perimeter landscaping must not provide an area of concealment.
- Landscaping shall not interfere with lighting.



SEC Project #12110 Murfreesboro, Tennessee



\* The proposed location and quantity of landscape plantings, on-site lighting, streetscape lighting depicted on these conceptual site plans throughout the booklet are strictly conceptual. Final locations and quantities will meet city standards as outlined in the Zoning Ordinance and Design Guidelines upon submittal and approval of the final site, landscape and photometric plans.



**Development Standards:**

- The building will be a maximum of 26,000 square feet.
- The entrance off of South Academy Street will have a masonry entrance sign. The sign will be constructed of masonry materials and anchored by landscaping. An optional second sign may be placed at the South Sevier Street entrance. All signage shall be in accordance with the City of Murfreesboro’s Sign Ordinance.
- A six (6) foot high opaque PVC fence will be build along the southern boundary of the site.
- All mechanical equipment (i.e. hvac and transformers) to be screened
- All on-site utilities will be underground
- Solid waste will be handled via a dumpster, and serviced by a private hauler.
- Any solid waste enclosures will be constructed of masonry materials consistent with building architecture and be at least 8 feet tall with opaque gates and enhanced with landscaping
- Prior to construction plan review, a complete and thorough design of the stormwater management system and facilities will be completed
- Parking will comply with the City of Murfreesboro requirements
- HVAC units will be located at the rear of the building
- The project will utilize the CPTED guidelines during the site plan design and review process, with added design consideration to the lighting design for the site.
- A site lighting plan will be provided at the site plan review, and all on-site and off-site lighting shall be in accordance with the City of Murfreesboro’s Zoning Ordinance, Design Guidelines and CPTED.

**Allowable Uses:**

- Multi-Family Dwellings
- Offices
- Non-Profit including
  - Meeting Areas
  - Classrooms
  - Small M.O.B.
  - Flex Space
  - Dining Space



Example of Dumpster Enclosure



Example of Decorative Street Light



Example of Parking Lot Light



Example of Multiple Display Entrance Sign



Example of PVC Privacy Fence

## **Architectural Characteristics:**

The building architecture has been designed to be functional for the intended uses, while maintaining a neighborhood commercial character to blend with surrounding residential and public/institutional developments.

### **Building Standards:**

- Building heights shall not exceed 36 feet in height and 2 stories
- Pitched Roof Construction
- Buildings will have a well defined architectural base by use of different materials, colors or change in pattern or a combination of these techniques.
- The main entrances are to be well defined and easily recognizable by the use of; raised roof lines, canopies, glazing, changes in materials, changes in colors, and/or changes in building planes.
- Masonry materials (brick, stone, and cementitious siding) will be the primary building material.

### **Building Setback Standards**

Minimum Building Setbacks Internal to the Site:

South Academy Street:	5-feet
South Sevier Street:	35-feet
Side:	10-feet
Rear:	20-feet

### **Building Elevation Materials:**

#### **Primary**

- Brick or painted brick
- Cement fiber board siding

#### **Secondary/Accent**

- Integrally Colored Split Face Block (To be used as architectural base)
- Vinyl in trim and soffit areas only.
- Final building design and architectural elevation materials/colors will be reviewed at the time of a site plan submittal by Murfreesboro planning staff, and approved by the Planning Commission.

#### **Roof**

- Fiberglass shingles

#### **Awnings**

- Standing Seam Metal Roof

\* Proposed building material colors will consist of an earth tone palette

### **Building Materials Minimums:**

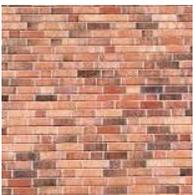
Front Elevation (Facing South Academy Street):

Rear Elevation (Facing Old City Cemetery):

Side Elevations (Facing South Sevier Street):

Side Elevations (Facing vacant lot to south):

Masonry Materials (i.e. Brick, Stone, Split-Face Block)



Example of Brick  
(Different colors will be allowed)



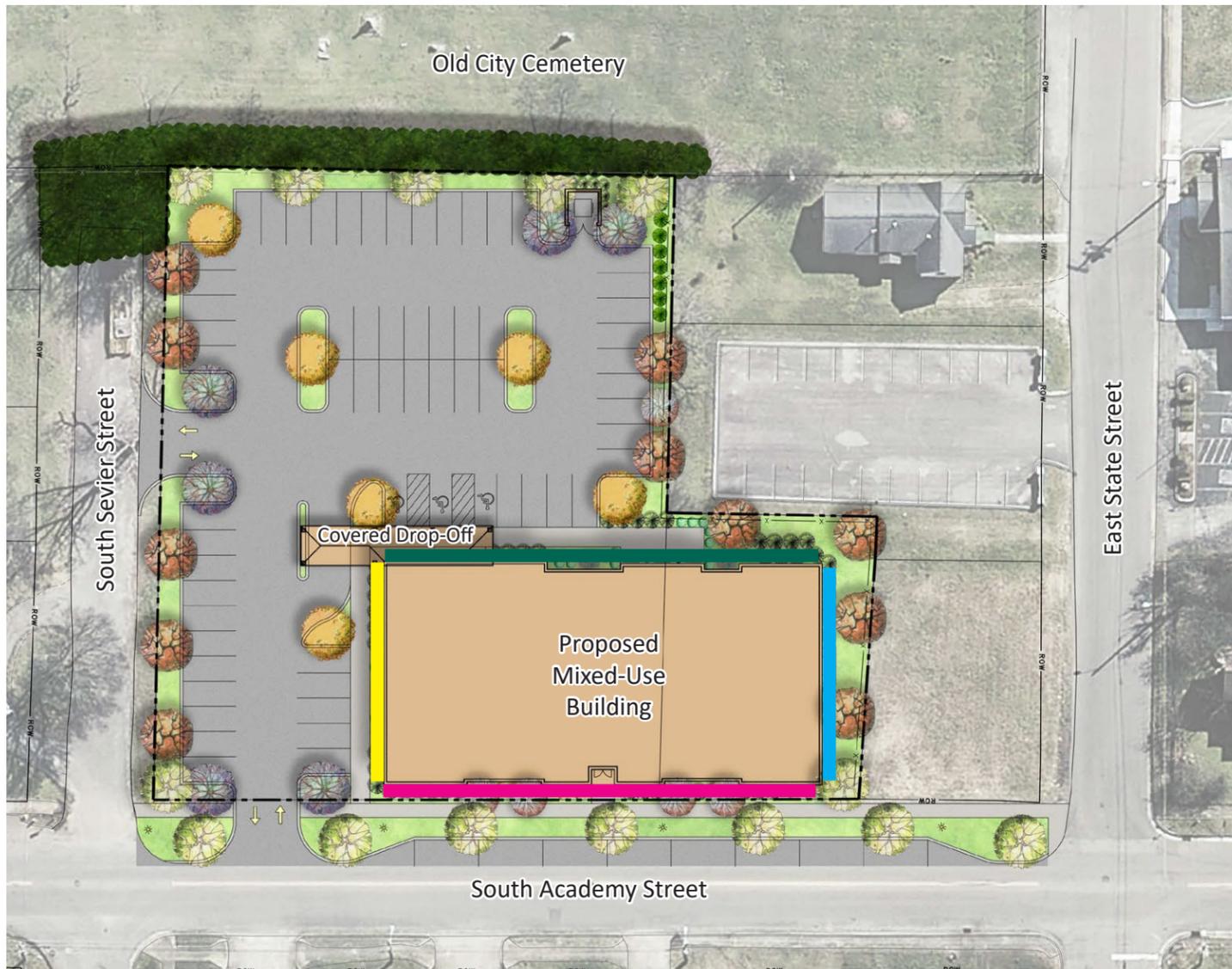
Example of Split Face Block  
(Different colors will be allowed)



Example of Fiber Cement Board  
(Different colors will be allowed)



Example of Standing Seam Metal Roof  
(Different colors will be allowed)



Not to Scale



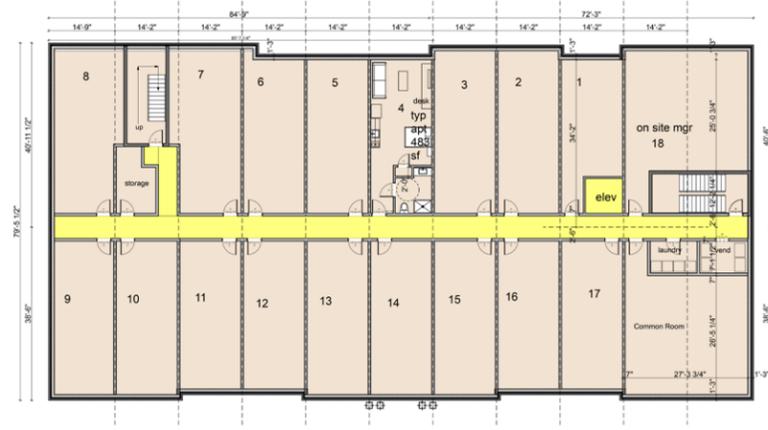
NORTHERN ELEVATION AS SEEN FROM EAST SEVIER STREET



SOUTHERN ELEVATION AS SEEN FROM EAST STATE STREET



FLOOR PLAN - FIRST FLOOR



FLOOR PLAN - SECOND FLOOR



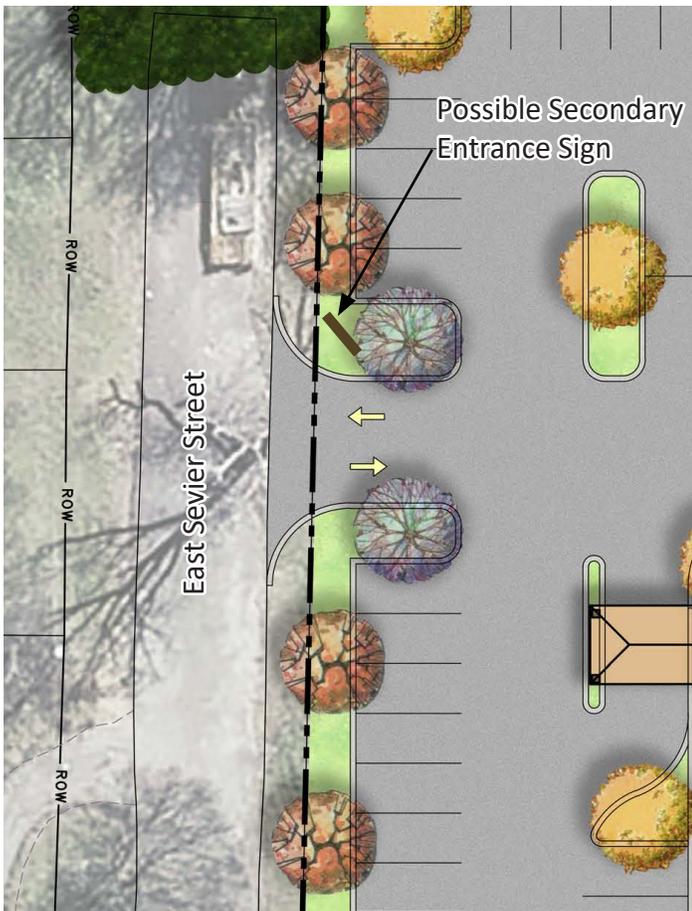
FRONT ELEVATION AS SEEN FROM SOUTH ACADEMY STREET

SCALE: 1/16" = 1'



REAR ELEVATION

SCALE: 1/16" = 1'

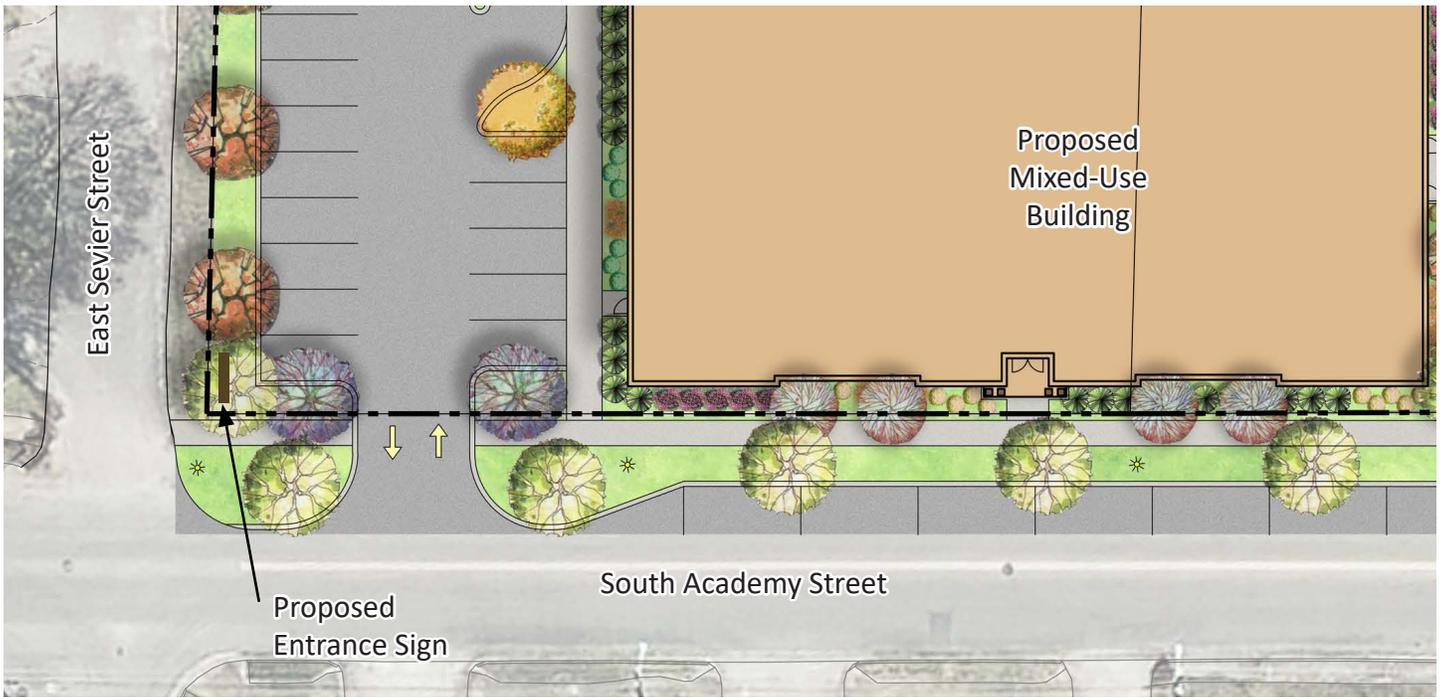


Pursuant to the City of Murfreesboro’s Major Transportation Plan (MTP), none of the roadways adjoining this development are slated for improvements. South Academy Street is a local road that will be the most affected by this development. It is built as a two lane road with a 60 ft. R.O.W.

As stated above, the primary means of ingress/egress from this site will be onto South Academy Street. The entrance is proposed to incorporate two travel lanes for circulation into and out of the development onto South Academy Street. The master plan has included a secondary means of ingress/egress from the development onto East Sevier Street. The illustration on the left shows the entrance at the northern property line of the site. This will provide a secondary mean of ingress and egress into the site. South Academy Street will have a development entrance sign anchored with landscaping and an option to add an additional sign at the South Sevier Street entrance.

All parking within the site will follow the City of Murfreesboro’s parking standards. South Academy Street will be within compliance of the Downtown Streetscape plan and shall include parking, street trees, and decorative lighting. Parallel parking will be provided on South Academy Street to help create the downtown urban feel associated with the downtown area of Murfreesboro.

Not to Scale



Not to Scale





Not to Scale



### LANDSCAPE MATERIALS SAMPLES: DECIDUOUS TREES



(A)



(B)

- (A) *Ulmus parvifolia* 'Emer II' / 'Emer II' Alle Elm
- (B) *Zeltkova serrata* 'Green Vase' / Sawleaf Zeltkova
- (C) *Buxus x 'Green Mountain'* / Boxwood
- (D) *Prunus laurocerasus* 'Otto Luyken' / Luykens Laurel
- (E) *Lagerstroemia indica* 'GAMAD VI' / Berry Dazzle Crape Myrtle
- (F) *Miscanthus sinensis* 'Adagio' / Adagio Eulalia Grass
- (G) *Liriope spicata* 'Silver Dragon' / Creeping Lily Turf
- (H) *Setcreasea pallida* 'Purple Heart' / Purple Heart Setcreasea
- (I) *Iberis sempervirens* 'Little Gem' / Little Gem Candytuft
- (J) *Liriope muscari* 'Variegata' / Variegated Lily Turf
- (K) *Magnolia grandiflora* 'D.D. Blanchard' TM / Southern Magnolia
- (L) *Thuja standishii x plicata* 'Green Giant' / Green Giant Arborvitae
- (M) *Cryptomeria Japonica* 'Radicans' / Japanese Cedar
- (N) *Viburnum x pragense* / Prague Viburnum
- (O) *Prunus laurocerasus* 'Schipkaensis' / Schipka Laurel

### LANDSCAPE MATERIAL SAMPLES: EVERGREEN/DECIDUOUS SHRUBS AND GRASSES



(C)



(D)



(E)



(F)

### LANDSCAPE MATERIAL SAMPLES: GROUND COVER



(G)



(H)



(I)



(J)

## **LANDSCAPE BUFFER: EVERGREEN TREES**



(K)



(L)



(M)

## **LANDSCAPE BUFFER: EVERGREEN TREES AND SHRUBS**



(N)



(O)

The site has been designed with ample landscaping to provide not only an aesthetically pleasing experience for the residents, clients, and employees, but to aid in mitigating impacts to the surrounding areas. To ensure these characteristics, some standards are outlined below as well as a sample palette provided.

### **Landscaping Characteristics:**

- A minimum 3 feet of landscape area between parking and all property lines.
- Landscaping shall be required at base of building unless specified otherwise in this book.
- No landscaping at base of building will be required within 5 feet of an entry/exit point of the building to open visibility provide to safety.
- No landscape will be require around base of building where outdoor seating areas or plazas are designed.
- Public rights-of-way screened from parking by use of landscaping.
- The southern boundary of the site will include a 6 Ft. tall opaque PVC fence.
- All above ground utilities and mechanical equipment screened with landscaping and/or walls.
- Solid waste enclosure screened with a masonry wall and enhanced with landscaping.
- The fronts and sides at the base of buildings will have at least 3 foot wide landscape strip.
- Landscaping will be in conformance with the City of Murfreesboro's landscaping ordinance.
- Street trees will be planted along South Academy Street where applicable, trees may be constrained due to utility and decorative streetlight requirements.
- A 10 Ft. wide Type 'A' Buffer shall be planted at the southeast corner of the property along the residential property.

1.) A map showing available utilities, easements, roadways, rail lines and public right-of-way crossing and adjacent to the subject property.

Response: An exhibit is given on Page 4-9 along with descriptions of each.

2.) A graphic rendering of the existing conditions and/or aerial photograph(s) showing the existing conditions and depicting all significant natural topographical and physical features of the subject property; location and extent of water courses, wetlands, floodways, and floodplains on or within one hundred (100) feet of the subject property; existing drainage patterns; location and extent of tree cover; and community greenways and bicycle paths and routes in proximity to the subject property.

Response: Exhibits are shown on Page 9 that shows the existing contours and drainage patterns along with an aerial photograph of the area. No portion of the property is subject to floodplains or floodways, and the site ultimately drains to Murfreesboro Spring.

3.) A plot plan, aerial photograph, or combination thereof depicting the subject and adjoining properties including the location of structures on-site and within two hundred (200) feet of the subject property and the identification of the use thereof.

Response: Exhibits and photographs on Page 4 give the location of existing structures on the subject property and the surrounding properties. An exhibit on Page 7 gives the zoning of those same properties.

4.) A drawing defining the location and area to be developed for buildings and parking; standards for pedestrian and vehicular circulation; the proposed points of ingress and egress to the development; the provision of spaces for loading; proposed screening to be made in relation to abutting land uses and zoning districts; and the extent of proposed landscaping, planting and other treatment adjacent to surrounding property

Response: Page 12-19 lists standards and exhibits showing the concept plan which shows each of these items.

5.) A circulation diagram indicating the proposed principal movement of vehicles, bicycles, goods, and pedestrians within the development to and from existing thoroughfares.

Response: Page 12 lists standards and exhibits showing the concept plan which shows each of these items.

6.) A development schedule indicating the stages in which the project will be built and when construction of the project can be expected to begin. If the planned development is proposed to be constructed in stages or units during a period extending beyond a single construction season, a development schedule indicating: (aa) the approximate date when construction of the project can be expected to begin; (bb) the order in which the phases of the project will be built; and, (cc) the minimum area and the approximate location of common space and public improvements that will be required at each phase.

Response: This project is anticipated to be developed and built in one phase. Construction is expected to begin 90-120 days after zoning approval.

7.) A written statement generally describing the relationship of the proposed planned development to the current policies and plans of the city and how the proposed planned development is to be designed, arranged and operated in order to permit the development and use of neighboring property in accordance with the applicable regulations of this article.

Response: The property is currently zoned CH. The surrounding area has a mixture of residential and commercial properties. The concept plan and development standards combined with the architectural requirements shown within this booklet align and closely mimic the type of developments envisioned for the surrounding neighborhoods and will progress the development in this area.

8.) A statement setting forth in detail either (1) the exceptions which are required from the zoning and subdivision regulations otherwise applicable to the property to permit the development of the proposed planned development or (2) the bulk, use, and/or other regulations under which the planned development is proposed.

SETBACKS	CH W/ CCO	PUD	DIFFERENCE
Front Setback	5.0'	5.0'	0.0'
Side Setback	0.0'	0.0'	0.0'
Rear Setback	20.0'	20.0'	0.0'
Minimum Lot Size	8,000 Sf.	8,000 Sf.	0.0 Sf.
Maximum Building Height	2-Stories	2-Stories	0.0

9.) A tabulation of the maximum floor area proposed to be constructed, the F.A.R. (Floor Area Ratio), the L.S.R. (Livability Space Ratio), and the O.S.R. (Open Space Ratio).

TOTAL SITE AREA	48,345 s.f.
TOTAL MAXIMUM FLOOR AREA	26,000 s.f.
TOTAL LOT AREA	NA s.f.
TOTAL BUILDING COVERAGE	12,500 s.f.
TOTAL DRIVE/ PARKING AREA	23,078 s.f.
TOTAL RIGHT-OF-WAY	NA s.f.
TOTAL LIVABLE SPACE	25,267 s.f.
TOTAL OPEN SPACE	9,761 s.f.
<b>FLOOR AREA RATIO (F.A.R.)</b>	0.54
<b>LIVABILITY SPACE RATIO (L.S.R.)</b>	0.26
<b>OPEN SPACE RATIO (O.S.R.)</b>	0.74

10.) The nature and extent of any overlay zone as described in Section 24 of this article and any special flood hazard area as described in Section 34 of this article

Response: This property is not in the Gateway Design Overlay District , Airport Overlay District (AOD), Historic District (H-1), or Planned Signage Overlay District (PS). This property is within the City Core Overlay District (CCO). No portion of this property lies within a floodplain or floodway, according to the current FEMA Map Panel 47149C0260H Eff. Date 01/05/2007.

11.) The location and proposed improvements of any street depicted on the Murfreesboro Major Transportation Plan as adopted and as it may be amended from time to time

Response: Page 12 depicts the proposed streetscape improvements to South Academy Street along with written statement on page 17 describing the streetscape improvements.

12.) The name, address, telephone number, and facsimile number of the applicant and any professional engineer, architect, or land planner retained by the applicant to assist in the preparation of the planned development plans. A primary representative shall be designated.

Response: The primary representative is Matt Taylor of SEC, Inc. developer/applicant is Greenhouse Ministries, Inc. contact info for both is provided on cover.

13.) Architectural renderings, architectural plans or photographs of proposed structures with sufficient clarity to convey the appearance of proposed structures. The plan shall include a written description of proposed exterior building materials including the siding and roof materials, porches, and decks. And an exterior lighting plan.

Response: Pages 14-15 depicts and describes the proposed architecture.

14.) The application shall include a description of proposed signage for the development including calculations of square footage and height. If a development entrance sign is proposed the application shall include a description of the proposed entrance sign improvements including a description of lighting, landscaping, and construction materials.

Response: An example of the entrance sign can be found on page 13 with a description found on page 4.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2019

1:00 P.M.

CITY HALL

## MEMBERS PRESENT

Kathy Jones, Chair  
Ken Halliburton, Vice-Chair  
Eddie Smotherman  
Warren Russell  
Chase Salas  
Ronnie Martin  
Jennifer Garland

## STAFF PRESENT

Matthew Blomeley, Acting Planning Director  
Margaret Ann Green, Principal Planner  
Amelia Kerr, Planner  
Carolyn Jaco, Recording Assistant  
David Ives, Deputy City Attorney  
Roman Hankins, Assistant City Attorney  
Katie Noel, Project Engineer  
Brad Barbee, Landscape Site Plan Inspector  
Jim Luebbering, Project Engineer  
Sam Huddleston, Executive Dir. Of Dev. Services  
Carl Peas, Fire Marshal

Chair Kathy Jones called the meeting to order after determining there was a quorum. Ms. Jennifer Garland made a motion to approve the minutes of the October 16, 2019, November 6, 2019 and November 20, 2019 Planning Commission meetings, seconded by Mr. Warren Russell. The motion was carried by unanimous vote in favor.

## Consent Agenda

Chair Kathy Jones read the following items to be considered for approval.

**Rivers Edge, Section 5 [2019-1044]** preliminary plat for 59 lots on 19.1 acres zoned RS-10 located along Parkwood Drive, Rivers Edge Homes, LLC developer.

**Rigsby Industrial [2019-1043]** preliminary plat for 2 lots on 2.28 acres zoned H-I located along Northwest Broad Street and Van Cleve Lane, Brenda Rigsby developer.

**Rigsby Industrial [2019-2097]** final plat for 2 lots on 2.28 acres zoned H-I located along Northwest Broad Street and Van Cleve Lane, Brenda Rigsby developer.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2019

**Wilson Corner [2019-2095]** final plat for 2 lots on 3.48 Acres zoned CF and CH along South Rutherford Boulevard, Bradyville Pike, Floyd Avenue, and Wilson Drive, David V. Waldron developer.

**Parkway Place, Section 1 [2019-2098]** final plat for 4 lots on 8.35 acres zoned PID located along Joe B Jackson Parkway, Swanson Development, LP developer.

**Mr. Chase Salas made a motion to approve the consent agenda subject to all staff comments, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

## **Gateway Design Overlay**

**Vantage Murfreesboro Lot 2 (Manson Pike Retail) [2019-6011 & 2019-3145] initial design review for 15,400ft<sup>2</sup> commercial center on 2.2 acres zoned CF, RM-16 and GDO-1 located along Manson Pike, Egbert Rebeiro developer.** Ms. Margaret Ann Green summarized the initial design review from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Bill Huddleston and Mr. Bob Thorn were in attendance representing the application. Mr. Huddleston came forward to explain that the proposed retail site would be fronting Manson Pike. In addition, this site would be utilizing two access drives that are being built by Vantage at Murfreesboro Apartments. The apartments are currently being constructed behind this proposed retail building. He explained how this site would have a drive-thru area located along the east side of the building with a patio. Mr. Bob Thorn came forward to explain the material board for the elevations of the building.

Mr. Ronnie Martin wanted to know if there would be a sidewalk connection along the east side of this property to the adjoining property. Ms. Green made known Staff had requested for the applicant to provide sidewalks along both sides of their property to the adjoining property. Mr. Martin agreed, due to the foot traffic from the rooftops behind this location.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2019

Mr. Chase Salas requested for awnings to be included to the back doors of the building to help improve the four-sided building. This would add definition to the blank wall. Ms. Jennifer Garland suggested a strong base be added on the back of the building. She feels the proposed two-color brick material is too similar. Mr. Bob Thorn explained the proposed materials would blend with the property behind their building. Ms. Green requested for the cast stone material be added on the back of the building to blend with the front of the building.

**Mr. Warren Russell made a motion to approve subject to all staff comments including the awnings being added to the back doors of the building, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

## **Plats and Plans**

**Primrose School Lot 1 [2019-3154] site plan for 13,362 ft<sup>2</sup> Daycare Center on 1.6 acres zoned CH located along Wendelwood Drive, Primrose Schools developer.** Ms. Margaret Ann Green summarized the site plan from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Green explained that the Planning Commission would need to review and approve the proposed off-site traffic improvements with this request.

Mr. Bill Huddleston and Mr. Aaron Becker were in attendance representing the application.

Ms. Jennifer Garland requested the applicant provide photos of the different types of fencing that would be used for this proposal. Mr. Aaron Becker stated he would provide the information. Ms. Kathy Jones wanted to know if a four-foot fence is appropriate around the HVAC unit, in which Mr. Becker made known it is their standard height for their HVAC fencing. Mr. Ken Halliburton wanted to know if there were any concerns regarding this site being near to a retail area that sells alcohol. Mr. David Ives answered that it was not an issue for a daycare center. It is only an issue for schools and places of worship.

**Ms. Jennifer Garland made a motion to approve subject to all staff comments, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2019

## New Business

**Zoning application [2019-445] for approximately 0.89 acres located along Bradyville Pike west of Minerva Drive to be rezoned from RS-10 to PCD (Bradyville Center PCD), Ken Xayabudda applicant.** Ms. Amelia Kerr summarized the zoning request from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Kerr made known there were a few outstanding issues with the applicant's pattern book that would need to be addressed prior to a public hearing.

Mr. Clyde Rountree was in attendance to represent the applicant. Mr. Rountree explained that the owner would like to reinvest into the community by proposing a 7,280 square foot multi-tenant commercial center. The quality building would include 7% formal open space consisting of 2 plaza areas with bench seating.

Mr. Eddie Smotherman commented that this proposal would be a beautiful building and would be great for the neighborhood. He requested that the list of prohibited uses include payday loans, financial services, cash advance, quick cash, etc. in the applicant's pattern book.

**Ms. Jennifer Garland made a motion to schedule a public hearing on January 8, 2020, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

**Zoning application [2019-440] for approximately 0.71 acres located along East Vine Street east of South Highland Avenue to be rezoned from RS-8 to PRD (East Vine Villas PRD), Blue Sky Construction, Inc. applicant.** Ms. Amelia Kerr summarized the zoning request from the staff report, which had been provided to the Planning Commission in the agenda packet. Ms. Kerr made known there were a few outstanding issues with the applicant's pattern book that would need to be addressed prior to a public hearing.

Mr. Matthew Blomeley made known to the Planning Commission that Staff had suggested to the applicant about reducing the density from six units down to a total of four units. Due to the growth in the downtown area, Staff feels this proposal should include additional green space that would

# **MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2019**

benefit the residents as well as being aesthetically pleasing. He feels there would be more requests for development in the downtown area and the Planning Commission can provide guidance for this application and for the Downtown area moving forward. Mr. Eddie Smotherman wanted to know if this property would be in the City Core Overlay, in which Mr. Blomeley answered, yes. Mr. Ken Halliburton expressed his concerns with high density in the downtown area due to the increase with on-street parking. Mr. Clyde Rountree made known there were two visitor spaces near the dog run area and each unit would have four parking spaces. Mr. Blomeley stated that each unit would have 3 bedrooms and 3.3 parking spaces would be required per unit.

Mr. Clyde Rountree and Mr. Brian Burns were in attendance to represent the applicant. Mr. Rountree began explaining the architectural features for the 6-unit proposal. Mr. Brian Burns explained this proposal would be a nice development along East Vine Street. He feels this development would create a trend for future developments within the downtown area.

Mr. Ronnie Martin made known he did not have any concerns regarding the density for this proposal. He feels the parking has been addressed for this site. In addition, there are no concerns regarding the approved sewer allocation if the City Core Overlay passes due to this property being located in the CCO. Mr. Sam Huddleston stated that Planned Developments with density above what is recognized in the Sewer Allocation Ordinance would have to petition for an increase in the sewer allocation.

Mr. Brian Burns stated he has not decided what type of material he would like to have for the two different types of privacy fences such as wood and a metal decorative fence. Ms. Amelia Kerr said that Mr. Burns would need to provide photos of the type of fences he would be using and where the fences would be placed in his pattern book.

Chair Kathy Jones wanted clarification on the outside grilling station. Mr. Rountree stated they would continue working with Staff prior to the public hearing. Ms. Margaret Ann Green stated the formal open space is very important for those who would live at this development. She

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2019

encouraged more creativity for the formal open space. Mr. Eddie Smotherman asked if there were hours of operation for a dog run. Mr. Brian Burns answered it would be enforced by the Homeowners Association. Mr. Smotherman complimented Mr. Burns for raising the bar for the downtown area. He feels this will begin a domino effect for additional development that will occur within this area.

**Mr. Ken Halliburton made a motion to schedule a public hearing on January 8, 2020, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

**Annexation plan of services and annexation petition [2019-516] for approximately 190 linear feet (0.22 acres) of Annell Drive right-of-way, City of Murfreesboro applicant.** Mr. Matthew Blomeley summarized the annexation petition from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Blomeley made known the City would like to annex this segment of Annell Drive right-of-way in preparation for the time when Staff receives development plans for the adjacent parcel. If annexed, the subject right-of-way and the adjacent property would all be in one jurisdiction for plans review and permitting purposes.

Chair Kathy Jones wanted to know if City Staff had met with Rutherford County Road Board for this request. Mr. Blomeley made known a meeting has been scheduled for January 6, 2020, for the Road Board's consent for the annexation. Mr. Eddie Smotherman wanted to know who would be responsible for road improvements and street lights for this request; Mr. Blomeley stated additional information would be provided in the annexation plan of services.

**Mr. Warren Russell made a motion to schedule a public hearing on January 8, 2020, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.**

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2019

**Proposed amendments to the Zoning Ordinance [2019-809] to Section 2: Interpretation and Definitions, regarding the definition of “family”; Section 10: Variances; Section 18: Regulations of General Applicability, regarding lighting fixtures at recreational fields; and Section 27: Landscaping and Screening, regarding landscaping for stormwater management areas, City of Murfreesboro Planning Department applicant.** Mr. Matthew Blomeley summarized the proposed amendments from the staff report, which had been provided to the Planning Commission in the agenda packet. Mr. Blomeley made known the following sections were proposed to be amended:

Mr. Blomeley summarized the proposed amendments from the staff report, which had been provided to the Planning Commission in the agenda packet. Mr. Blomeley made known the following sections were proposed to be amended:

- Section 2: Interpretation and Definitions, regarding the definition of “family”;
- Section 10: Variances;
- Section 18: Regulations of General Applicability, regarding lighting fixtures at recreational fields; and
- Section 27: Landscaping and Screening, regarding landscaping for stormwater management areas.

**Mr. Ken Halliburton made a motion to schedule a public hearing on January 8, 2020, seconded by Ms. Jennifer Garland. The motion carried by unanimous vote in favor.**

## **Staff Reports and Other Business**

**Proposed acquisition for a site to develop a Transit Center [2019-729] on 5.4 acres at SR 99 and Bridge Avenue.** Mr. David Ives stated that the City of Murfreesboro is proposing to acquire a 5.4-acre site at New Salem Highway and Bridge Avenue. The proposal would be for developing a transit center with offices, a waiting area, and restrooms for the present and expanding operations of Rover buses. In addition, this location could provide a potential bus stop for Greyhound, and to replace the Old Fort Park “Park & Ride” lot.

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION DECEMBER 18, 2019

Mr. Ives stated the majority of funding for the Transit Center would be from the Federal and State agencies. He requested for the Planning Commission to consider this site for a new transit center location and to recommend approval of the acquisition so it would move forward to the City Council meeting on December 19, 2019.

**Mr. Eddie Smotherman made a motion to approve the acquisition request subject to all staff comments, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.**

Lastly, Mr. Matthew Blomeley made known that the Planning Commission meeting that had been scheduled for January 15, 2020 needed to be changed due to conflicts with other meetings being conducted on the same date. He requested for the Planning Commission meeting be changed to Tuesday, January 14, 2020, at 1:00 p.m. If the Planning Commission agrees to this date and time, he requested for the Planning Commission to vote on amending the Planning Commission calendar for their meeting to be conducted on Tuesday, January 14, 2020, at 1:00 p.m. Chair Kathy Jones and Ms. Jennifer Garland made known they would not be able to attend the January 14<sup>th</sup> meeting.

**Mr. Eddie Smotherman made a motion to amend the Planning Commission calendar to Tuesday, January 14, 2020, at 1:00 p.m., seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

There being no further business the meeting adjourned at 2:45 p.m.

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Chair

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Secretary

MB: cj

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION JANUARY 8, 2020

6:00 P.M.

City Hall

## MEMBERS PRESENT

Kathy Jones, Chair  
Ken Halliburton, Vice-Chair  
Eddie Smotherman  
Ronnie Martin  
Warren Russell  
Jennifer Garland  
Chase Salas

## STAFF PRESENT

Matthew Blomeley, Assistant Planning Director  
Marina Rush, Principal Planner  
Amelia Kerr, Planner  
Carolyn Jaco, Recording Assistant  
David Ives, Deputy City Attorney  
Roman Hankins, Assistant City Attorney  
Sam Huddleston, Exec. Dir. Of Dev. Services  
Greg McKnight, Interim Planning Director

Kathy Jones called the meeting to order after determining there was a quorum.

## New Business

**Zoning application [2019-445] for approximately 0.89 acres located along Bradyville Pike west of Minerva Drive to be rezoned from RS-10 to PCD (Bradyville Center PCD), Ken Xayabudda applicant.** Ms. Amelia Kerr summarized the zoning application from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Clyde Rountree and Mr. Ken Xayabudda were in attendance representing the application. Mr. Rountree came forward to begin a PowerPoint presentation from the applicant's pattern book. He stated the proposed commercial center had been designed for multiple tenants and the potential for a restaurant with an open patio area. This would be a nice architectural building that would become a trend setter and an asset to the existing neighborhood.

Mr. Eddie Smotherman commented on this area having a high volume of traffic. Would sidewalks be included with this site? Mr. Blomeley made known Bradyville Pike has been approved for roadway improvements with sidewalks in this area. Currently, the City has begun the right-of-way acquisition process for approximately 150 properties. Once that is completed it would be a year before construction would begin. Mr. David Ives explained the Tennessee Department of

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION JANUARY 8, 2020

Transportation would be overseeing the project. Bradyville Pike would be constructed to a three-lane roadway with curb, gutter, and sidewalks on both sides of the street. This construction would occur from Southeast Broad Street to South Rutherford Boulevard. Mr. Ives stated this would be a difficult road project that would affect this area for a couple of years.

Mr. Warren Russell wanted to know how this would affect the property when the applicant is ready to develop his property. Mr. Blomeley explained the applicant is aware there is a need for an amount of right-of-way for the road project. Mr. Russell asked if the parking requirements would be affected if ever there was an opportunity to connect to the adjoining property. Mr. Rountree answered this site would meet parking requirements even with a future connection.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the zoning application; therefore, Chair Kathy Jones closed the public hearing.

**Vice-Chairman Ken Halliburton made a motion to approve subject to all staff comments, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

**Zoning application [2019-440] for approximately 0.71 acres located along East Vine Street east of South Highland Avenue to be rezoned from RS-8 to PRD (East Vine Villas PRD), Blue Sky Construction, Inc. applicant.** Ms. Amelia Kerr summarized the zoning application from the staff report, which had been provided to the Planning Commission in the agenda packet.

Mr. Clyde Rountree and Mr. Brian Burns were in attendance representing the application. Mr. Clyde Rountree came forward to begin a PowerPoint presentation from the applicant's pattern book.

Mr. Ronnie Martin wanted to know if the rear elevations for the patio areas would include a fence, in which Mr. Burns answered each individual patio would have a fence. Mr. Eddie Smotherman requested for the applicant's pattern book to state the Homeowners Association would manage the hours of operation regarding the open space area for the dog run. Mr. Chase Salas

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION JANUARY 8, 2020

recommended that the rear of the buildings for each individual unit should have its own color so it would not be so monotonous. Mr. Burns stated he would address the exact tone of colors further that would be suitable with the neighborhood. Chair Kathy Jones wanted additional information regarding painted brick. Mr. Burns stated the paint material he uses on the brick is guaranteed for 25 years. All of the exterior of the buildings, the landscaping, the dog run, and on-street parking would be managed by the Homeowners Association. Chair Jones voiced her concerns regarding the size of the garages. Mr. Burns made known that the garage doors he would be using are sixteen-foot wide which is the same that had been approved for his other developments. Mr. Blomeley stated the sixteen-foot garage door is not the issue it is the width of the interior of the garage being only eighteen-foot wide is Staff's concern. He recommended the development include twenty-foot wide garages to provide enough room for two vehicles, trash can, etc. Mr. Burns stated they do not have the space to increase the size of the garages to twenty feet. Most townhomes have only one-car garages but they are proposing two-car garages for this development.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the zoning application; therefore, Chair Kathy Jones closed the public hearing.

**Mr. Chase Salas made a motion to approve subject to all staff comments, seconded by Mr. Ronnie Martin. The motion carried by unanimous vote in favor.**

**Annexation plan of services and annexation petition [2019-516] for approximately 190 linear feet (0.22 acres) of Annell Drive right-of-way, City of Murfreesboro applicant.** Ms. Marina Rush summarized the annexation petition from the staff report, which had been provided to the Planning Commission in the agenda packet.

Ms. Rush explained that City staff had taken this request to the Rutherford County Road Board on January 6, 2020. The County Road Board had deferred this request so they could conduct further research for legal reasons on how they should provide consent. The Road Board would

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION JANUARY 8, 2020

reconvene next month for consideration of this annexation. Therefore, Staff is asking for a deferral on this annexation request. In addition, due to the public hearing being advertised, we are required to conduct the public hearing.

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the annexation petition; therefore, Chair Kathy Jones closed the public hearing.

**Mr. Warren Russell made a motion to defer the annexation petition and plan of services, seconded by Mr. Ken Halliburton. The motion carried by unanimous vote in favor.**

**Proposed amendments to the Zoning Ordinance [2019-809], City of Murfreesboro Planning Department applicant.** Mr. Matthew Blomeley and Mr. David Ives summarized the proposed amendments from the staff report, which had been provided to the Planning Commission in the agenda packet. The Zoning Ordinance sections proposed to be amended included:

- Section 2: Interpretation and Definitions, regarding the definition of “family”;*
- Section 10: Variances;*
- Section 18: Regulations of General Applicability, regarding lighting fixtures at recreational fields; and*
- Section 27: Landscaping and Screening, regarding landscaping for stormwater management areas.*

Chair Kathy Jones opened the public hearing. No one came forward to speak for or against the proposed amendments to the Zoning Ordinance; therefore, Chair Kathy Jones closed the public hearing.

The Planning Commission complimented Staff for their hard work in addressing these issues.

**Mr. Ken Halliburton made a motion to approve subject to all staff comments, seconded by Mr. Warren Russell. The motion carried by unanimous vote in favor.**

# MINUTES OF THE MURFREESBORO PLANNING COMMISSION JANUARY 8, 2020

## **Staff Reports and Other Business**

Chair Kathy Jones introduced the new Interim Planning Director, Mr. Greg McKnight. We are excited to have Mr. McKnight join the Planning Commission. Mr. McKnight currently serves as the Director of Project Development in Administration and will continue in this position as well.

Continuing, Chair Jones and the Planning Commission thanked Mr. Matthew Blomeley, Assistant Planning Director, who had stepped up when asked to serve as Acting Planning Director. We are so appreciative for all the hard work Mr. Blomeley has done while serving in this position during this busy time in Murfreesboro. Your hard work does not go unnoticed.

**Mr. Blomeley reminded the Planning Commission about the next Planning Commission meeting on Tuesday, January 14<sup>th</sup> at 1:00 p.m.**

Lastly, Mr. Blomeley explained to the Planning Commission that there is an opportunity for the City's Planning staff to attend an annual Spring Conference of the Tennessee Chapter of the American Planning Association (TAPA). The TAPA conference has been scheduled for March 4 through March 6, 2020. Several of our Staff members would like to attend the conference. He asked the Planning Commission to consider changing the March 4, 2020, Planning Commission meeting to March 11, 2020, at 6:00 p.m.

**Mr. Ken Halliburton made a motion to change the Planning Commission meeting date from March 4, 2020 to be rescheduled to Wednesday, March 11, 2020, seconded by Mr. Chase Salas. The motion carried by unanimous vote in favor.**

There being no further business the meeting adjourned at 7:00 p.m.

**MINUTES OF THE  
MURFREESBORO PLANNING COMMISSION  
JANUARY 8, 2020**

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**Chair**

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**Secretary**

MB: cj